

PROJECT SUMMARY	
Lot area:	4,998 m2 / 53,898 ft2
FSL:	2.49
Total GFA:	12,428 m2(Excluding Mech. Pent.)
Building Coverage:	78% ~3,892 m2
Roof Terrace NFA	764 m2
Total roof area	3,135 m2
Ratio of Roof Terrace NFA to roof area	%25
Roof Terrace coverage to lot area	%20.92 ~ 1,043,514.988 m2
<small>*See Floor Area Schedule for Details The total area of all floors of a building measured from the exterior face of the exterior walls or retaining walls, and does not include the area of open roofs, terraces, balconies, porches, patios, decks, pergolas, walkways, elevated walkways or elevated loading docks and mobile enclosure containers used for loading purposes, above and below grade parking structures, storage rooms, rooms for garbage collection, and mechanical rooms.</small>	
Parking:	
Parking:	75 = 72 + 1 Type A (BF) + 2 Type B (BF)

Area Schedule	
1st Floor	2,958.72 m²
2nd Floor	3,026.34 m²
3rd Floor	2,783.30 m²
4th Floor	2,756.94 m²
5th Floor	902.42 m²
	12,427.73 m²

Unit Schedule	
AL	
32	
ISL 1 BD	
77	
ISL 1+1 BD	
8	
ISL 2 BD	
15	
Grand total: 132	

Parking Finished Area	
Parking	809.28 m²

Parking Unfinished Area	
Parking	3,457.10 m²

Name of Practice: Murphy Partners Inc. 1100 - 22510 Queen Street East, Toronto, ON 416-496-1100				
Name of Project: Revera Oakville				
Location: 105, 113-131 Garden Dr, Oakville, ON				
Date: 24 August 2021				
Ontario Building Code Data Matrix Part 3				Building Code Reference <sup>1</sup>
3.00	Building Code Version: O. Reg. 332/12	Last Amendment O. Reg. 511/20		
3.01	Project Type: <input checked="" type="checkbox"/> New <input type="checkbox"/> Change of use <input type="checkbox"/> Addition <input type="checkbox"/> Addition and renovation	<input type="checkbox"/> Renovation		[A] 1.1.2
Description: 5 story retirement home with a below grade parking garage				
3.02	Major Occupancy Classification: Group F3 Group C	Occupancy Use Underground Parking Garage Residential (retirement home)	3.1.2.1 (1)	
3.03	Superimposed Major Occupancies: Description: N/A	<input type="checkbox"/> No <input type="checkbox"/> Yes		3.2.2.7
3.04	Building Area (m <sup>2</sup> ) Entire Building	Description: Existing	New	Total
		0	3026	3026
		_____	_____	_____
		_____	_____	_____
3.05	Gross Area (m <sup>2</sup> ) Entire Building Total	Description: Existing	New	Total
		0	12428	12428
		_____	_____	_____
		_____	_____	_____

3.06	Mezzanine Area	Area of Mezzanine	N/A
3.07	Building Height	5 1 TBD (measured from average grade to ceiling of top storey) 17.6m (measured from Level 0 to ceiling of top storey)	[A] 1.4.1.2 & 3.2.1.1 Storeys above grade Storeys below grade TBD (measured from average grade to floor of top storey) 14.1m (measured from Level 0 floor of top storey)
3.08	High Building	<input checked="" type="checkbox"/> No <input type="checkbox"/> Yes	
3.09	Number of Streets / Firefighter Access	2 streets(s) – Garden Drive to the West, Lake Shore West to the South	3.2.2.10 & 3.2.2.1
3.10	Rating Classification (Fire and Construction Access to Occupancy)	3.2.2.4.5A 3.2.2.15	Group C Retirement Home, Any Height, Any Area, Sprinklered Group F, Division 3, Below Grade Parking Garage
3.11	Sprinkler System	<input checked="" type="checkbox"/> Required <input type="checkbox"/> Not Required Proposed: <input type="checkbox"/> entire building <input type="checkbox"/> selected floor areas <input type="checkbox"/> in lieu of roof rating	<input type="checkbox"/> selected compartments <input type="checkbox"/> basement <input type="checkbox"/> none 3.2.2.1.6 & 3.2.2.1.7
3.12	Standpipe System	<input checked="" type="checkbox"/> Required <input type="checkbox"/> Not required	3.2.9.1
3.13	Fire Alarm System	<input checked="" type="checkbox"/> Required <input type="checkbox"/> Not required Proposed: <input type="checkbox"/> Single stage <input checked="" type="checkbox"/> Two stage <input type="checkbox"/> None A modified two stage system is proposed	3.2.4
3.14	Water Service / Supply is Adequate	<input type="checkbox"/> No <input checked="" type="checkbox"/> Yes	
3.15	Construction Type:	Restiction: Actual: Heavy Timber Construction:	<input type="checkbox"/> Combustible permitted <input type="checkbox"/> Combustible <input checked="" type="checkbox"/> Non-combustible <input type="checkbox"/> Non-combustible required <input type="checkbox"/> Combination <input type="checkbox"/> No <input type="checkbox"/> Yes 3.2.2.20 – B3 & 3.2.1.4

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ISSUES & REVISIONS		
No.:	Issued for:	By:
1	2021-09-20 Issued for SPA	

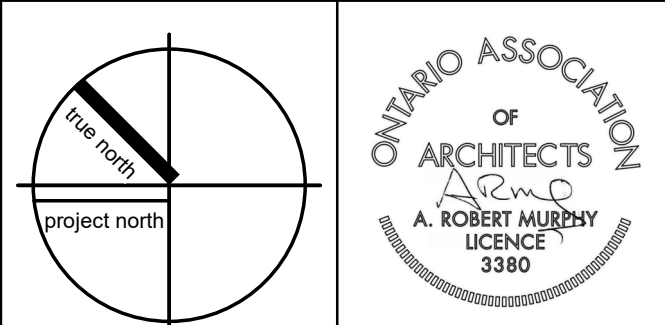
Consultant:

MURPHY PARTNERS IMAGINATION  
SENIORS HOUSING ARCHITECTS | DRIVE COMMITMENT

Client:

revera®

SmartCentres - Revera Inc.



Project:

Oakville Garden Seniors Residence

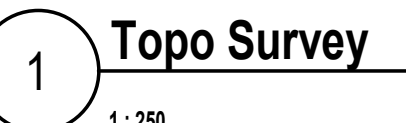
105, 113-131 Garden Dr,  
Oakville, ON L6K 2W4

Drawing Title

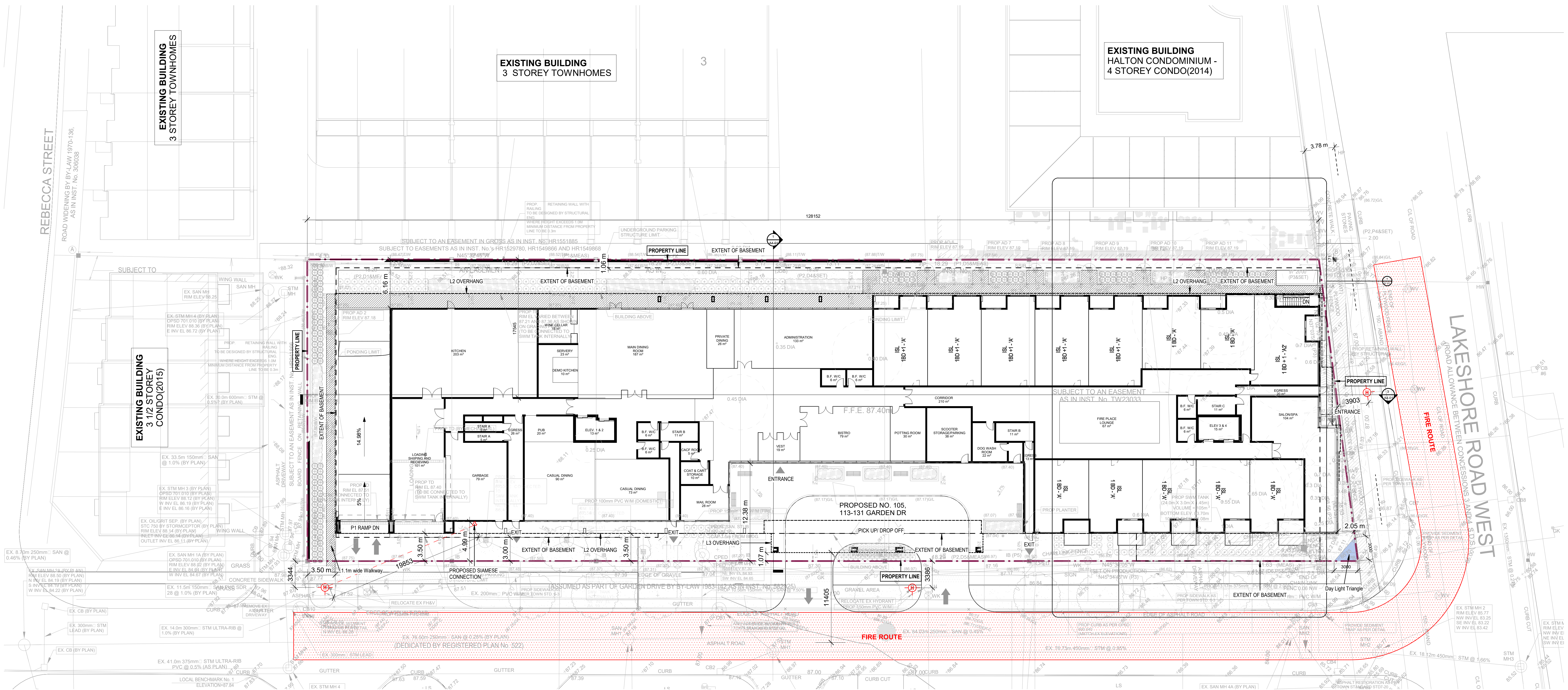
Sheet List, Building Code Matrix,  
Project Stats.

City File No.			
Date 2020-08-24		Project No. 000 00	
Scale		Drawing No.	
Drawn By HAT	Checked By ARM	A1-00	
File Name			

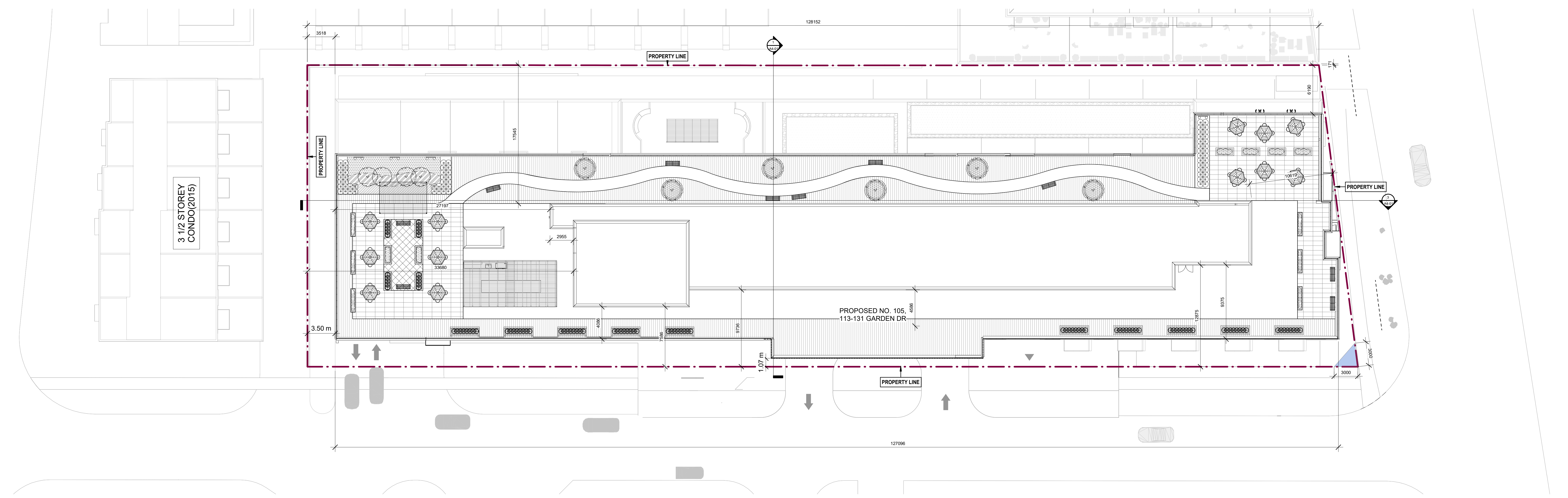








1 Site  
A3.01  
1:200



2 Site- Top View  
A3.01  
1:200

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ISSUES & REVISIONS		
No.	YY-MM-DD	Issued for
1	2021-09-20	Issued for SPA

Consultant

MURPHY PARTNERS IMAGINATION COMMITMENT  
SENIORS HOUSING ARCHITECTS' DRIVE

Client

revera

SmartCentres - Revera Inc.

Project north

ONTARIO ASSOCIATION OF ARCHITECTS  
A. ROBERT HURLEY  
UTICHA 3100

Project

Oakville Garden Seniors Residence  
105, 113-131 Garden Dr,  
Oakville, ON L6K 2W4

Drawing Title

Site Plan

City File No.	Date	2020-08-24	Project No.	000 00
Scale	1 : 200	Drawing No.		
Drawn By	HAT	Checked By	ARM	A1-02
File Name				