

BDP. Quadrangle

Quadrangle Architects Limited
901 King Street West, Suite 701 Toronto, ON M5V 3H5
t 416 598 1240 www.bdpquadrangle.com

Oakvillage Phase 4A & 4B

3071/3079 Trafalgar Rd

for
MC Oakville LP

Project No. ~~2008~~ 04-11
Date ~~RE-ISSUED~~ FOR SITE PLAN APPROVAL
Issued for RE-ISSUED FOR SITE PLAN APPROVAL



ARCHITECTURAL DRAWINGS

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- A503.S Coloured South Elevation
- A504.S Coloured West Elevation

- A901.S Renderings

STRUCTURAL ENGINEER

Jablonsky, Ast & Partners Consulting Engineers
1129 Leslie Street,
Don Mills, ON, M3C 2K5
T: 416-447-7405

MECHANICAL & ELECTRICAL ENGINEER

Integral Group Inc.
380 Wellington Street West,
Toronto, ON, M5V 1E3
T: 416-488-4425

LANDSCAPE ARCHITECT

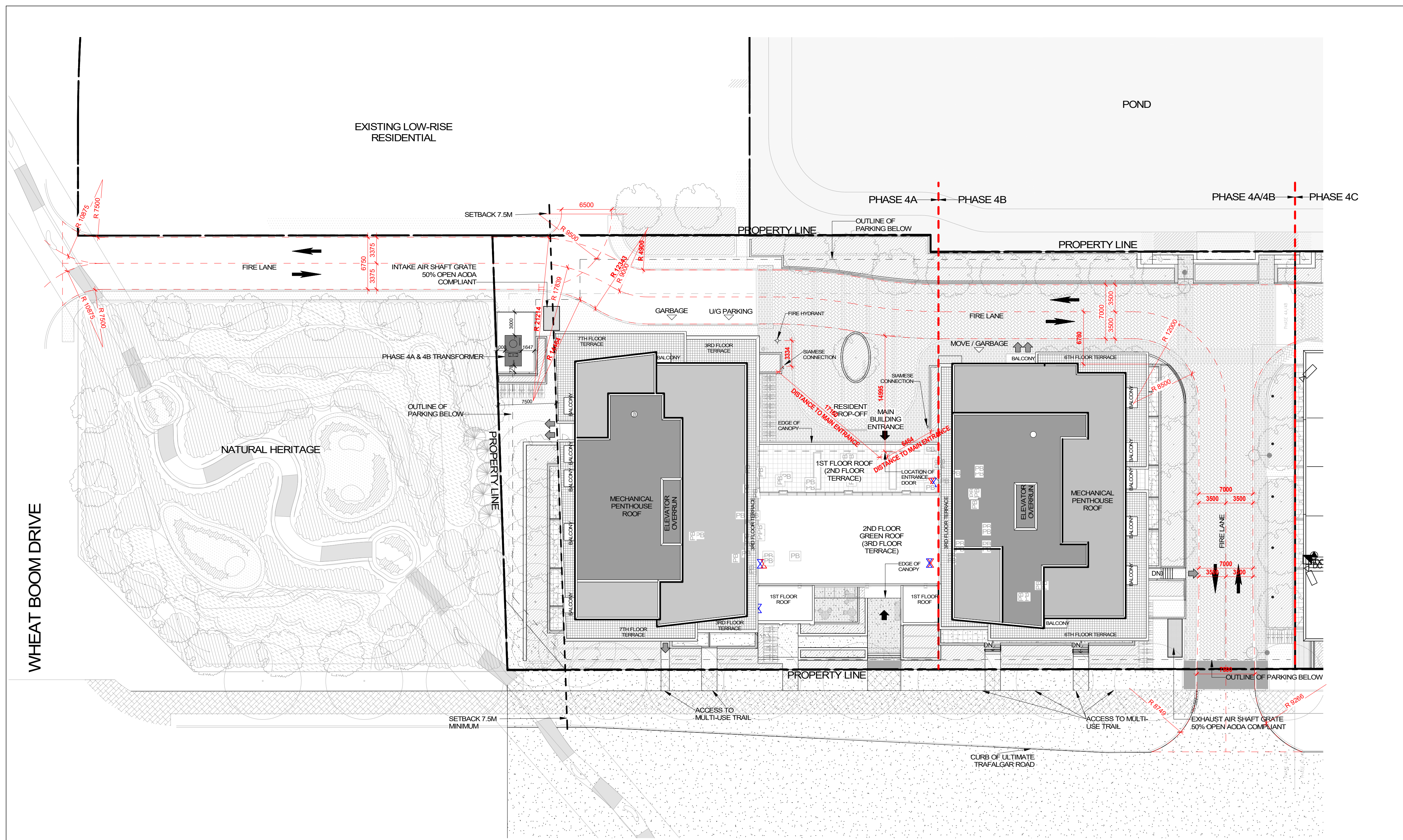
NAK DESIGN STRATEGIES
421 Roncesvalles Ave.,
Toronto, ON, M6R 2N1
T: 416-340-8700

CIVIL AND SITE SERVICING ENGINEER

UrbanTech Consulting
3780 14th Avenue, Suite 301
Markham, ON, L3R 3T7
T: 905-946-9461

TRAFFIC CONSULTANT

GHD
6705 Millcreek Drive, Unit 1
Mississauga, ON, L5N 5M4
T: 905-814-4397



3 A001.S Fire Route Site Plan Diagram SCALE: 1 : 300

Ontario Building Code Data Matrix Part 3		Ontario Building Code Data Matrix Part 3	
Item	Name of Practice Certificate of Practice Number Address Name of Project Location	Quadrangle Architects Limited 1254 901 King Street West, Suite 701 Toronto, Ontario M5V 3H5 Oakville 4 - Phase 4A and 4B 3075 Trafalgar Road, Oakville, ON	OBC Reference All references are to Division B of the CBC unless preceded by (A) for Division A and (C) for Division C
3.01	Project Type: <input checked="" type="checkbox"/> New <input type="checkbox"/> Addition <input type="checkbox"/> Renovation <input type="checkbox"/> Change of use Description: A twenty (20) storey and sixteen (16) storey residential condominium buildings with a three (3) level of shared underground parking.		1.1.2 (A)
3.02	Major Occupancy (s) Classification GROUP C - Residential		3.1.2.1 (1)
3.03	Subsidiary Occupancy (s) Group F2 - Medium Hazard Industrial (Storage, Service Rooms)	Group A2 - Assembly (Amenity, facilities for use by residents and their guests)	
3.04	Building Characteristics Building Area (m ²): Existing New Total Description: 2,204 2,204 4,408 Gross Area (m ²): Existing New Total Description: 29,335 29,335 58,670 Building Height: Existing Description: 14.1.2 (A) & 3.2.1.1 Storey above grade: 20 storey (s) Storey below grade: 3 storey (s) Number of Storeys: 1 street (s) Description: 3.2.2.10 & 3.2.5		1.4.1.2 (A) 1.4.1.2 (A) 1.4.1.2 (A) & 3.2.1.1 3.2.2.10 & 3.2.5
3.05	Building Classification Group/Div: 3.2.2.42 Group C, Any Height, Any Area, Sprinklered Superimposed Major Occ: <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No Description: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		3.2.2.20 to 3.2.2.83 3.2.2.7
3.06	High Building: Description: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		3.2.6
3.07	Construction Type Restriction: <input type="checkbox"/> Comb. permitted <input checked="" type="checkbox"/> Non-Combustible Required Actual: <input type="checkbox"/> Combustible <input checked="" type="checkbox"/> Non-Combustible <input type="checkbox"/> Combination Heavy Timber: <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes Sprinkler System: <input checked="" type="checkbox"/> Required <input type="checkbox"/> Not Required <input type="checkbox"/> Provided Description: <input checked="" type="checkbox"/> Entire Building <input type="checkbox"/> Compartments <input type="checkbox"/> Selected Floor Areas <input type="checkbox"/> Basement <input type="checkbox"/> In Lieu of Roof Rating		3.2.2.20-83 3.2.1.5 & 3.2.2.17
3.08	Fire Containment (Horizontal and Vertical) Floor Level/area Rating Design No. Supporting members Design No. Floor over basement 2 hr 2 hr 3.2.1.4 & 3.2.2.15 Floors 2 hr 2 hr Mezzanine N/A N/A Roof - Occupied 2 hr 2 hr Roof - Unoccupied N/A N/A		3.2.2.20-83 & 3.2.1.4 3.2.2.17
3.09	Building Envelope - Spatial Separation Area of EBF (m ²) Limiting Distance (m) % LPO Permitted % LPO Actual Construction Requirements		3.2.3
3.10	Occupant Load Floor Level/area Occupancy Type Based On Occupant Load (persons) L01 Amenity 1.85 326 L01 Lockers 1.85 28 L02 Residential 2/sleeping area 44 L02 Amenity 1.85 100 L02 Lockers 2.0 13 L02 Office 8.3 30 L02 Social Club Design Load 60 L03 Residential 2/sleeping area 66 L04 - L05 Residential 2/sleeping area 132 L06 Residential 2/sleeping area 60 L07 Residential 2/sleeping area 48 L08 - L16 Residential 2/sleeping area 432 L17 - L20 Residential 2/sleeping area 96 MECHANICAL PENTHOUSE 0 TOTAL 1,241		3.1.17
3.11	Barrier-Free Design Required: <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No Explanation:		3.8
3.12	Early Warning System Fire Alarm System: <input checked="" type="checkbox"/> Required <input type="checkbox"/> Not-Required <input type="checkbox"/> Single Stage <input checked="" type="checkbox"/> Two Stage <input type="checkbox"/> None Standpipe System: <input checked="" type="checkbox"/> Required <input type="checkbox"/> Not-Required Basement Access: <input type="checkbox"/> Required <input checked="" type="checkbox"/> Not-Required Roof Access: <input type="checkbox"/> Required <input checked="" type="checkbox"/> Not-Required Water Service Supply adequate: <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No		3.2.4 3.2.9 3.2.5.2 3.2.5.3 3.2.5.7
3.13	Other Mezzanine (-m2): <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No Interconnected FL: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No Hazardous Substances: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No Post-disaster building: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		3.2.1.1 (3)(B) 3.2.8 3.3.1.2 & 3.3.1.19 1.1.2.2 (2) (A)
3.14	Planning Future Requirements Add Comment		3.7.4
Date: Building Code Version Last Amendment		O Reg 332/12 O Reg 151/13	

2 A001.S OBC MATRIX - PHASE 4A and 4B SCALE: 1 : 500

Ontario Building Code Data Matrix Part 3		Ontario Building Code Data Matrix Part 3	
Item	Name of Practice Certificate of Practice Number Address Name of Project Location	Quadrangle Architects Limited 1254 901 King Street West, Suite 701 Toronto, Ontario M5V 3H5 Oakville 4 - Underground Parking 3075 Trafalgar Road, Oakville, ON	OBC Reference All references are to Division B of the CBC unless preceded by (A) for Division A and (C) for Division C
3.01	Project Type: <input checked="" type="checkbox"/> New <input type="checkbox"/> Addition <input type="checkbox"/> Renovation <input type="checkbox"/> Change of use Description: A three (3) level shared underground parking garage.		1.1.2 (A)
3.02	Major Occupancy (s) Classification GROUP C - Residential		3.1.2.1 (1)
3.03	Subsidiary Occupancy (s) Group F2 - Medium Hazard Industrial (Storage, Service Rooms)		
3.04	Building Characteristics Building Area (m ²): Existing New Total Description: 11,797.5 11,797.5 23,595 Gross Area (m ²): Existing New Total Description: 35,392.7 35,392.7 70,785.4 Building Height: Existing Description: 1.4.1.2 (A) & 3.2.1.1 Storey above grade: 0 storey (s) Storey below grade: 3 storey (s) Number of Storeys: 1 street (s) Description: 3.2.2.10 & 3.2.5		1.4.1.2 (A) 1.4.1.2 (A) 1.4.1.2 (A) & 3.2.1.1 3.2.2.10 & 3.2.5
3.05	Building Classification Group/Div: Group F - Division 3 Superimposed Major Occ: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No Description: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		3.2.2.20 to 3.2.2.83 3.2.2.7
3.06	High Building: Description: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		3.2.6
3.07	Construction Type Restriction: <input type="checkbox"/> Comb. permitted <input checked="" type="checkbox"/> Non-Combustible Required Actual: <input type="checkbox"/> Combustible <input checked="" type="checkbox"/> Non-Combustible <input type="checkbox"/> Combination Heavy Timber: <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes Sprinkler System: <input checked="" type="checkbox"/> Required <input type="checkbox"/> Not Required <input type="checkbox"/> Provided Description: <input checked="" type="checkbox"/> Entire Building <input type="checkbox"/> Compartments <input type="checkbox"/> Selected Floor Areas <input type="checkbox"/> Basement <input type="checkbox"/> In Lieu of Roof Rating		3.2.2.20-83 3.2.1.5 & 3.2.2.17
3.08	Fire Containment (Horizontal and Vertical) Floor Level/area Rating Design No. Supporting members Design No. Floor over basement 2 hr 2 hr 3.2.1.4 & 3.2.2.15 Floors 2 hr 2 hr Mezzanine N/A N/A Roof - Occupied 2 hr 2 hr Roof - Unoccupied N/A N/A		3.2.2.20-83 & 3.2.1.4 3.2.2.17
3.09	Building Envelope - Spatial Separation Area of EBF (m ²) Limiting Distance (m) % LPO Permitted % LPO Actual Construction Requirements		3.2.3
3.10	Occupant Load Floor Level/area Occupancy Type Based On Occupant Load (persons) P3 Low-Hazard Industrial 45m ² /person 261 P2 Low-Hazard Industrial 45m ² /person 266 P1 Low-Hazard Industrial 45m ² /person 255 TOTAL 770		3.1.17
3.11	Barrier-Free Design Required: <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No Explanation:		3.8
3.12	Early Warning System Fire Alarm System: <input checked="" type="checkbox"/> Required <input type="checkbox"/> Not-Required <input type="checkbox"/> Single Stage <input checked="" type="checkbox"/> Two Stage <input type="checkbox"/> None Standpipe System: <input checked="" type="checkbox"/> Required <input type="checkbox"/> Not-Required Basement Access: <input type="checkbox"/> Required <input checked="" type="checkbox"/> Not-Required Roof Access: <input type="checkbox"/> Required <input checked="" type="checkbox"/> Not-Required Water Service Supply adequate: <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No		3.2.4 3.2.9 3.2.5.2 3.2.5.3 3.2.5.7
3.13	Other Mezzanine (-m2): <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No Interconnected FL: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No Hazardous Substances: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No Post-disaster building: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		3.2.1.1 (3)(B) 3.2.8 3.3.1.2 & 3.3.1.19 1.1.2.2 (2) (A)
3.14	Planning Future Requirements Add Comment		3.7.4
Date: Building Code Version Last Amendment		O Reg 332/12 O Reg 151/13	

1 A001.S OBC MATRIX - Underground SCALE: 1 : 500

Date	No.	Description
2022-04-11		RE-ISSUED FOR SITE PLAN APPROVAL
2022-03-25		RE-ISSUED FOR SITE PLAN APPROVAL
2021-10-08		RE-ISSUED FOR SITE PLAN APPROVAL
2021-04-12		RE-ISSUED FOR SITE PLAN APPROVAL
2020-10-16		ISSUED FOR SITE PLAN APPROVAL



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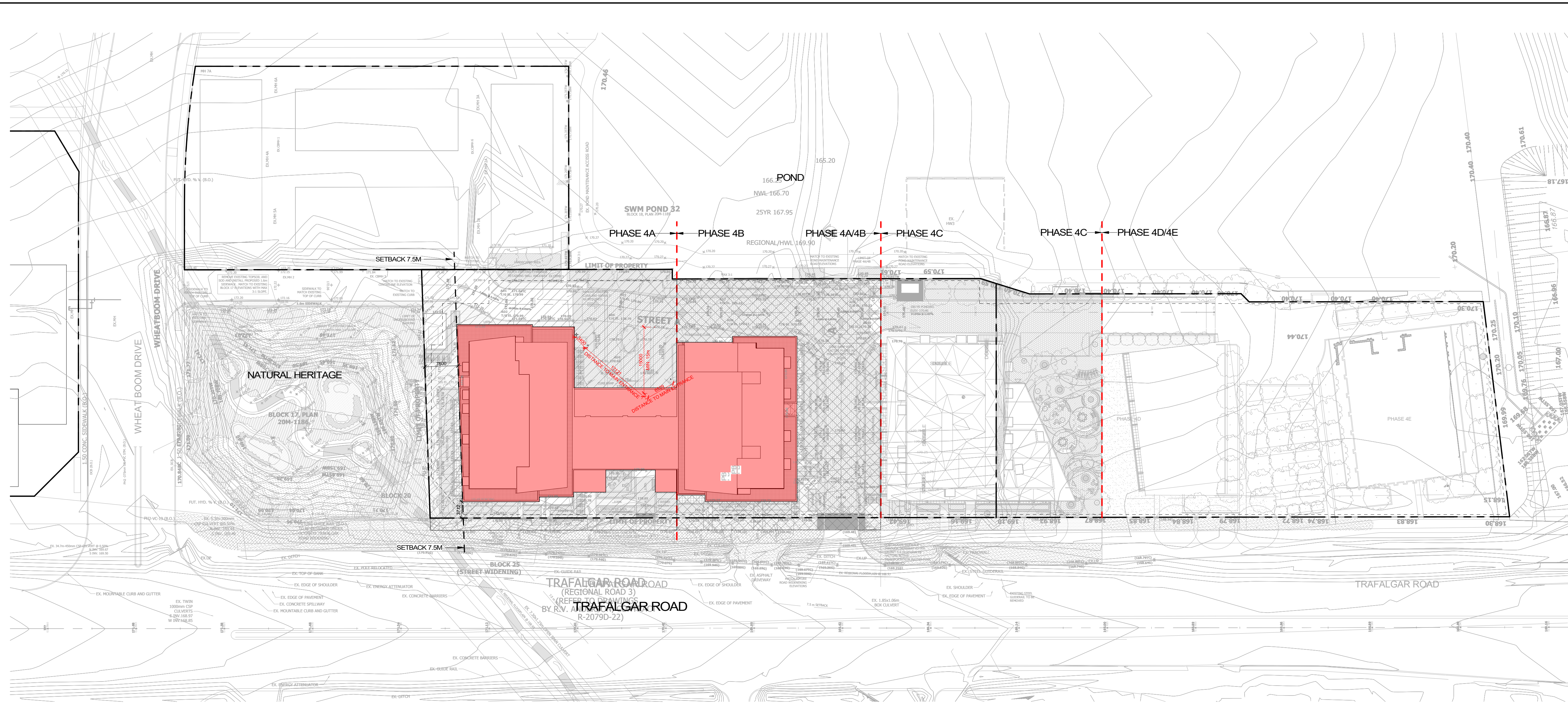
Oakville Phase 4A & 4B
for
3071/3079 Trafalgar Rd
for
MC Oakville LP

2008 As indicated SM JS
PROJECT SCALE DRAWN REVIEWED

OBC Design Matrix - Phase 4A & 4B and Fire Route Diagram

A001.S

Note: This drawing is the property of the Architect and may not be reproduced or used without the express consent of the Architect. The Contractor is responsible for checking and verifying all levels and dimensions and shall report all discrepancies to the Architect and obtain clearance prior to commencing work.



1 Context Plan
A101.S
SCALE: 1: 500

2 Phase 4 - Key Plan
A101.S

Phase 4A	Floor	GFA Typ Floor (sqm)	No. Typ Floors	GSA Gross Building Area (sqm)	Oakville Zoning By-Law 2009-189		Stalls	1 Bsm 500-575 sqf	1 Bsm 601-690 sqf	1 Bsm 691-790 sqf	2 Bsm 791-810 sqf	2 Bsm 811-925 sqf	Total Suites		
					GFA (Res)	GFA (Non-Res)									
Mechanical Penthouse	2025	1	2025	2,736	0	0	0	0	0	0	0	0	0		
Floor # to 3rd	2113	13	9,373	100,848	8,414	64,371	0	0	0	0	0	0	143		
Floor #4	688	1	688	7,751	2,405	25,500	0	0	0	0	0	0	38		
Floor #5	688	1	688	7,751	2,405	25,500	0	0	0	0	0	0	38		
Floor #6	1,107	1	1,107	12,581	3,801	40,000	0	0	0	0	0	0	63		
Grand Floor	1,410	1	1,410	16,177	1,281	13,877	0	0	0	0	0	0	4		
TOTALS			30	12,287	15,178	153,246	0	1	51	31	40	35	39	4	213

3 PHASE 4A
A101.S

PROJECT STATISTICS SUMMARY	
Municipal Address:	3075 Trafalgar Road
Lot Area:	5,099.80
Zoning Bylaw 2009-189:	TUC
Zoning Bylaw 2018-151:	TUC - Block F
Average Grade:	170.900
Phase 4A:	170.900
Phase 4B:	170.900
Building Height (Storeys) (incl. Mech Penthouse) - Block 4A:	20
Building Height (Storeys) (incl. Mech Penthouse) - Block 4B:	16
Building Height above Average Grade (Meters) (incl. Mech Penthouse) - Block 4A:	67.839
Building Height above Average Grade (Meters) (incl. Mech Penthouse) - Block 4B:	56.089
GFA - Residential Uses:	590
GFA - Non-Residential Uses:	27,032
By-Law 2009-189 / 2018-151, Total GFA:	28,829
GSA:	28,829
Floor Space Index (FSI):	4.74
Number of Residential Suites:	378
Min. Residential Interior Amenity Space Required:	600
Total Residential Interior Amenity Space Provided:	12,000
Vehicle Parking Total Required:	418
Vehicle Parking Total Provided:	420
Bicycle Parking Total Required:	200
Bicycle Parking Total Provided:	200
Total Loading Spaces Required:	0
Total Loading Spaces Provided:	0

7 PHASE 4A & 4B - SUMMARY
A101.S

VEHICULAR PARKING		Required	Provided
Phase 4A - Occupant	1 x 212	212	215
Block 4A (1Unit)		196	198
Block 4B (1Unit)		38	40
Total Residential		378	383
Total Visitor (0.10Unit)	0.10 x 378	38	40
TOTAL		416	423

VEHICULAR PARKING LOCATION		Required	Provided
Phase 4A - Occupant		212	215
Phase 4B - Occupant		38	40
Visitor		38	40
TOTAL		416	423

5 PHASE 4A & 4B - PARKING STATS - SPA
A101.S

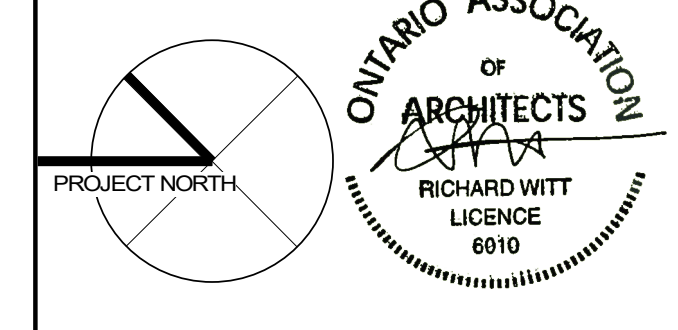
Phase 4B	Floor	GFA Typ Floor (sqm)	No. Typ Floors	GSA Gross Building Area (sqm)	Oakville Zoning By-Law 2009-189		Stalls	1 Bsm 500-575 sqf	1 Bsm 601-690 sqf	1 Bsm 691-790 sqf	2 Bsm 791-810 sqf	2 Bsm 811-925 sqf	Total Suites	
					GFA (Res)	GFA (Non-Res)								
Mechanical Penthouse	2275	1	2275	2,455	186	2,024	0	0	0	0	0	0	0	
Floor # to 1st	7242	1	7242	7,780	884	7,303	0	0	0	0	0	0	110	
Floor #2	8752	1	8752	9,260	835	8,888	0	0	0	0	0	0	129	
Floor #3	8752	1	8752	9,418	835	8,888	0	0	0	0	0	0	129	
Floor #4	8752	1	8752	9,418	835	8,888	0	0	0	0	0	0	129	
Floor #5	8551	1	8551	9,203	816	8,733	0	0	0	0	0	0	126	
Grand Floor	8951	1	8951	9,203	816	8,733	0	0	0	0	0	0	126	
TOTALS			16	12,541	11,854	127,954	0	0	45	13	53	12	32	166

4 PHASE 4B
A101.S

TOTALS	BUILDING	No. Typ Floors	GSA Gross Building Area (sqm)	Oakville Zoning By-Law 2009-189		Stalls	1 Bsm 500-575 sqf	1 Bsm 601-690 sqf	1 Bsm 691-790 sqf	2 Bsm 791-810 sqf	2 Bsm 811-925 sqf	Total Suites	
				GFA (Res)	GFA (Non-Res)								
Phase 4A	20	19,207	175,317	15,178	153,376	0	1	51	31	40	35	41	213
Phase 4B	16	12,541	135,500	11,854	127,954	0	0	45	13	53	12	32	166
TOTALS		36	308,817	27,032	281,330	0	1	56	44	93	47	73	379

8 PHASE 4A & 4B - TOTALS
A101.S
SCALE: 1: 1

Date	No.	Description
2022-04-11	RE-ISSUED FOR SITE PLAN APPROVAL	
2022-03-25	RE-ISSUED FOR SITE PLAN APPROVAL	
2021-10-08	RE-ISSUED FOR SITE PLAN APPROVAL	
2021-04-12	RE-ISSUED FOR SITE PLAN APPROVAL	
2020-10-16	ISSUED FOR SITE PLAN APPROVAL	



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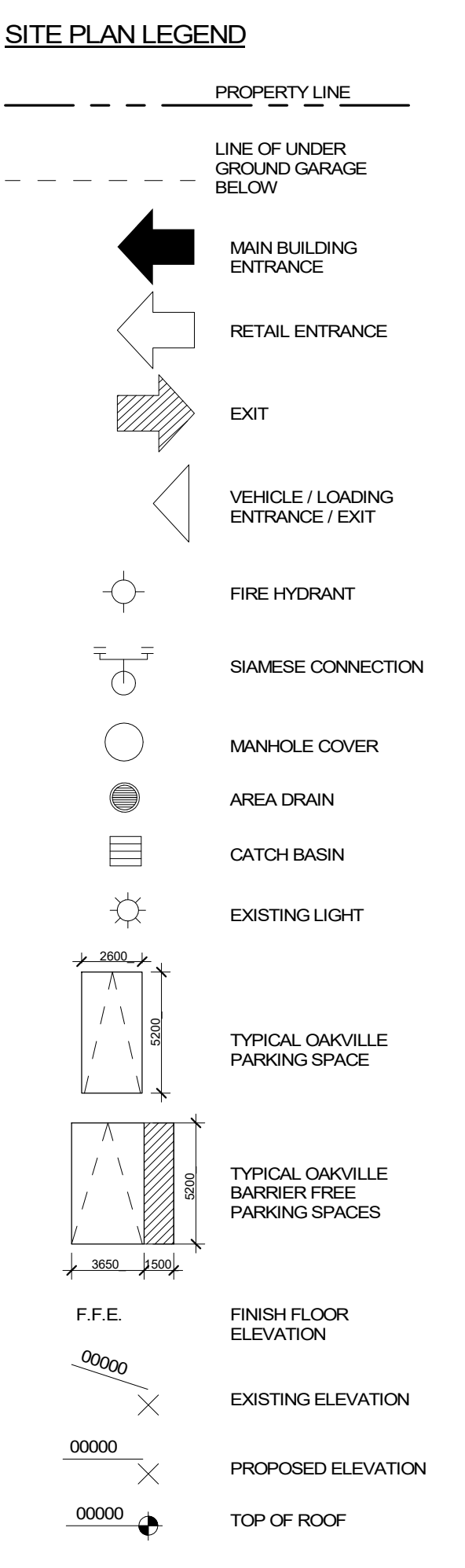
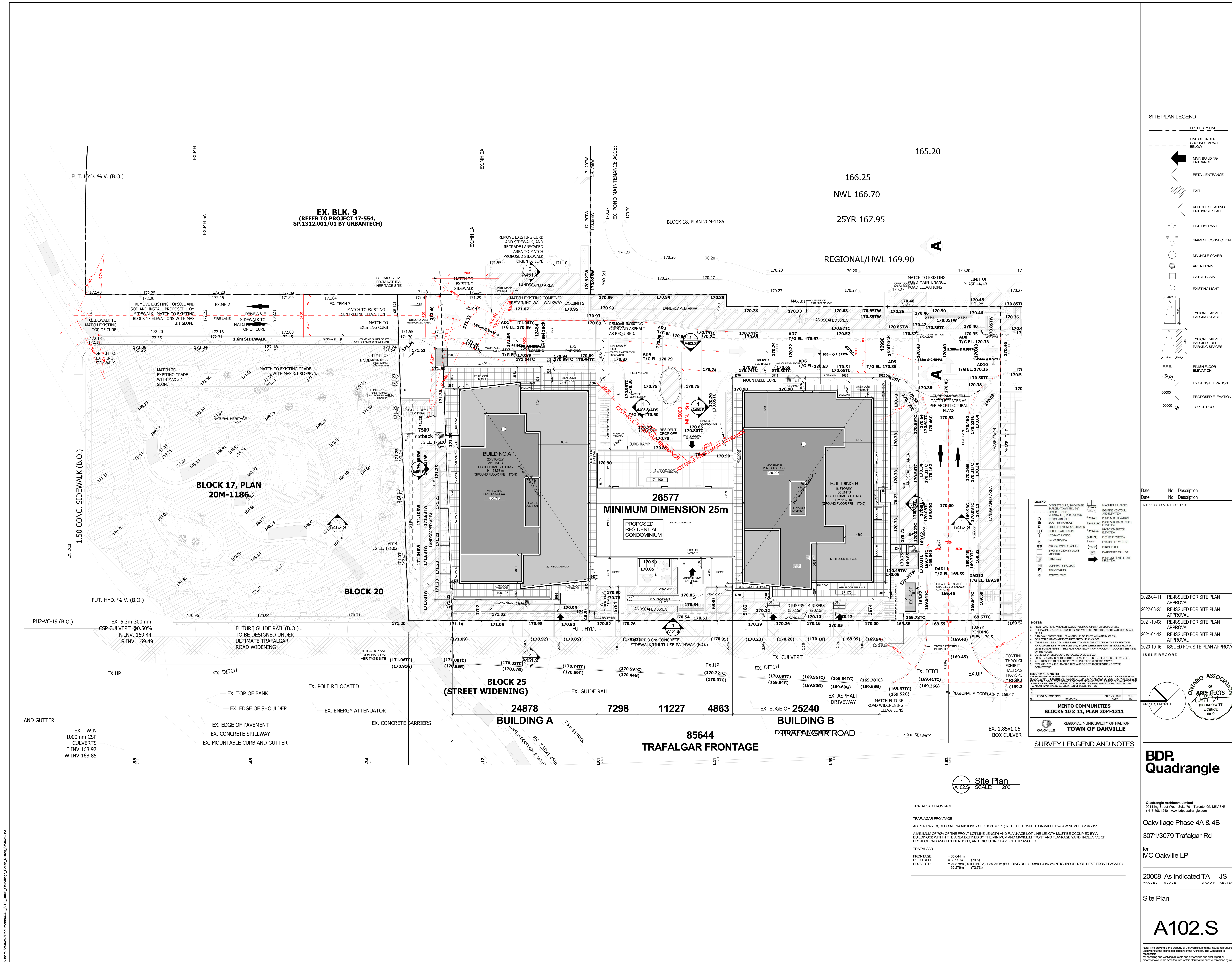
Oakville Phase 4A & 4B
3071/3079 Trafalgar Rd
for
MC Oakville LP

2008 As indicated FA JS
PROJECT SCALE DRAWN REVIEWED

Context Plan and Statistics

A101.S

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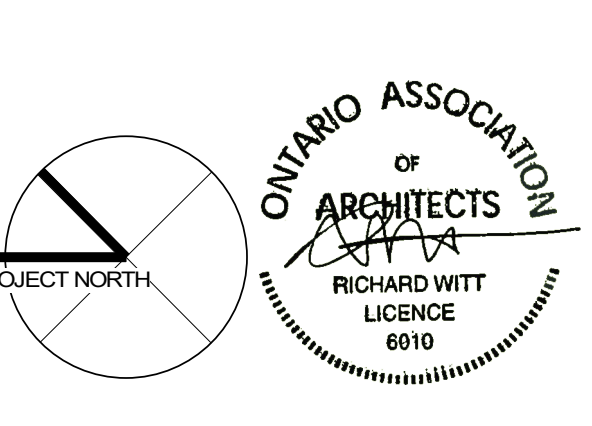


Date No. Description

Date No. Description

REVISION RECORD

Date	No.	Description
2022-04-11	1	RE-ISSUED FOR SITE PLAN APPROVAL
2022-03-25	2	RE-ISSUED FOR SITE PLAN APPROVAL
2021-10-08	3	RE-ISSUED FOR SITE PLAN APPROVAL
2021-04-12	4	RE-ISSUED FOR SITE PLAN APPROVAL
2020-10-16	5	ISSUED FOR SITE PLAN APPROVAL



NOTES:

- POINT AND BEAM SURVEY SHALL HAVE A MINIMUM SLOPE OF 2%.
- THE MAXIMUM SLOPE ALLOWED ON ANY ROAD SURFACE SIDE, FRONT AND REAR SHALL BE 8%.
- BOULEVARD GRASS AREAS TO HAVE MAXIMUM 4% SLOPE.
- THERE SHALL BE A 5.0% SLOPE AT 2% SLOPE AND FROM THE FOUNDATION TO THE CURB ON ONE SIDE OF THE BUILDING, EXCEPT WHERE SIDE WALK STRIPES FROM LOT LINES DO NOT PREVENT. THIS PLAT AREA ALIGNS FOR A WALKWAY TO ACCESS THE REAR OF THE BUILDING.
- CURBS AT INTERSECTIONS TO FOLLOW OPEN 300mm.
- SECTION AND SURFACE CONTROL REQUIRED TO BE MAINTAINED PER CIVIL ENGINEER'S DESIGN.
- ALL UNITS ARE TO BE EQUIPPED WITH REDUCING VALVES.
- TOWERING THE SUBSIDIARY AND NOT REQUIRE SEWER SERVICE CONNECTIONS.

REMARKS:

REVISIONS MADE TO THIS PLAN AND ARE REFERRED TO THE TOWN OF OAKVILLE ENGINEERING PLAT 2022-04-11. ALL CHANGES SHALL BE INDICATED BY A RED LINE OR A RED CIRCLE. THE 300mm WALKWAY SHALL BE 300mm WIDE AND SHALL BE 300mm FROM THE CURB TO THE CURB ON THE EAST SIDE OF TRAFALGAR ROAD. CONCRETE SHALL BE 20mm THICK AND SHALL BE 100mm FROM THE CURB TO THE CURB ON THE WEST SIDE OF TRAFALGAR ROAD. CONCRETE SHALL BE 100mm THICK AND SHALL BE 100mm FROM THE CURB TO THE CURB ON THE WEST SIDE OF TRAFALGAR ROAD.

SURVEY LEGEND AND NOTES

Site Plan
SCALE: 1 : 200

TRAFALGAR FRONTAGE

TRAFALGAR FRONTAGE

AS PER PART 8, SPECIAL PROVISIONS - SECTION 8.05 (1) OF THE TOWN OF OAKVILLE BY-LAW NUMBER 2018-151.

A MINIMUM OF 70% OF THE FRONT LOT LINE LENGTH AND FLANKAGE LOT LINE LENGTHS MUST BE OCCUPIED BY A BUILDINGS WITHIN THE AREA DEFINED BY THE MINIMUM AND MAXIMUM FRONT AND FLANKAGE YARD, INCLUSIVE OF PROJECTIONS AND INDENTATIONS, AND EXCLUDING DVAUGHT TRIANGLES:

TRAFALGAR FRONTAGE	FRONTAGE REQUIRED	= 65.644 m (70%)
	PROVIDED	= 62.279 m (72.7%)

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3071/3079 Trafalgar Rd
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2008 As indicated TA JS
PROJECT SCALE DRAWN REVIEWED

Site Plan

A102.S

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C:\Users\BMS\Desktop\CAD_LAYOUT_2022_OakVillage_Phase_4A_4B_A102.S

247-12013/1312.2.1312.00 PLAN 20M - 1211

I CERTIFY THAT THIS PLAN IS REGISTERED IN THE LAND REGISTRY OFFICE FOR THE LAND TITLES DIVISION OF HALTON AT 15:45 O'CLOCK ON THE 13TH DAY OF NOVEMBER 2018 AND ENTERED IN THE PARCEL REGISTRY(S) FOR PROPERTY IDENTIFIER(S) 44920-0622

AND THE REQUIRED CONSENTS ARE REGISTERED AS PLAN DOCUMENT NO. H1565 285

Lisa McCreadie
REPRESENTATIVE FOR LAND REGISTRAR

THIS PLAN COMPRESES ALL OF PLAN 24830-0623 SUBJECT TO AN EASEMENT IN GRANT OVER PART 1, PLAN 208-10082 AS SET OUT IN REG. NO. H1462840 (AFFECTS PART OF BLOCKS 8, 9 AND 21 STREET MIDDINGS)

PLAN OF SUBDIVISION OF PART OF LOT 12 CONCESSION 1 NORTH OF DUNDAS STREET (GEOGRAPHIC TOWNSHIP OF TRAFALGAR) TOWN OF OAKVILLE REGIONAL MUNICIPALITY OF HALTON

SCALE: 1:1000

METRIC DISTANCES AND COORDINATES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVING BY 0.3048

NOTES

- SI DENOTES SURVEY INSTRUMENT
- SB DENOTES SURVEY BENCH MARK
- SP DENOTES SURVEY POINT
- PI DENOTES PLASTIC IRON PIPES
- PL DENOTES PLASTIC PIPE
- PLI DENOTES PLASTIC PIPE
- PLS DENOTES PLASTIC PIPE
- PLD DENOTES PLASTIC PIPE
- PLW DENOTES PLASTIC PIPE
- PLX DENOTES PLASTIC PIPE
- PLZ DENOTES PLASTIC PIPE
- PLAA DENOTES PLASTIC PIPE
- PLAB DENOTES PLASTIC PIPE
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BEARING NOTE

BEARINGS ARE GIVEN IN THE ZONE 17, NAD83 (ORIGINAL), DERIVED FROM THE CANADIAN NATIONAL GRID. COORDINATES ARE GIVEN IN THE ZONE 17, NAD83 (ORIGINAL), TO LOCAL ACCURACY FOR SECTION 14 (2) OF THE SURVEY ACT AND CANNOT BE USED TO RE-CONSTRUCT CORNERS OF BOUNDARIES SHOWN ON THIS PLAN. DISTANCES ARE GIVEN AND CAN BE CONVERTED TO GRID BY MULTIPLYING BY THE CORRECTED SCALE FACTOR OF 0.999997.

DATE: 2018-11-13
BY: [Signature]
FOR: [Signature]

SURVEYOR'S CERTIFICATE

I CERTIFY THAT:
1. THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE SURVEY ACT, THE SURVEYORS ACT AND THE LAND TITLES ACT AND THE REGULATIONS MADE UNDER THEM.
2. THE SURVEY WAS COMPLETED ON THE 28th DAY OF JULY 2018.

DATE: JULY 28, 2018
C. P. EDWARD
ONTARIO LAND SURVEYOR

OWNER'S CERTIFICATE

THIS IS TO CERTIFY THAT:
1. BLOCKS 1 TO 24, BOTH INCLUSIVE, STREET MIDDINGS, NAMELY BLOCK 25, TRAFFALGAR ROAD, TRAFALGAR ROAD, TRAFALGAR ROAD, TRAFALGAR ROAD AND WEST BOUND DRIVE HAVE BEEN Laid OUT IN ACCORDANCE WITH OUR INSTRUMENTS.
2. THE STREETS ARE HEREBY DEDICATED AS PUBLIC HIGHWAYS TO THE CORPORATION OF THE TOWN OF OAKVILLE.
3. THE STREET MIDDING, NAMELY, BLOCK 25 IS HEREBY DEDICATED AS A PUBLIC HIGHWAY TO THE REGIONAL MUNICIPALITY OF HALTON.

DATED THE 18th DAY OF OCT 2018.
DUNDAS-TRAFALGAR INC.

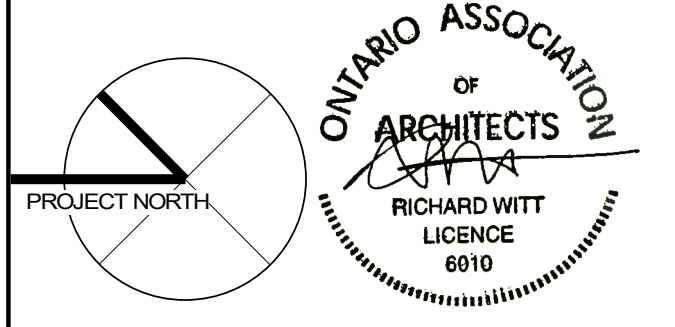
[Signature] TRUCK COMPANY AUTHORIZED SIGNING OFFICER
[Signature] STEVEN STRIETS AUTHORIZED SIGNING OFFICER

MUNICIPAL APPROVAL
APPROVED UNDER SECTION 31 OF THE PLANNING ACT
P.L.S. 1560, P.L.S. AS MARKED BY THE DIRECTOR OF PLANNING SERVICES OF THE TOWN OF OAKVILLE
THIS 13th DAY OF NOVEMBER 2018
[Signature]
MAYOR OF OAKVILLE
(AUTHORITY GRANTED BY BY-LAW 1998-272, AS AMENDED)

Date	No.	Description

REVISION RECORD

Date	No.	Description
2022-04-11	1	RE-ISSUED FOR SITE PLAN APPROVAL
2022-03-25	2	RE-ISSUED FOR SITE PLAN APPROVAL
2021-10-08	3	RE-ISSUED FOR SITE PLAN APPROVAL
2021-04-12	4	RE-ISSUED FOR SITE PLAN APPROVAL
2020-10-16	5	ISSUED FOR SITE PLAN APPROVAL



BDP Quadrangle

Quadrangle Architects Limited
901 King Street West, Suite 701 Toronto, ON M5V 3H5
416.598.1240 www.bdpquadrangle.com

Oakvillage Phase 4A & 4B
3071/3079 Trafalgar Rd
for
MC Oakville LP

2008 As Indicated FA JS
PROJECT SCALE DRAWN REVIEWED

Survey

A103.S

Note: This drawing is the property of the Architect and may not be reproduced or used in any form without the express consent of the Architect. The Contractor is responsible for checking and verifying all levels and dimensions and shall report all discrepancies to the Architect and obtain verification prior to commencing work.

