

THE GREENWICH

OAKVILLE, BLOCK 14

Proposed Residential Development



DEVELOPER

BRANTHAVEN HOMES
720 Oval Court
Burlington, ON L7L 6A9
T: 905 333 8364

ARCHITECT

KIRKOR ARCHITECTS AND PLANNERS
20 De Boers Dr. Suite #400
Toronto, ON M3J 0H1
T: 416 665 6060

LANDSCAPE ARCHITECT

NAK DESIGN STRATEGIES
421 Roncesvalles Ave.
Toronto, ON M6R 2N1
T: 416 340 6725

INTERIOR DESIGN

II BY IV DESIGN
607 Mowat Ave. Suite 109
Toronto, ON M6K 3E3
T: 416 531 2224

PLANNING CONSULTANT

DORACIN TERRA STRATEGIES LTD.
2380 Royal Windsor Dr
Mississauga, ON L5J 1K6
T: 905-802-3792

CIVIL ENGINEER

URBANTECH
3760 14th Ave. Suite 301
Markham, ON L3R 3T7
T: 905 946 9461

ELECTRICAL ENGINEER

THE HIDI GROUP
155 Gordan Baker Road, Suite 200
Toronto, ON M2H 3N5
T: 416 364 2100

MECHANICAL ENGINEER

THE HIDI GROUP
155 Gordan Baker Road, Suite 200
Toronto, ON M2H 3N5
T: 416 364 2100

GEOTECHNICAL ENGINEER

SOILS-MAT ENGINEERS & CONSULTANTS LTD.
130 Lancing Dr
Hamilton, ON L8W 3A1
T: 905 318 7440

TRAFFIC ENGINEER

GHD LTD.
111 Brunel Road, Suite 200
Mississauga, ON L4Z 1X3
T: 905 712 0510

STRUCTURAL ENGINEER

ENTUITIVE
200 University Ave, 7th Floor
Toronto, ON M5H 3C6
T: 416 477 5832

NOISE CONSULTANT

SS WILSON ENGINEERING
15 Wertheim Ct.
Richmond Hill, ON L4B 3H7
T: 905 707 5800

SURVEYOR

RADY-PANTEK & EDWARD SURVEYING LTD.
64 Christlea Road, Suite 7
Woodbridge, ON L4L 8A3
T: 416 635 5000

BUILDING CODE CONSULTANT

MATTEO GILFILLAN & ASSOCIATES
10 Director Ct., Suite 203
Vaughan, ON L4L 7E8
T: 647 559 9075

WIND ENGINEER

GRADIENT WIND ENGINEERING INC.
127 Walgreen Road
Ottawa, ON K0A 1L0
T: 613 836 0934

WASTE CONSULTANT

CINILITTLE
2300 Yonge St. Suite 1600
Toronto, ON M4P 1E4
T: 613 836 0934

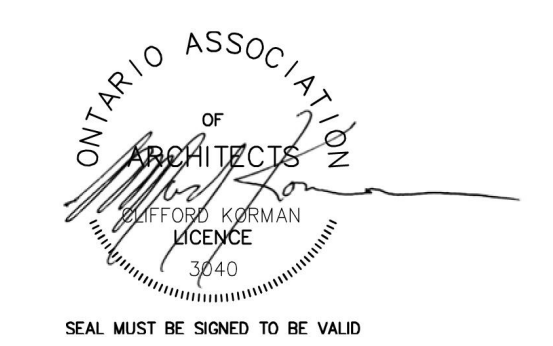
DRAWING LIST			
Sheet Number	Sheet Name	Issue#1 (12/15/21)	Issue#2 (06/23/22)
12 SITE PLAN APPROVAL			
dA0.0	Cover Sheet		
A1			
dA1.1	Site Plan - Interim Future R.O.W.		
dA1.2	Site Plan - Ultimate Future R.O.W.		
dA1.3	Site Statistics/ Site Context		
dA1.4	Master Plan		
A2			
dA2.1	Floor Plans Level P3		
dA2.2	Floor Plans Level P2		
dA2.3	Floor Plans Level P1		
dA2.4	Floor Plans Level 1		
dA2.5	Floor Plans Level 2		
dA2.6	Floor Plans Levels 3		
dA2.7	Floor Plans Levels 4		
dA2.8	Floor Plans Levels 5-7		
dA2.9	Floor Plans Level 8		
dA2.10	Floor Plans Levels 9		
dA2.11	Floor Plans Levels 10-11		
dA2.12	Floor Plans Level 12		
dA2.13	Floor Plans Levels 13		
dA2.14	Floor Plans Levels 14-MPH		
A4			
dA4.1	North Elevation		
dA4.2	East Elevation		
dA4.3	South Elevation		
dA4.4	West Elevation		
dA4.5	Internal North Elevation		
dA4.6	Internal South Elevation		
dA4.7	Partial West Elevation		
dA4.8	Partial West Elevation		
dA4.9	Partial West Elevation		
dA4.10	Partial East Elevation		
A5			
dA5.1	Section 1		
dA5.2	Section 2		
A6			
dA6.01	Perspective View		
dA6.02	Perspective View		
dA6.03	Perspective View		
A7			
dA7.01	Sun Shadow Study - April		
dA7.02	Sun Shadow Study - June		
dA7.03	Sun Shadow Study - September		
dA7.04	Sun Shadow Study - December		

Authorities Having Jurisdiction

All Drawings, Specifications, and Related Documents are the Copyright of the Architect. The Architect retains all rights to control all uses of these documents for the intended issuance/use as identified below. Reproduction of these Documents, without permission from the Architect, is strictly prohibited. The Authorities Having Jurisdiction are permitted to use, distribute, and reproduce these drawings for the intended issuance as noted and dated below, however the extended permission to the Authorities Having Jurisdiction in no way debases or limits the Copyright of the Architect, or control of use of these documents by the Architect.

Do not scale the drawings.
This Drawing is Not To Be Used For Construction Until Signed By The Architect.

Date:



Revisions:		
No.:	Revision:	Date:
02.	Site Plan Approval - 2nd Submission	June 23 2022
01.	Site Plan Approval - 1st Submission	Dec 15 2021

No.:	Issued For:	Date:

No.:	Issued For:	Date:

Client:
BRANTHAVEN
3240 William Coltson Ave, Oakville, ON
Proposed Residential Development

Drawing Title:
Cover Sheet

Scale:
Drawn by:
JS
Checked by:
VPS
Project No.:
21027
Date:
June 23, 2022
Drawing No.:

dA0.0

Print Date: 2022-06-23 13:35:23 File Path: C:\New\2021\21027\21027.dwg Plot Date: 2022-06-23 13:35:23 Plotter: HP DesignJet T1100e



5 Traffic Signs

ESTABLISHED GRADE

DEFINITION IN BY-LAW: THE AVERAGE OF CENTRE POINTS OF EACH LOT LINE ABUTTING THE ROAD.

ESTABLISHED GRADE FOR BUILDING HEIGHT = 180.19m (AVERAGE GRADE @ FRONT LOT LINE)

4 Established Grade

NOTES

FOR LANDSCAPE DETAILS PLEASE REFER TO NAK DESIGN STRATEGIES LANDSCAPE DRAWINGS

FOR SITE SERVING DETAILS PLEASE REFER TO URBANTECH DRAWINGS

FOR TRAFFIC DETAILS PLEASE REFER TO GHG DRAWINGS

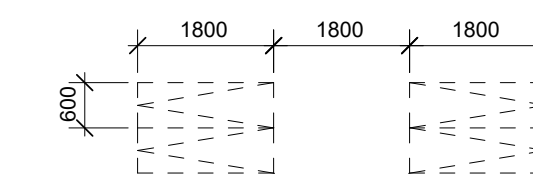
FOR SURVEY INFO PLEASE REFER TO RADY-PANTEK & EDWARD SURVEYING DRAWINGS

FOR WASTE MANAGEMENT DETAILS REFER TO CINILITTLE DRAWINGS

SNOW WILL BE REMOVED FROM THE SITE TO AN OFF SITE LOCATION

3 Notes and Lot Info

TYPICAL BIKE PARKING SPACE:

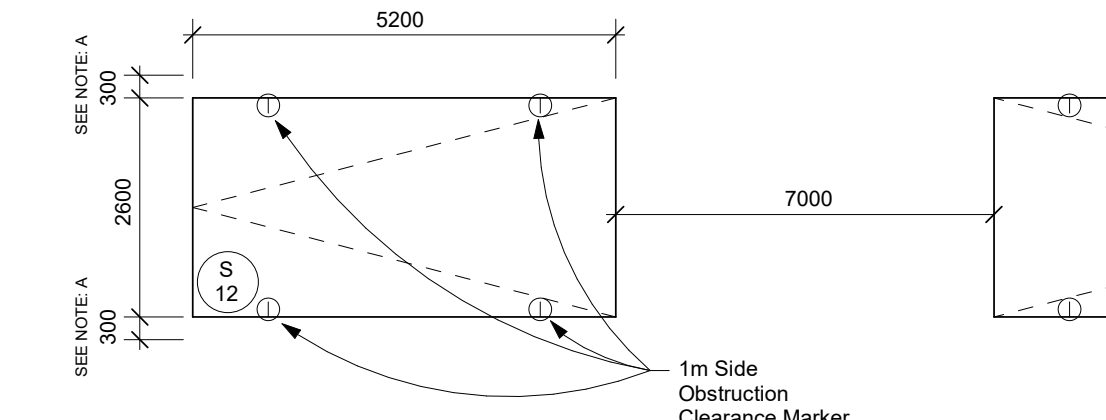


TOTAL BIKE PARKING SPACES	
P1	150
L1	52
TOTAL	202

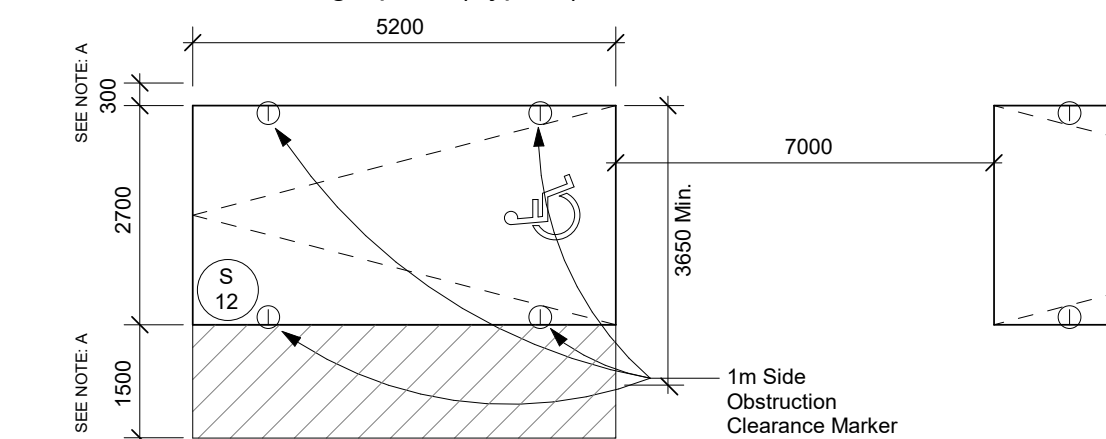
NOTE: BIKE PARKING SPACES ARE 0.6m x 1.8m x 1.9m (HIGH VERTICAL CLEARANCE). IN THE CASE OF STACKED BIKE PARKING, TWO HORIZONTAL BIKE SPACES CAN BE STACKED WITH AN OVERALL CLEAR HEIGHT OF 2.55m.

TYPICAL PARKING SPACE:

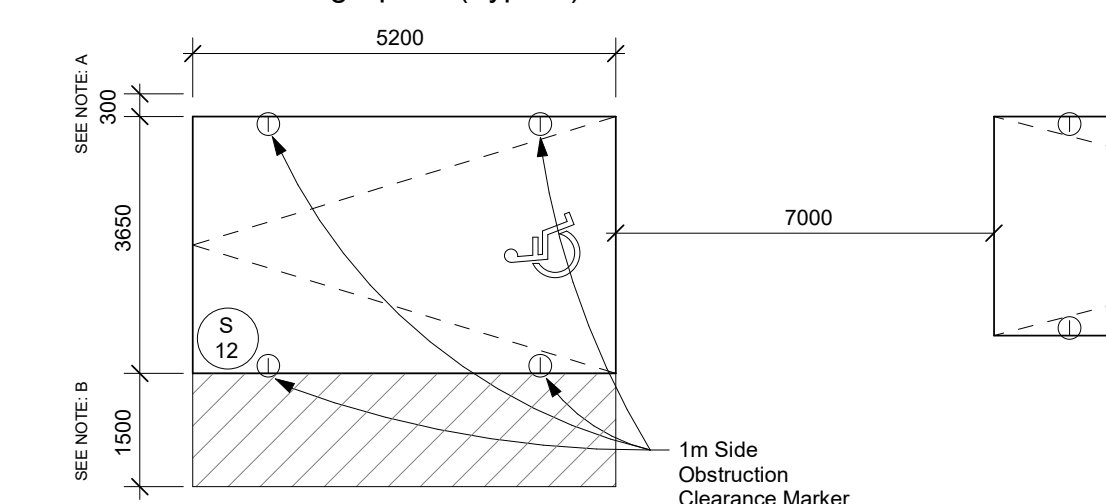
Drive Aisle @ 7m MIN.



Accessible Parking Space (Type A)

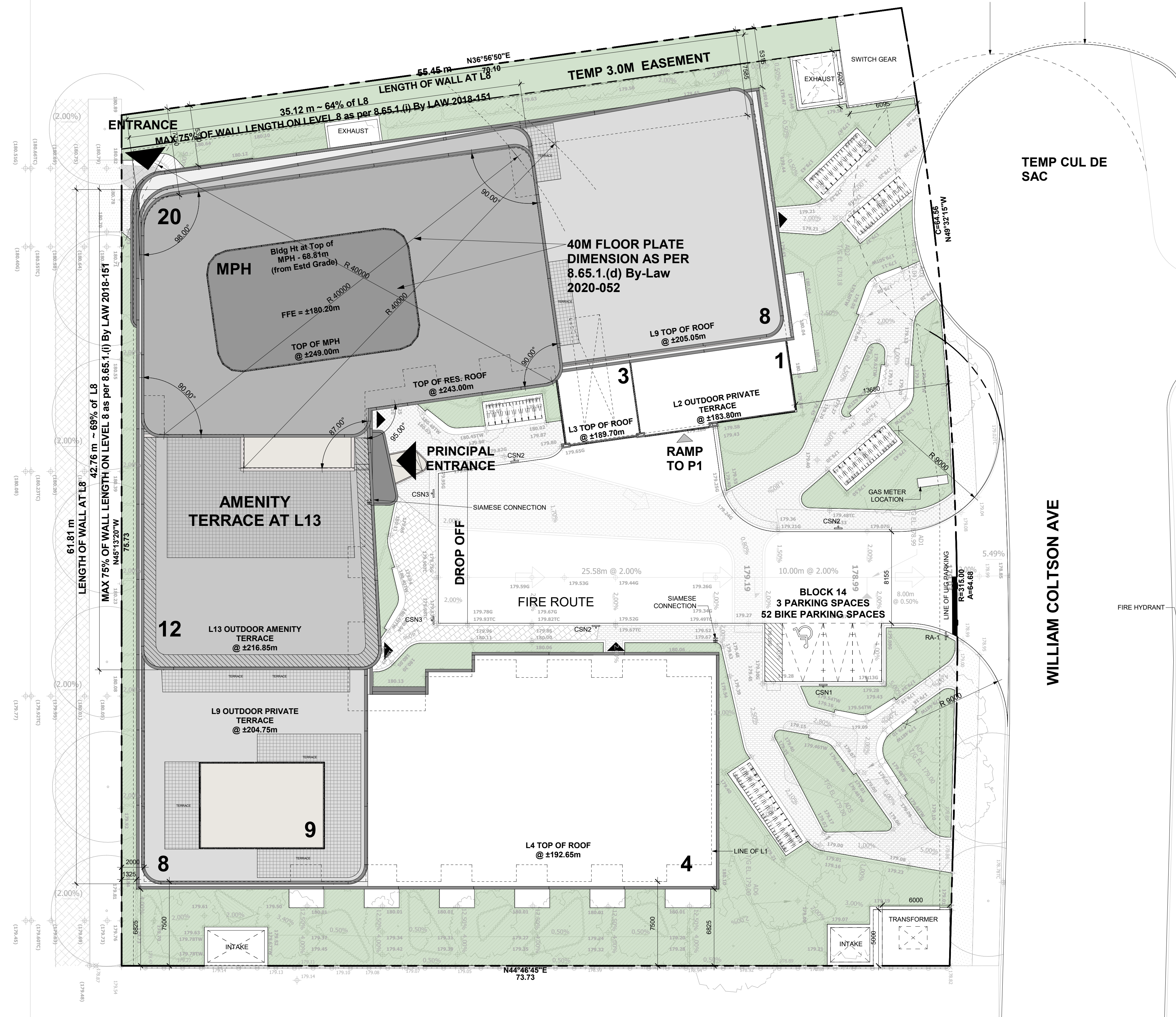


Accessible Parking Space (Type B)



NOTES:
 A - PROVIDE AN ADDITIONAL 300mm FOR PARKING SPACE WIDTH WHEN OBSTRUCTIONS OCCUR BETWEEN THE FRONT AND REAR 1000mm.
 B - PROVIDE A 1500mm WALKWAY ON AT LEAST ONE SIDE OF AN ACCESSIBLE PARKING STALL. THIS WALKWAY MAY BE SHARED WITH ADJOINING HANDICAP SPACE.

2 Parking Legend



TRAFLAGAR RD

WILLIAM COLTSON AVE

1 Site Plan - Interim Future R.O.W.

1 : 200

All Drawings, Specifications, and Related Documents are the Copyright of the Architect. The Architect retains all rights to control all uses of these documents for the intended issuance/use as identified below. Reproduction of these Documents, without permission from the Architect, is strictly prohibited. The Authorities Having Jurisdiction are permitted to use, distribute, and reproduce these drawings for the intended issuance as noted and dated below, however the extended permission to the Authorities Having Jurisdiction in no way debases or limits the Copyright of the Architect, or control of use of these documents by the Architect.

Do not scale the drawings.
 This Drawing is Not To Be Used For Construction Until Signed By The Architect.

Date:



KIRKOR
 ARCHITECTS AND PLANNERS

20 De Boers Drive Suite 400
 Toronto, ON M3J 0H1

Revisions:		
No.:	Revision:	Date:

02.	Site Plan Approval - 2nd Submission	June 23 2022
01.	Site Plan Approval - 1st Submission	Dec 15 2021

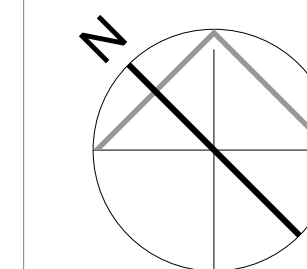
No.:

Client:
BRANTHAVEN

3240 William Coltson Ave, Oakville, ON
 Proposed Residential Development

Site Plan - Interim Future R.O.W.

Drawing Title:
 Scale:
 As indicated
 Drawn by:
 JS
 Checked by:
 VPS
 Project No.:
 21027
 Date:
 June 23, 2022
 Drawing No.:



dA1.1

Plot Date: 2022-06-23 13:35:58 File Path: C:\Users\js01\Documents\2021\21027\21027.dwg Plot Date: 2022-06-23 13:35:58 File Path: C:\Users\js01\Documents\2021\21027\21027.dwg



5 Traffic Signs

ESTABLISHED GRADE

DEFINITION IN BY-LAW: THE AVERAGE OF CENTRE POINTS OF EACH LOT LINE ABUTTING THE ROAD.
 ESTABLISHED GRADE FOR BUILDING HEIGHT = 180.19m (AVERAGE GRADE @ FRONT LOT LINE)

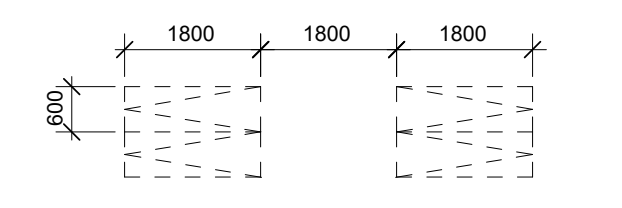
4 Established Grade

NOTES

- FOR LANDSCAPE DETAILS PLEASE REFER TO NAK DESIGN STRATEGIES LANDSCAPE DRAWINGS
- FOR SITE SERVING DETAILS PLEASE REFER TO URBANTECH DRAWINGS
- FOR TRAFFIC DETAILS PLEASE REFER TO GHJ DRAWINGS
- FOR SURVEY INFO PLEASE REFER TO RADY-PANTEK & EDWARD SURVEYING DRAWINGS
- FOR WASTE MANAGEMENT DETAILS REFER TO CINILITTLE DRAWINGS
- SNOW WILL BE REMOVED FROM THE SITE TO AN OFF SITE LOCATION

3 Notes and Lot Info

TYPICAL BIKE PARKING SPACE:

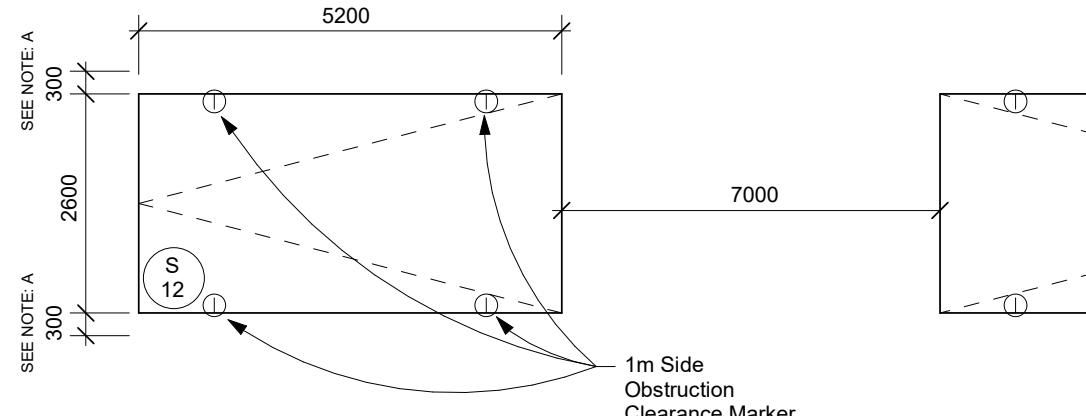


TOTAL BIKE PARKING SPACES	
P1	150
L1	52
TOTAL	202

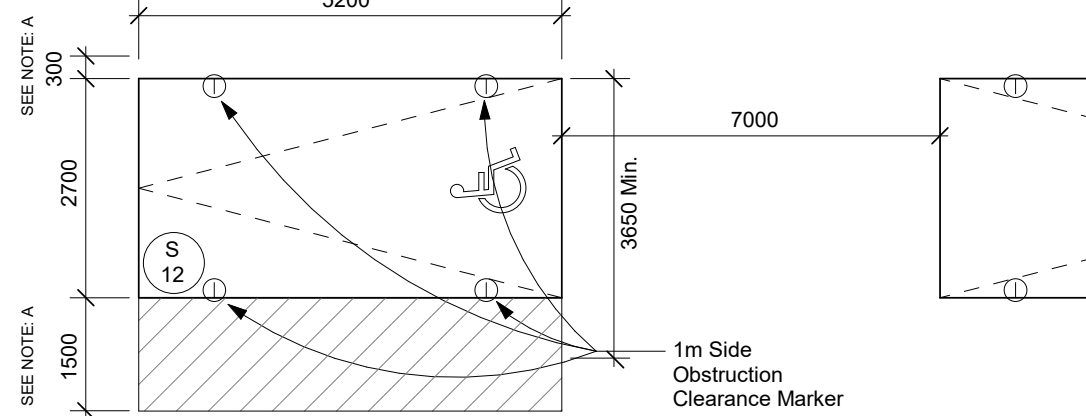
NOTE: BIKE PARKING SPACES ARE 0.6m x 1.8m x 1.9m (HIGH VERTICAL CLEARANCE). IN THE CASE OF STACKED BIKE PARKING, TWO HORIZONTAL BIKE SPACES CAN BE STACKED WITH AN OVERALL CLEAR HEIGHT OF 2.55m.

TYPICAL PARKING SPACE:

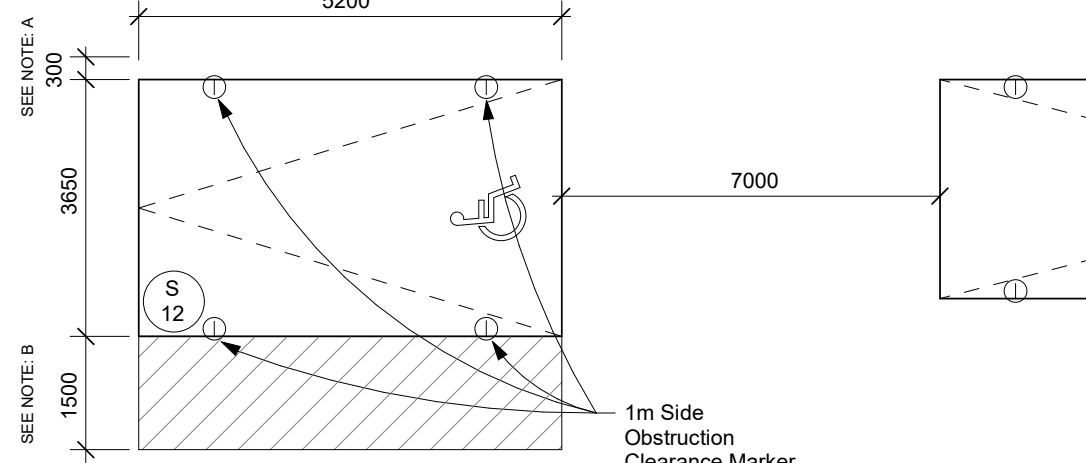
Drive Aisle @ 7m MIN.



Accessible Parking Space (Type A)

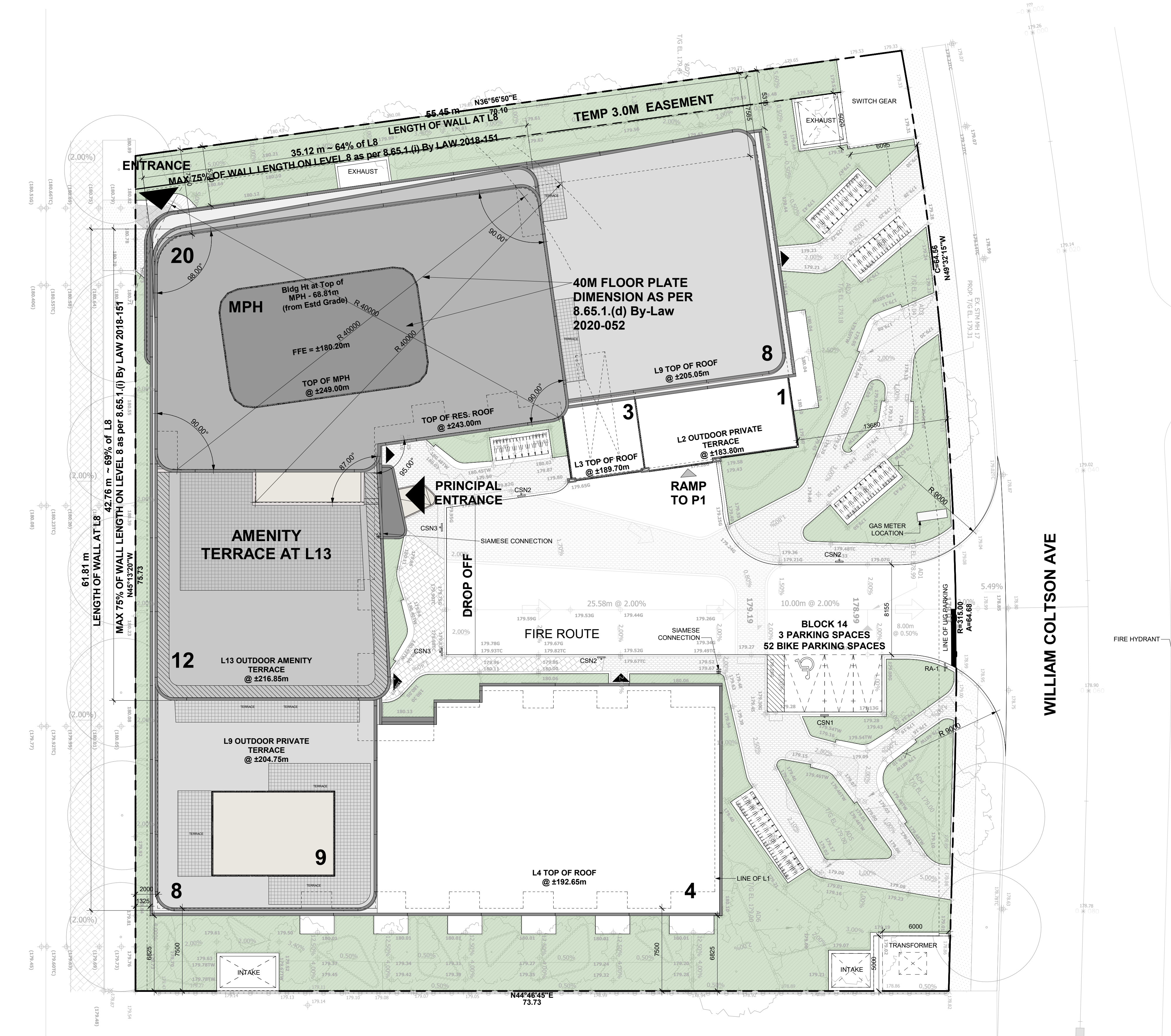


Accessible Parking Space (Type B)



NOTES:
 A - PROVIDE AN ADDITIONAL 300mm FOR PARKING SPACE WIDTH WHEN OBSTRUCTIONS OCCUR BETWEEN THE FRONT AND REAR 1000mm.
 B - PROVIDE A 1500mm WALKWAY ON AT LEAST ONE SIDE OF AN ACCESSIBLE PARKING STALL. THIS WALKWAY MAY BE SHARED WITH ADJOINING HANDICAP SPACE.

2 Parking Legend



TRAFLAGAR RD

WILLIAM COLTSON AVE

1 Site Plan - Ultimate Future R.O.W.

1 : 200

All Drawings, Specifications, and Related Documents are the Copyright of the Architect. The Architect retains all rights to control all uses of these documents for the intended issuance/use as identified below. Reproduction of these Documents, without permission from the Architect, is strictly prohibited. The Authorities Having Jurisdiction are permitted to use, distribute, and reproduce these drawings for the intended issuance as noted and dated below, however the extended permission to the Authorities Having Jurisdiction in no way debases or limits the Copyright of the Architect, or control of use of these documents by the Architect.

Do not scale the drawings.
 This Drawing is Not To Be Used For Construction Until Signed By The Architect.
 Date:



Revisions:		
No.:	Revision:	Date:

02.	Site Plan Approval - 2nd Submission	June 23 2022
01.	Site Plan Approval - 1st Submission	Dec 15 2021

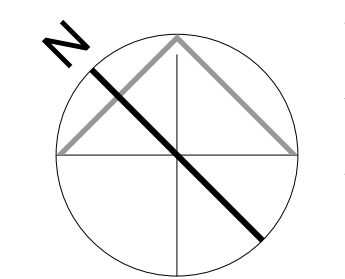
No.:

Client: BRANTHAVEN

3240 William Coltson Ave, Oakville, ON
 Proposed Residential Development

Site Plan - Ultimate Future R.O.W.

Scale: As indicated
 Drawn by: JS
 Checked by: VPS
 Project No.: 21027
 Date: June 23, 2022
 Drawing No.:



dA1.2

PROJECT STATISTICS
THE GREENWICH
 Residential Development
 Oakville, ON
 June 17, 2022

Project No. 21-027

1.0 SITE AREA					
1.1	Site	hectare	acres	sq.m.	sq.ft.
	Block A	0.59	1.46	5,914	63,662
	Total Site Area	0.59	1.46	5,914.40	63,662
	Site Coverage Area	0.30	0.74	3,012.88	32,430
	Site Coverage %			51%	

2.0 Parking Area					
	Level P1 to P3	floors	sq.m.	sq.m.	sq.ft.
		3 x	5428	16284	175280
	Total Proposed Parking GFA			16284	175280

3.0 Proposed Residential GFA/SPA
 Floor Area Definition as per Zoning By-Law 2009-118
 "Floor Area" means the total area of all floors of a building within the outside walls or outside finished furred partitions of the walls, but does not include a porch, non-walk-in bay window, attic, basement, enclosed or roofed walk-ways or loading dock.

3.1 Building					
		floors	sq.m.	sq.m.	sq.ft.
	Level 1	1 x	2358	2358	25381
	Level 2	1 x	1795	1795	19321
	Level 3	1 x	2020	2020	21872
	Level 4	1 x	2373	2373	25543
	Level 5 to 8	4 x	1793	7172	77199
	Level 9	1 x	1186	1186	12766
	Level 10 to 12	3 x	1099	3297	35489
	Level 13	1 x	760	760	8181
	Level 14 to 20	7 x	730	5110	55004
	Total Proposed Residential GFA	20	730	29371	283556

4.0 Proposed Density - FAR	
Total Proposed GFA / Gross Site Area (Item 3.1 / Item 1)	4.46

5.0 Unit Count									
	Floors	Units per Floor	1B	1B+D	2B	2B+D	3B	Total Units	
Level 1	1 x	21	4	11	4	2	0	21	
Level 2	1 x	23	4	12	5	2	0	23	
Level 3	1 x	35	8	21	8	0	0	35	
Level 4	1 x	36	8	22	6	0	0	36	
Level 5 to 7	3 x	27	5	19	3	0	0	81	
Level 8	1 x	23	2	13	4	4	0	23	
Level 9	3 x	15	3	8	2	1	1	45	
Level 10 to 11	2 x	14	3	7	2	0	2	14	
Level 12	1 x	8	1	3	4	0	0	8	
Level 13	1 x	8	1	2	6	0	0	8	
Level 14 to 20	7 x	9	1	2	6	0	0	63	
Total			61	164	88	11	5	349	
			17%	53%	25%	3%	1%		

6.0 Amenity				
Proposed Amenity	Floors		sq.m.	sq.ft.
Levels 1	1 x		462	5191
Levels 13	1 x		83	896
Total			566	6087

7.0 Parking				
Parking Required				
Visitor		0.10 per unit		35
Residential		1.00 per unit		349
Total				384

7.1 Parking Proposed				
	Floors	Residential	Visitor	Total
Levels 1	1 x		3	3
Levels P1	1 x	86	32	118
Levels P2	1 x	150		150
Levels P3	1 x	153		153
Total		389	35	424

7.2 Required Accessible Parking Spaces				
Required Accessible Parking Spaces	Required Ratio	Required Parking	Total	
Required Spaces	1% of Total Spaces	5	6	
			6	

7.3 Required Electric Vehicle Parking Spaces				
Required Electric Vehicle Parking Spaces	Required Ratio	Required Parking	Total	
Required Spaces	10% of Total Spaces	43	43	
			43	

8.0 Building Heights			
Established Grade	(The average of centre points of each lot line abutting the road)		180.19 m
Bldg Ht from Established Grade	$((180.83 + 179.54)/2) = 180.19$		68.81 m



2 Site Context
 1 : 5000

1 Project Statistics

All Drawings, Specifications, and Related Documents are the Copyright of the Architect. The Architect retains all rights to control all uses of these documents for the intended issuance/use as identified below. Reproduction of these Documents, without permission from the Architect, is strictly prohibited. The Authorities Having Jurisdiction are permitted to use, distribute, and reproduce these drawings for the intended issuance as noted and dated below, however the extended permission to the Authorities Having Jurisdiction in no way debases or limits the Copyright of the Architect, or control of use of these documents by the Architect.

Do not scale the drawings.
 This Drawing is Not To Be Used For Construction Until Signed By The Architect.

Date:



KIRKOR
 ARCHITECTS AND PLANNERS

20 De Boers Drive, Suite 400
 Toronto, ON M3J 0H1

Revisions:		
No.:	Revision:	Date:

02.	Site Plan Approval - 2nd Submission	June 23 2022
01.	Site Plan Approval - 1st Submission	Dec 15 2021

No.:	Issued For:	Date:
------	-------------	-------

Client:
BRANTHAVEN

3240 William Coltson Ave, Oakville, ON
 Proposed Residential Development

Drawing Title:
Site Statistics/ Site Context

Scale:

1 : 5000

Drawn by:

JS

Checked by:

VPS

Project No.:

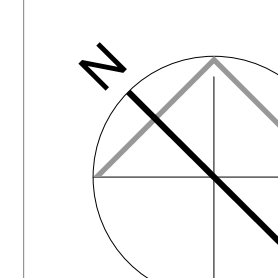
21027

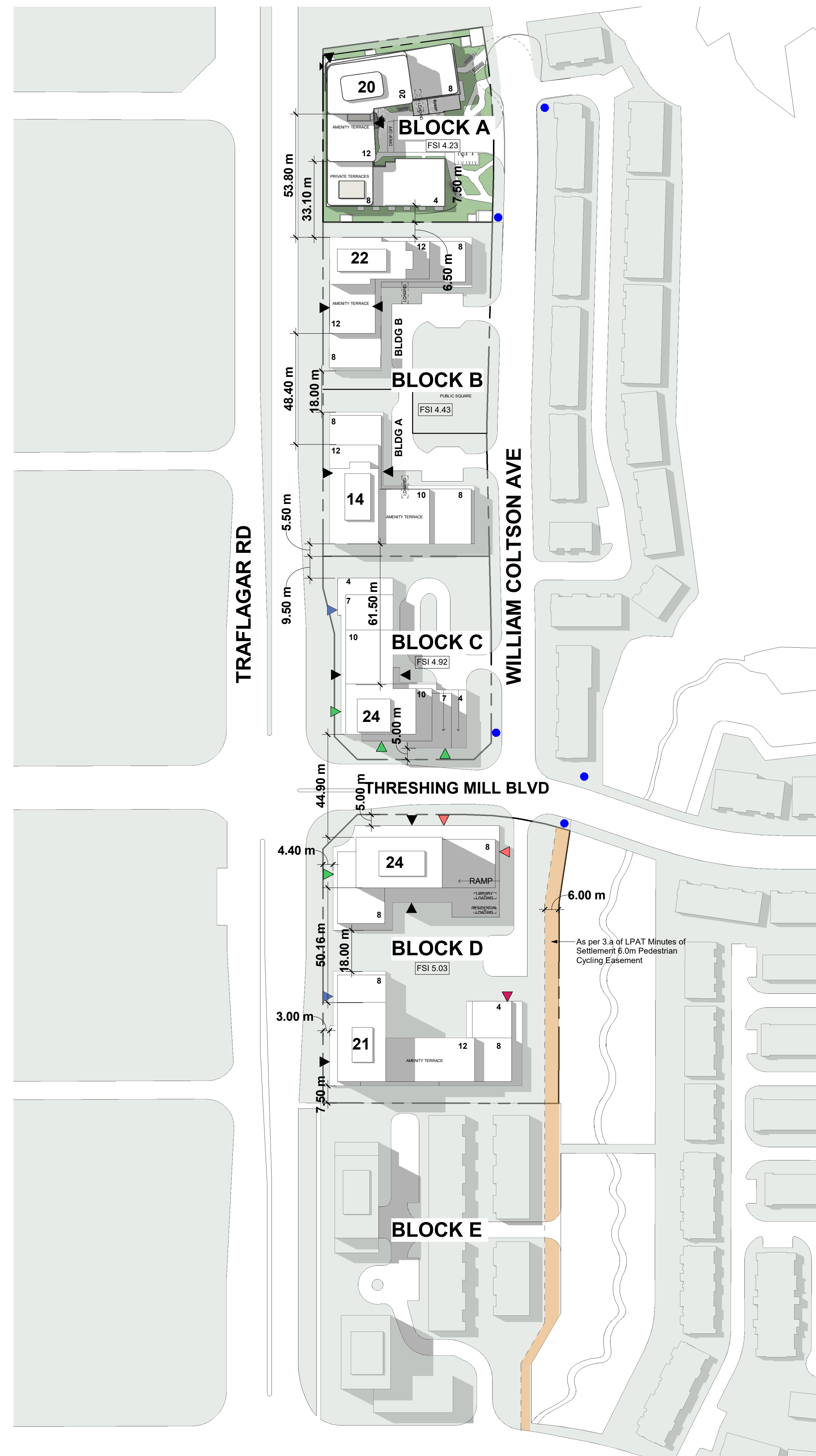
Date:

June 23, 2022

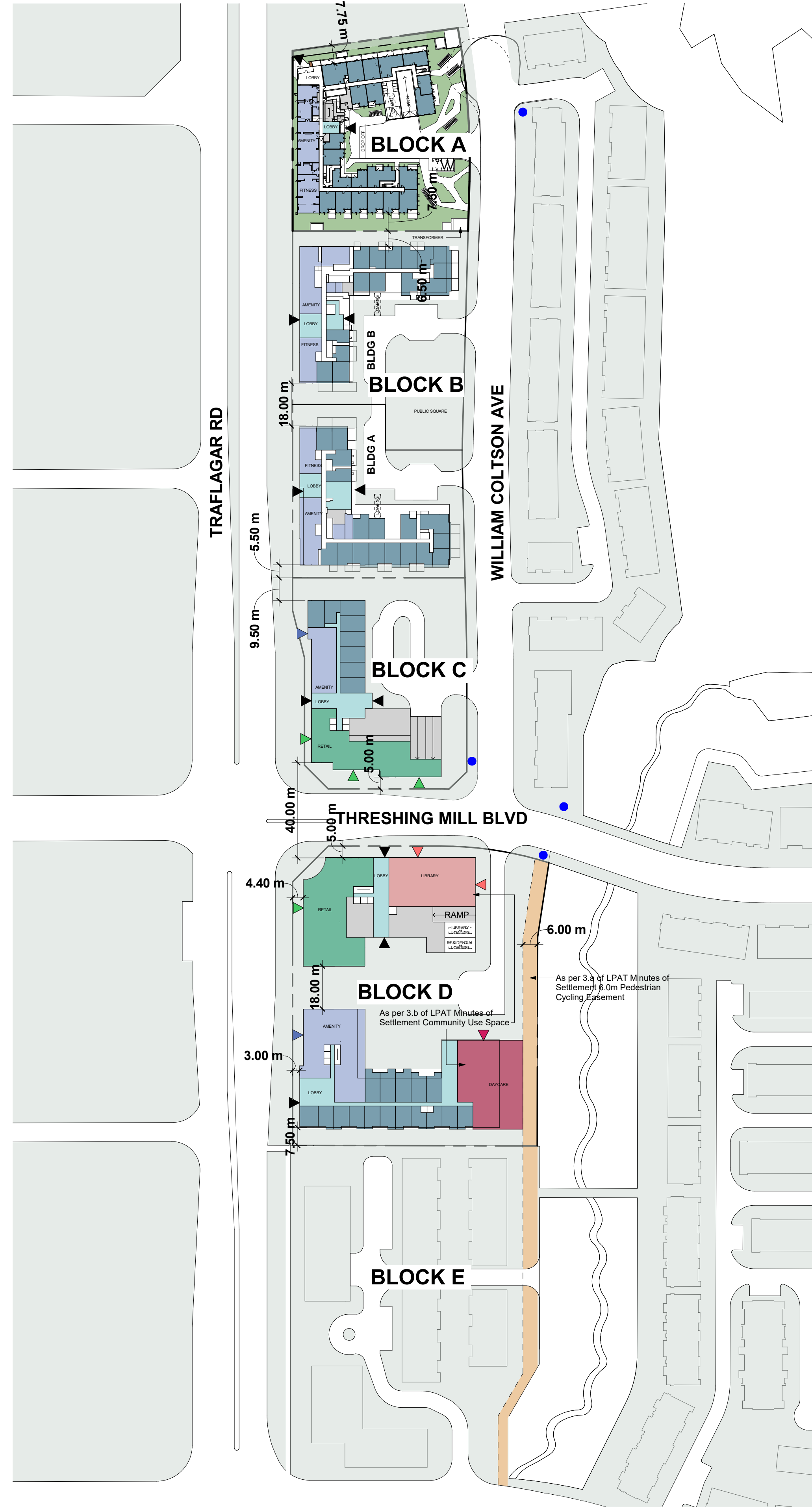
Drawing No.:

dA1.3





1 Master Plan
1 : 1250



2 Ground Floor Master Plan
1 : 1250

AREA USE LEGEND

- RESIDENTIAL
- AMENITY
- LOBBY
- DAYCARE
- LIBRARY
- RETAIL
- SERVICE
- TRANSIT/BUS STOP

ENTRANCE LEGEND

- LOBBY ENTRANCE
- AMENITY ENTRANCE
- RETAIL ENTRANCE
- LIBRARY ENTRANCE
- DAYCARE ENTRANCE

All Drawings, Specifications, and Related Documents are the Copyright of the Architect. The Architect retains all rights to control all uses of these documents for the intended issuance/use as identified below. Reproduction of these Documents, without permission from the Architect, is strictly prohibited. The Authorities Having Jurisdiction are permitted to use, distribute, and reproduce these drawings for the intended issuance as noted and dated below, however the extended permission to the Authorities Having Jurisdiction in no way debases or limits the Copyright of the Architect, or control of use of these documents by the Architect.

Do not scale the drawings.
This Drawing is Not To Be Used For Construction Until Signed By The Architect.
Date:



Revisions:		
No.:	Revision:	Date:

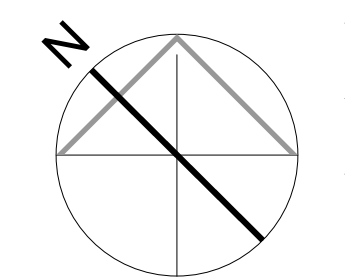
02.	Site Plan Approval - 2nd Submission	June 23 2022
01.	Site Plan Approval - 1st Submission	Dec 15 2021

Client:
BRANTHAVEN

3240 William Coltson Ave, Oakville, ON
Proposed Residential Development

Drawing Title:
Master Plan

Scale:
As indicated
Drawn by:
JS
Checked by:
VPS
Project No.:
21027
Date:
June 23, 2022
Drawing No.:



dA1.4

Plot Date: 2022-06-23 13:35:50 File Path: C:\Users\js201\Documents\21027\21027.dwg 14 Dec 14 2021 Selected SPA_01.dwg