

**THE CORPORATION OF THE TOWN OF OAKVILLE**

**BY-LAW NUMBER 2024-XX**

A by-law to amend the Town of Oakville’s Zoning By-law 2014-014, as amended, to permit the construction of a residential building on lands described as 50 Speers Road  
(File Z.1616.57)

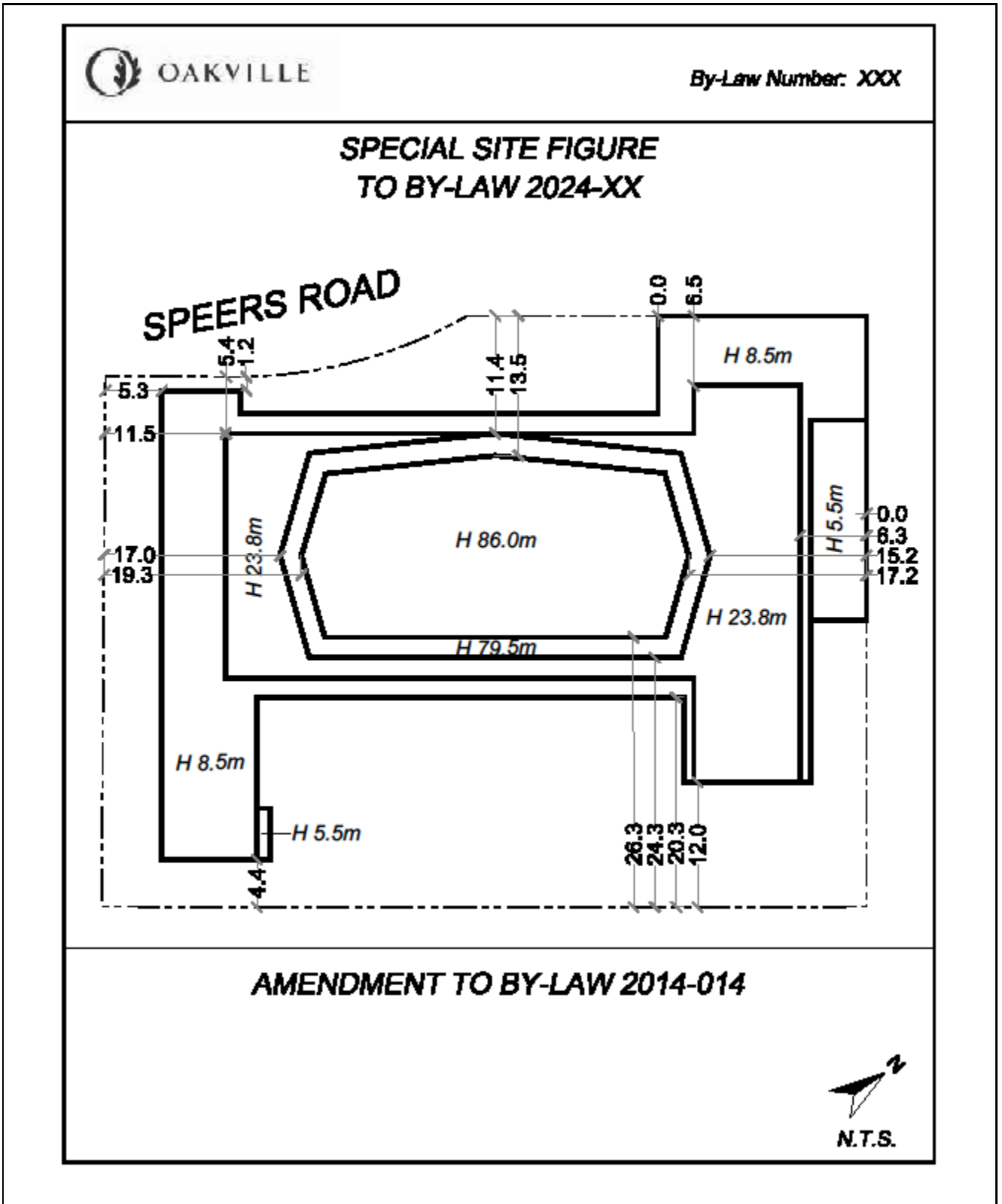
**COUNCIL ENACTS AS FOLLOWS:**

1. That Schedule “19(7b)” to By-law 2014-014, as amended, is hereby further amended by rezoning lands municipally described as 50 Speers Road in the Town of Oakville, Regional Municipality of Halton from the “RH” to the “RH – (XXX)” Zone as identified on Schedule A attached hereto.
  
2. Section 15, Special Provisions, of By-law 2014-014, as amended, is amended by adding new Section 15.XX and subsections 15.XX.1, 15.XX.2, 15.XX.3, 15.XX.4, and 15.XX.5 with respect to the lands municipally known as 50 Speers Road as follows:

<b>XX</b>	<b>50 Speers Road</b>	Parent Zone: RH
Map 19(7a)		(2024-XXX)
<b>15. XX.1 Additional Permitted Uses</b>		
The following additional <i>uses</i> are permitted:		
a)	<i>Townhouse dwelling</i>	
<b>15.XX.2 Zone Provisions</b>		
The following regulations apply:		
a)	Maximum <i>gross floor area</i>	26,500 square metres
b)	Maximum number of <i>storeys</i>	27 storeys
c)	Minimum <i>rear, interior side, and front yards</i>	In accordance with Figure 15.XXX.1
d)	Minimum <i>interior side yard</i>	0.0 metres



e)	Minimum front yard	1.3 metres
f)	Maximum <i>height</i>	In accordance with Figure 15.XXX.1
g)	Maximum height of a <i>mechanical penthouse</i> , including appurtenances and rooftop mechanical equipment, elevator penthouse and stair tower	6.5 metres
h)	Maximum <i>lot coverage</i>	55%
i)	Minimum setback of a <i>parking structure</i> from a Residential Zone	0.0 metres
j)	Minimum setback of a <i>parking structure</i> ventilation shaft from a Residential Zone	0.0 metres
<b>15.XX.3 Parking Provisions</b>		
The following parking provisions apply:		
a)	Minimum number <i>parking spaces</i> for <i>dwelling units</i> : <i>Resident</i> <i>Visitor</i>	1.0 space per dwelling unit <i>0.85 spaces per dwelling unit</i> <i>0.15 spaces per dwelling unit</i>
<b>15.XX.4 Special Site Provision</b>		
a)	Notwithstanding any severance, partition or division of the lands subject to this Special Provision, all lands subject to this by-law shall be considered to be one <i>lot</i> for the purposes of this By-law.	
<b>15.XX.5 Special Site Figures</b>		





PASSED this      day of, 2024

\_\_\_\_\_  
MAYOR

\_\_\_\_\_  
CLERK

