

**Record of Site Condition
Under Part XV.1 of the Environment Protection Act**

Summary

Record of Site Condition Number	208749
Date Filed to Environmental Site Registry	12/06/2013
Certification Date	17/11/2012
Current Property Use	Commercial
Intended Property Use	Residential
Certificate of Property Use Number	No CPU
Applicable Site Condition Standards**	Full Depth Generic Site Conditions Standard, with Non-potable Ground Water, Medium and Fine Textured Soil, for Residential property use
Property Municipal Address	2441 Lakeshore Road West L6L 5V5

Notice to Readers Concerning Due Diligence

This record of site condition has been filed in the Environmental Site Registry to which the public has access and which contains a notice advising users of the Environmental Site Registry who have dealings with any property to consider conducting their own due diligence with respect to the environmental condition of the property, in addition to reviewing information in the Environmental Site Registry.

Contents of this Record of Site Condition

This record of site condition consists (RSC) of this document which is available to be printed directly from the Environmental Site Registry as well as all supporting documentation indicated in this RSC to have been submitted in electronic format to the Ministry of the Environment.

RSC Information

Each field marked by an asterisk (*) must be completed.

Is the property used, or has it ever been used, in whole or in part for an industrial use or as a garage; a bulk liquid dispensing facility, including a gasoline outlet; or for the operation of dry cleaning equipment? *

☐ Yes

☒ No

During a phase one environmental site assessment of the property, was a potentially contaminating activity identified on, in or under the property? *

☒ Yes

☐ No

Are there potentially contaminating activities identified in the current RSC submission that were not identified in a previous Phase 1 ESA Report in support of a RSC filed for the property? *

☐ Yes

☒ No

Is there an area of potential environmental concern? *

☒ Yes

☐ No

Select Type of RSC *

☒ Phase 1 and 2 RSC

☐ Phase 1 and 2 RSC with RA

Owner Information

[Owners' General Information](#)

[Submitting Owner's Information](#)

[Owner's Agent Information](#)

RSC Property Information

Environmental Condition

Contaminant Concentrations

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Owner's Information

Owners' General Information

Is the submitting owner(s) a Receiver for the Property? *

☐ Yes

☒ No

Is the submitting owner(s) represented by an Agent? *

☒ Yes

☐ No

Owner Information

- Owners' General Information
- Submitting Owner's Information
- Owner's Agent Information

RSC Property Information

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Owner's Information

Submitting Owner's Information

Type of Owner *	Owner Name *		
Firm, Corporation or Partnership	1812502 Ontario Inc.		
Street Number *	Street Name *	Apt No. /RR No.	
1989	Leslie Street		
City, Town or Village *	Province *	Postal Code *	Country
Toronto	Ontario	M4V 2V2	Canada

Submitting Owner's Contact Information

Contact First Name *	Contact Last Name *		
Derek	Hull		
Phone Number * (including area code)	Fax Number (including area code)	Email Address	
(416) 445-1107	(416) 391-0586	dhull@goldmanco.ca	

Owner Information

- Owners' General Information
- Submitting Owner's Information
- Owner's Agent Information**

RSC Property Information

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Owner's Agent Information

Owner's Agent Information

Agent First Name *	Agent Middle Name	Agent Last Name *
David		Wade
Street Number *	Street Name *	Apt No. /RR No.
244	Montrose Street North	Unit 1 Upper
City, Town or Village *	Province *	Postal Code *
Cambridge	Ontario	N3H 2H7

Owner's Agent Contact Information

Phone Number * (including area code)	Fax Number (including area code)	Email Address
(519) 653-7140	(519) 653-8907	dwade@premiercorp.ca

Owner Information

RSC Property Information

Property Address

Municipality Information

Property Reference Number

Geographical Reference/Area of RSC Property

Previously Filed RSC(s) and TN(s)

Environmental Condition

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RSC Property Information

Property Address

Does the Property have a Municipal Address? *

☒ Yes

☐ No

Is the property administered by MNR under the Public Lands Act? *

☐ Yes

☒ No

Street Number *	Street Name *	Apt No. /RR No.
2441	Lakeshore Road West	
City, Town or Village *	Province *	Postal Code *
Oakville	Ontario	L6L 5V5

Owner Information

RSC Property Information

- Property Address
- Municipality Information**
- Property Reference Number
- Geographical Reference/Area of RSC Property
- Previously Filed RSC(s) and TN(s)

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Municipality & Property Address Information

Municipality Information

Lower or Single Tier Municipality *

Oakville

[Click here to view the list of municipalities](#)

Tier of Municipality

Upper Tier Municipality

Lower Tier

Halton

The District Office of MOE *

Halton-Peel District Office

Address of District Office of MOE

4145 North Service Road, Suite 300, Burlington
ON L7L 6A3

Owner Information

RSC Property Information

Property Address

Municipality Information

Property Reference Number

Geographical Reference/Area of RSC Property

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Municipality & Property Address Information

Property Reference Number

Assessment Roll Number

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Property Identifier Number (PIN #)

247600119
247600120
247600121
247600122
247600123
247600124
247600130

Owner Information

RSC Property Information

Property Address

Municipality Information

Property Reference Number

Geographical Reference/Area of RSC Property

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Geo Reference & Other Properties Details

Geographical References

UTM Coordinates

Datum

NAD 83

Zone *

17

Easting *

604,226.00

Northing *

4,805,490.00

Area of RSC Property

Total Area of RSC Property in Hectares *

2.42

Owner Information

RSC Property Information

Property Address

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Property Reference Number

Geographical Reference/Area of
RSC Property

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Previous Submission Information

Previously Filed Record of Site Condition Number:

Previously Filed Transition Notice Number:

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Other Site Condition Information

Site Conditions for 2011 Generic Standards

Risk Assessment Information

Property Use and Certification Date

Additional Ground Water Information

Remedial Action and Mitigation Details

Area(s) of Potential Environmental Concern

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Other Site Condition Information

Is the RSC being submitted using the transition provision under Section 21.1 of the Regulation? *

☐ Yes

☒ No

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Is Property:
(i) Within an area of natural significance? or
Does Property:
(ii) Include or is adjacent to an area of natural significance or part of such an area? or
(ii) Include land that is within 30 m of an area of natural significance or part of such an area. *

☐ Yes

☒ No

Soil at the property has:
(i) a pH value for Surface Soil less than 5 or greater than 9 or
(ii) a pH value for Subsurface Soil less than 5 or greater than 11. *

☐ Yes

☒ No

Is qualified person of the opinion that, given the characteristics of the property and the certifications the qualified person would be required to make in a record of site condition in relation to the property as specified in Schedule A, it is appropriate to apply this section to the property? *

☐ Yes

☒ No

What is the intended use of the property? *

Residential

Is the property a shallow soil property? *

☐ Yes

☒ No

Does the property include or is the property adjacent to a water body or does it include land that is within 30 metres of a water body? *

☐ Yes

☒ No

What is the Assessment/Restoration approach? *

☐ Background

☒ Full Depth Generic

☐ Stratified

What is the ground water condition for the property? *

☐ Potable

☒ Non-potable

What is the texture of the soil? *

☐ Coarse

☒ Medium and Fine

Applicable 2011 Generic Standard Table Number : **TABLE 3**

Owner Information

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Other Site Condition Information

Site Conditions for 2011 Generic Standards

Risk Assessment Information

Property Use and Certification Date

Additional Ground Water Information

Remedial Action and Mitigation Details

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Risk Assessment Information

Has a Certificate of Property Use (CPU) been issued under section 168.6 of the Act for the RSC property?

☐ Yes

☒ No

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Property Use and Certification Date

Current Property Use and Certification Date

What is the current use of the property? *

Commercial

Certification Date *

2012/11/17

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Additional Ground Water Information

Has municipality been notified of non-potable ground water on site? *

☒ Yes

☐ No

Municipality notified of non-potable water by? *

☐ Owner

☒ QP

Local/Lower tier municipality non-potable water notification date *

2013/02/20

Upper tier municipality non-potable water notification date *

2013/02/20

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Remedial Action & Mitigation

Soil Control or Treatment Measures

Identify the estimated quantities of the soil, if any, originating at and remaining on the RSC property that have been remediated, at a location either on or off the property, to reduce the concentration of contaminants in the soil as measured in, or equivalent to, in-ground volume in cubic metres, and indicate the remediation process or processes used and the estimated amount of soil remediated by each identified process.

NONE	▲
	▼

Identify the estimated quantities of soil or sediment, if any, removed from and not returned to the RSC property as measured in, or equivalent to, the in-ground volume in cubic metres.

NONE	▲
	▼

Identify the estimated quantity of the soil, if any, being brought from another property to and deposited at the RSC property, not including any soil that may have originated at but been remediated off the RSC property not including any soil that may have been remediated off the property and brought back to the property as measured in, or equivalent to, the in-ground volume in cubic metres.

NOT KNOWN	▲
	▼

Indicate if any soil, sediment or ground water at the RSC property that is or was located within 3 metres of the RSC property boundary has been remediated or removed for the purpose of remediation.

NONE	▲
	▼

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Remedial Action & Mitigation

Ground Water Control or Treatment Measures

Identify and describe any ground water control or treatment measures that were required for the RSC property prior to the certification date for the purpose of submitting the RSC for filing; or are or will be required for the RSC property after the certification date.

NONE

▲

▼

Identify the estimated volume in litres of ground water, if any, removed from and not returned to the RSC property.

NONE

▲

▼

Other Treatment Measures

Other than the activities identified in the in the Soil or Ground Water Control or Treatment Measures above, identify any constructed works that, prior to the certification date for the purpose of submitting the RSC for filing, were required to control or otherwise mitigate the release or movement of known existing contaminants at the RSC property; or after the certification date, are required to control or otherwise mitigate the release or movement of known existing contaminants at the RSC property.

NONE

▲

▼

Indicate whether there are any monitoring requirements or any requirements for care, maintenance or replacement of any monitoring or control works for known existing contaminants, if any, on the RSC property, after the certification date, and whether any monitoring requirements or requirements for care, maintenance or replacement of any monitoring or control works are ground water management measures or soil management measures.

NONE

▲

▼

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Environmental Condition

Potential Environmental Concern

Area(s) of Potential Environmental Concern

Are there areas of potential environmental concern? *

☒ Yes

☐ No

[Click here for Area\(s\) of Potential Environmental Concern Form](#)

Current and Past Property Use

Table of Current and Past Uses of the Phase One Property

[Click here for Table of Current and Past Property Use Form](#)

Owner Information

RSC Property Information

Environmental Condition

Contaminant Concentrations

- Contaminants Measured in SOIL
- Contaminants Measured in GROUND WATER
- Contaminants Measured in SEDIMENTS

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Contaminant Concentrations

Contaminants Measured in SOIL

General Information Related to Soil Media

Is there no soil on, in or under the property? *

(Note there is “no soil” if either there is no soil on, in or under the property OR the soil present is not sufficient to investigate, sample and analyze in a manner which will meet the requirements and objectives of a phase two environmental site assessment)

☐ Yes

☒ No

Owner Information

RSC Property Information

Environmental Condition

Contaminant Concentrations

Contaminants Measured in SOIL

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Contaminants Measured in SEDIMENTS

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Contaminant Concentrations

Contaminants Measured in SOIL

Measured Concentration for Contaminants in Soil

Contaminant 1-30 *	Type of Measurement *	Measured Concentration	Applicable Standard	Unit Of Measure
Petroleum Hydrocarbons F1****	Minimum Detectable	5	65	µg/g
Petroleum Hydrocarbons F2	Measured	86	150	µg/g
Petroleum Hydrocarbons F3	Measured	94	1300	µg/g
Petroleum Hydrocarbons F4	Measured	150	5600	µg/g
Dichlorodifluoromethane	Minimum Detectable	0.05	25	µg/g
Vinyl Chloride	Minimum Detectable	0.02	0.022	µg/g
Bromomethane	Minimum Detectable	0.05	0.05	µg/g
Trichlorofluoromethane	Minimum Detectable	0.05	5.8	µg/g
Acetone	Minimum Detectable	0.5	28	µg/g
Dichloroethylene, 1,1-	Minimum Detectable	0.05	0.05	µg/g
Methylene Chloride	Minimum Detectable	0.05	0.96	µg/g
Dichloroethylene, 1,2-trans-	Minimum Detectable	0.05	0.75	µg/g
Methyl tert-Butyl Ether (MTBE)	Minimum Detectable	0.5	1.4	µg/g
Dichloroethylene, 1,2-cis-	Minimum Detectable	0.02	30	µg/g
Chloroform	Minimum Detectable	0.04	0.18	µg/g
Dichloroethane, 1,2-	Minimum Detectable	0.03	0.05	µg/g
Trichloroethane, 1,1,1-	Minimum Detectable	0.05	3.4	µg/g
Carbon Tetrachloride	Minimum Detectable	0.05	0.12	µg/g
Benzene	Minimum Detectable	0.02	0.17	µg/g
Dichloropropane, 1,2-	Minimum Detectable	0.03	0.085	µg/g
Tetrachloroethylene	Minimum Detectable	0.03	2.3	µg/g
Bromodichloromethane	Minimum Detectable	0.05	13	µg/g
Methyl Isobutyl Ketone	Minimum Detectable	0.5	4.3	µg/g
Trichloroethane, 1,1,2-	Minimum Detectable	0.04	0.05	µg/g
Toluene	Minimum Detectable	0.05	6	µg/g
Dibromochloromethane	Minimum Detectable	0.05	9.4	µg/g
Ethylene dibromide	Minimum Detectable	0.04	0.05	µg/g
Tetrachloroethylene	Minimum Detectable	0.05	2.3	µg/g
Tetrachloroethane, 1,1,1,2-	Minimum Detectable	0.04	0.05	µg/g
Chlorobenzene	Minimum Detectable	0.05	2.7	µg/g

Total # of Contaminants 74

Owner Information

RSC Property Information

Environmental Condition

Contaminant Concentrations

Contaminants Measured in SOIL

Contaminants Measured in
GROUND WATER

Contaminants Measured in
SEDIMENTS

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Contaminant Concentrations

Contaminants Measured in SOIL

Measured Concentration for Contaminants in Soil

Contaminant 31-60 *	Type of Measurement *	Measured Concentration	Applicable Standard	Unit Of Measure
Ethylbenzene	Minimum Detectable	0.05	15	µg/g
Xylene Mixture	Minimum Detectable	0.05	25	µg/g
Bromoform	Minimum Detectable	0.05	0.26	µg/g
Styrene	Minimum Detectable	0.05	2.2	µg/g
Tetrachloroethane, 1,1,2,2-	Minimum Detectable	0.05	0.05	µg/g
Dichlorobenzene, 1,3-	Minimum Detectable	0.05	6	µg/g
Dichlorobenzene, 1,4-	Minimum Detectable	0.05	0.097	µg/g
Dichlorobenzene, 1,2-	Minimum Detectable	0.05	4.3	µg/g
Dichloropropene,1,3-	Minimum Detectable	0.04	0.083	µg/g
Hexane (n)	Minimum Detectable	0.05	34	µg/g
Boron (total)	Measured	10	120	µg/g
Barium	Measured	181	390	µg/g
Beryllium	Measured	0.8	5	µg/g
Cadmium	Minimum Detectable	0.5	1.2	µg/g
Chromium Total	Measured	28	160	µg/g
Cobalt	Measured	17	22	µg/g
Copper	Measured	83	180	µg/g
Lead	Measured	16	120	µg/g
Molybdenum	Measured	1.1	6.9	µg/g
Nickel	Measured	35	130	µg/g
Silver	Minimum Detectable	0.2	25	µg/g
Thallium	Minimum Detectable	0.4	1	µg/g
Uranium	Measured	1.9	23	µg/g
Vanadium	Measured	42	86	µg/g
Zinc	Measured	77	340	µg/g
Acenaphthene	Minimum Detectable	0.05	58	µg/g
Naphthalene	Minimum Detectable	0.05	0.75	µg/g
Acenaphthylene	Minimum Detectable	0.05	0.17	µg/g
Fluorene	Minimum Detectable	0.05	69	µg/g
Phenanthrene	Measured	0.05	7.8	µg/g

Total # of Contaminants 74

Owner Information

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Contaminant Concentrations

Contaminants Measured in SOIL

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Contaminants Measured in SEDIMENTS

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Contaminant Concentrations

Contaminants Measured in SOIL

Measured Concentration for Contaminants in Soil

Contaminant 61-90 *	Type of Measurement *	Measured Concentration	Applicable Standard	Unit Of Measure
Anthracene	Minimum Detectable	0.05	0.74	µg/g
Fluoranthene	Minimum Detectable	0.05	0.69	µg/g
Pyrene	Minimum Detectable	0.05	78	µg/g
Benz[a]anthracene	Minimum Detectable	0.05	0.63	µg/g
Chrysene	Minimum Detectable	0.05	7.8	µg/g
Benzo[b]fluoranthene	Minimum Detectable	0.05	0.78	µg/g
Benzo[k]fluoranthene	Minimum Detectable	0.05	0.78	µg/g
Benzo[a]pyrene	Minimum Detectable	0.05	0.3	µg/g
Indeno[1 2 3-cd]pyrene	Minimum Detectable	0.05	0.48	µg/g
Dibenz[a h]anthracene	Minimum Detectable	0.05	0.1	µg/g
Benzo[ghi]perylene	Minimum Detectable	0.05	7.8	µg/g
Methlynaphthalene, 2-(1-) ***	Minimum Detectable	0.05	3.4	µg/g
Polychlorinated Biphenyls	Minimum Detectable	0.1	0.35	µg/g
Dichloroethane, 1,1-	Minimum Detectable	0.02	11	µg/g

Total # of Contaminants 74

- Owner Information
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Contaminant Concentrations

- Contaminants Measured in SOIL
- Contaminants Measured in GROUND WATER
- Contaminants Measured in SEDIMENTS

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Contaminant Concentrations

Contaminants Measured in Ground Water

Has ground water sampling been conducted at the property? *

☒ Yes

☐ No

Measured Concentration for Contaminants in Ground Water

Contaminant 1-30 *	Type of Measurement *	Measured Concentration	Applicable Standard	Unit Of Measure
Petroleum Hydrocarbons F1****	Minimum Detectable	25	750	µg/L
Petroleum Hydrocarbons F2	Minimum Detectable	100	150	µg/L
Petroleum Hydrocarbons F3	Minimum Detectable	100	500	µg/L
Petroleum Hydrocarbons F4	Minimum Detectable	100	500	µg/L
Dichlorodifluoromethane	Minimum Detectable	0.2	4400	µg/L
Vinyl Chloride	Minimum Detectable	0.17	1.7	µg/L
Bromomethane	Minimum Detectable	0.2	56	µg/L
Trichlorofluoromethane	Minimum Detectable	0.4	2500	µg/L
Acetone	Minimum Detectable	1	130000	µg/L
Dichloroethylene, 1,1-	Minimum Detectable	0.3	17	µg/L
Methylene Chloride	Minimum Detectable	0.3	5500	µg/L
Dichloroethylene, 1,2-trans-	Minimum Detectable	0.2	17	µg/L
Methyl tert-Butyl Ether (MTBE)	Minimum Detectable	0.2	1400	µg/L
Dichloroethane, 1,1-	Minimum Detectable	0.3	3100	µg/L
Methyl Ethyl Ketone	Minimum Detectable	1	1500000	µg/L
Dichloroethylene, 1,2-cis-	Minimum Detectable	0.2	17	µg/L
Chloroform	Minimum Detectable	0.2	22	µg/L
Dichloroethane, 1,2-	Minimum Detectable	0.2	12	µg/L
Trichloroethane, 1,1,1-	Minimum Detectable	0.3	6700	µg/L
Carbon Tetrachloride	Minimum Detectable	0.2	8.4	µg/L
Benzene	Minimum Detectable	0.2	430	µg/L
Dichloropropane, 1,2-	Minimum Detectable	0.2	140	µg/L
Trichloroethylene	Minimum Detectable	0.2	17	µg/L
Bromodichloromethane	Minimum Detectable	0.2	85000	µg/L
Methyl Isobutyl Ketone	Minimum Detectable	1	580000	µg/L
Trichloroethane, 1,1,2-	Minimum Detectable	0.2	30	µg/L
Toluene	Minimum Detectable	0.2	18000	µg/L
Dichlorodifluoromethane	Minimum Detectable	0.1	4400	µg/L
Ethylene dibromide	Minimum Detectable	0.1	0.83	µg/L
Tetrachloroethylene	Measured	0.44	17	µg/L

Total # of Contaminants 73

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Contaminants Measured in Ground Water

Measured Concentration for Contaminants in Ground Water

Contaminant 31-60 *	Type of Measurement *	Measured Concentration	Applicable Standard	Unit Of Measure
Tetrachloroethane, 1,1,1,2-	Minimum Detectable	0.1	28	µg/L
Chlorobenzene	Minimum Detectable	0.1	630	µg/L
Ethylbenzene	Minimum Detectable	0.1	2300	µg/L
Bromoform	Minimum Detectable	0.1	770	µg/L
Styrene	Minimum Detectable	0.1	9100	µg/L
Tetrachloroethane, 1,1,2,2-	Minimum Detectable	0.1	15	µg/L
Dichlorobenzene, 1,3-	Minimum Detectable	0.1	9600	µg/L
Dichlorobenzene, 1,4-	Minimum Detectable	0.1	67	µg/L
Dichlorobenzene, 1,2-	Minimum Detectable	0.1	9600	µg/L
Dichloropropene,1,3-	Minimum Detectable	0.3	45	µg/L
Xylene Mixture	Minimum Detectable	0.2	4200	µg/L
Hexane (n)	Minimum Detectable	0.2	520	µg/L
Barium	Measured	108	29000	µg/L
Beryllium	Measured	0.7	67	µg/L
Boron (total)	Measured	3390	45000	µg/L
Cadmium	Minimum Detectable	0.2	2.7	µg/L
Chromium Total	Measured	3.8	810	µg/L
Cobalt	Measured	1.4	66	µg/L
Copper	Measured	6.0	87	µg/L
Molybdenum	Measured	18.8	9200	µg/L
Nickel	Measured	3.0	490	µg/L
Silver	Measured	0.4	1.5	µg/L
Thallium	Minimum Detectable	0.3	510	µg/L
Uranium	Measured	35.8	420	µg/L
Vanadium	Measured	37.8	250	µg/L
Zinc	Measured	8.7	1100	µg/L
Naphthalene	Minimum Detectable	0.2	6400	µg/L
Acenaphthylene	Minimum Detectable	0.2	1.8	µg/L
Acenaphthene	Minimum Detectable	0.2	1700	µg/L
Fluorene	Minimum Detectable	0.2	400	µg/L

Total # of Contaminants 73

- Owner Information
- RSC Property Information
- Environmental Condition

Contaminant Concentrations

- Contaminants Measured in SOIL
- Contaminants Measured in GROUND WATER
- Contaminants Measured in SEDIMENTS

- ESA Information
- QP Profile Information
- Certification Statement
- Supporting Documents

Contaminant Concentrations

Contaminants Measured in Ground Water

Measured Concentration for Contaminants in Ground Water

Contaminant 61-90 *	Type of Measurement *	Measured Concentration	Applicable Standard	Unit Of Measure
Phenanthrene	Minimum Detectable	0.1	580	µg/L
Anthracene	Minimum Detectable	0.1	2.4	µg/L
Fluoranthene	Minimum Detectable	0.2	130	µg/L
Pyrene	Minimum Detectable	0.2	68	µg/L
Benz[a]anthracene	Minimum Detectable	0.2	4.7	µg/L
Chrysene	Minimum Detectable	.1	1	µg/L
Benzo[b]fluoranthene	Minimum Detectable	0.1	0.75	µg/L
Benzo[k]fluoranthene	Minimum Detectable	0.1	0.4	µg/L
Benzo[a]pyrene	Minimum Detectable	0.01	0.81	µg/L
Indeno[1 2 3-cd]pyrene	Minimum Detectable	0.2	0.2	µg/L
Dibenz[a h]anthracene	Minimum Detectable	0.2	0.52	µg/L
Benzo[ghi]perylene	Minimum Detectable	0.2	0.2	µg/L
Methlynaphthalene, 2-(1-) ***	Minimum Detectable	0.2	1800	µg/L

Total # of Contaminants 73

Owner Information

RSC Property Information

Environmental Condition

Contaminant Concentrations

Contaminants Measured in SOIL

Contaminants Measured in
GROUND WATER

Contaminants Measured in
SEDIMENTS

ESA Information

QP Profile Information

Certification Statement

Supporting Documents

Contaminant Concentrations

Contaminants Measured in Sediments

Has sediment sampling been conducted at the property? *

☐ Yes

☒ No

Owner Information

RSC Property Information

Environmental Condition

Contaminant Concentrations

Contaminants Measured in SOIL

Contaminants Measured in
GROUND WATER

Contaminants Measured in
SEDIMENTS

ESA Information

QP Profile Information

Certification Statement

Supporting Documents

Contaminant Concentrations

Laboratory Information

Laboratory Name *

AGAT Laboratories Inc.

- Owner Information
- RSC Property Information
- Environmental Condition
- Contaminant Concentrations

ESA Information

- Phase One ESA Reports
- Phase Two ESA Reports
- Phase One Reports and Other Documents
- Phase Two Reports and Other Documents

- QP Profile Information
- Certification Statement
- Supporting Documents

ESA Information

ESA Reports

Phase One ESA Reports

The date the last work on the records review, interviews and site reconnaissance components of the phase one environmental site assessment was done.

2012/11/15 *

Type of Report *	Report Title *	Date of Report*	Author of Report *	Name of Consulting Organization
Phase One ESA	Phase I Environi	2012/11/15	John Cracknell	Premier Environmenta

- Owner Information
- RSC Property Information
- Environmental Condition
- Contaminant Concentrations

ESA Information

- Phase One ESA Reports
- Phase Two ESA Reports
- Phase One Reports and Other Documents
- Phase Two Reports and Other Documents

- QP Profile Information
- Certification Statement
- Supporting Documents

ESA Information

ESA Reports

Phase Two ESA Reports

The date the last work on the planning of the site investigation and conducting the site investigation components of the phase two environmental site assessment was done.

2012/12/10 *

Type of Report *	Report Title *	Date of Report*	Author of Report *	Name of Consulting Organization
Phase Two ESA	Phase II ESA	2012/12/10	David Wade	Premier Environmenta

- Owner Information
- RSC Property Information
- Environmental Condition
- Contaminant Concentrations

ESA Information

- Phase One ESA Reports
- Phase Two ESA Reports
- Phase One Reports and Other Documents
- Phase Two Reports and Other Documents

- QP Profile Information
- Certification Statement
- Supporting Documents

ESA Information

Reports and Other Documents

Phase 1 Reports and Other Documents

List the Reports/Documents other than the document(s) used as your Phase 1 ESA relied on in certifying the information set out in Section 10 of Schedule A or otherwise used in conducting the Phase 1 ESA

Report Title*	Date of Report*	Author of Report *	Name of Consulting Organization for Report
Phase I ESA	2007/12/11	Michael Salter	AMEC Earth and Environmer
Limited Phase II ESA	2009/01/16	Steven Gable	AMEC Earth and Environmer

- Owner Information
- RSC Property Information
- Environmental Condition
- Contaminant Concentrations

ESA Information

- Phase One ESA Reports
- Phase Two ESA Reports
- Phase One Reports and Other Documents
- Phase Two Reports and Other Documents**

- QP Profile Information
- Certification Statement
- Supporting Documents

ESA Information

Reports and Other Documents

Phase 2 Reports and Other Documents

List the Reports/Documents other than the document(s) used as your Phase 2 ESA relied on in making any certifications in the RSC in relation to the Phase 2 ESA or otherwise used in conducting the Phase 2 ESA

Report Title	Date of Report	Author of Report	Name of Consulting Organization for Report

- Owner Information
- RSC Property Information
- Environmental Condition
- Contaminant Concentrations
- ESA Information
- QP Profile Information**
- QP Information
- Certification Statement
- Supporting Documents

QP Information

First Name *	Middle Name	Last Name *
David		Wade

Which one of the following licences under the Professional Engineers Act do you hold? *

None

Which one of the following memberships under the Professional Geoscientists Act do you hold? *

Practising Member	Membership Number *
	0447

Is the QP Employed? *

☒ Yes	Employer Name *
☐ No	Premier Environmental Services Inc.

QP Contact Information

Phone Number *	Fax Number *	Email *
(519) 653-7140	(519) 653-8907	dwade@premiercorp.ca

QP Mailing Address Information

Street Number *	Street Name *	Apt No. / RR No.
244	Montrose Street North	Suite 1 Upper

City, Town or Village *	Province *	Postal Code *
Cambridge	Ontario	N3H 2H7

Owner Information

RSC Property Information

Environmental Condition

Contaminant Concentrations

ESA Information

QP Profile Information

Certification Statement

 QP Certification Statement

 Owner Certification Statement

Supporting Documents

QP Certification Statement D

As the qualified person, I certify that: *

☒ A phase one environmental site assessment of the RSC property, which includes the evaluation of the information gathered from a records review, site reconnaissance, interviews, a report and any updates required, has been conducted in accordance with the regulation by or under the supervision of a qualified person as required by the regulation.

☒ A phase two environmental site assessment of the RSC property, which includes the evaluation of the information gathered from planning and conducting a site investigation, a report, and any updates required, has been conducted in accordance with the regulation by or under the supervision of a qualified person as required by the regulation.

☒ The information represents the site conditions at the sampling points at the time of sampling only and the conditions between and beyond the sampling points may vary.

☒ As of 2012/11/17, in my opinion, based on the phase one environmental site assessment and the phase two environmental site assessment, and any confirmatory sampling, there is no evidence of any contaminants in the soil, ground water or sediment on, in or under the RSC property that would interfere with the type of property use to which the RSC property will be put, as specified in the RSC.

☒ Ground water sampling has been conducted in accordance with the regulation by or under the supervision of a qualified person as required by the regulation.

☒ I have, within the six months immediately before the submission of this record of site condition, given written notice of intention to apply non-potable ground water site condition standards to the clerk of the local municipality in which the property is located and the clerk of any upper-tier municipality in which the property is located.

☒ As of 2012/11/17, in my opinion, based on the phase one and phase two environmental site assessments and any confirmatory sampling, the RSC property meets the applicable full depth generic site condition standards prescribed by section 37 of the regulation for all contaminants prescribed by the regulation in relation to the type of property use for which this RSC is filed, except for those contaminants (if any) specified in this RSC at Table 2, Maximum Contaminant Concentrations Compared to Standards Specified in a Risk Assessment.

☒ As of 2012/11/17, the maximum known concentration of each contaminant in soil, sediment and ground water at the RSC property for which sampling and analysis has been performed is specified in this RSC at Table 1, Maximum Contaminant Concentrations Compared to Applicable Site Condition Standards.

☒ I am a qualified person and have the qualifications required by section 5 of the regulation.

☒ I have in place an insurance policy that satisfies the requirements of section 7 of the regulation.

☒ I acknowledge that the RSC will be submitted for filing in the Environmental Site Registry, that records of site condition that are filed in the Registry are available for examination by the public and that the Registry contains a notice advising users of the Registry who have dealings with any property to consider conducting their own due diligence with respect to the environmental condition of the property, in addition to reviewing information in the Registry.

☒ The opinions expressed in this RSC are engineering or scientific opinions made in accordance with generally accepted principles and practices as recognized by members of the environmental engineering or science profession or discipline practising at the same time and in the same or similar location.

☒ I do not hold and have not held a direct or indirect interest in the RSC property or any property which includes the RSC property and was the subject of a phase one or two environmental site assessment or risk assessment upon which this record of site condition is based

☒ To the best of my knowledge, the certifications and statements in this part of the RSC are true as of 2012/11/17.

☒ By signing this RSC, I make no express or implied warranties or guarantees.

I, the qualified person named below, on the date stated below, make all of the stated certifications applicable to the qualified person in this Part of the record of site condition.

David Wade
2013/06/03

- Owner Information
- RSC Property Information
- Environmental Condition
- Contaminant Concentrations
- ESA Information
- QP Profile Information
- Certification Statement**
 - QP Certification Statement
 - Owner Certification Statement**
- Supporting Documents

Owner Certification Statement

[Click here to download Agent Form](#)

- Owner Information
- RSC Property Information
- Environmental Condition
- Contaminant Concentrations
- ESA Information
- QP Profile Information
- Certification Statement

Supporting Documents

Supporting Documents

Supporting Documents

Please note, only PDF attachments will be accepted with the exception of the Property Specific Standard, which must be an Excel document.

Certificate of Status or equivalent *

1. Certificate of Status -1812502 Ontario Inc. 25Apr13.PDF

Proof of the owner's authorization *

2. Owner Authorization form.pdf

Lawyer's letter consisting of a legal description of the property *

3. Lawyers letter revised.pdf

Copy of any deed(s), transfer(s) or other document(s) *

4. Deed.pdf

A Current plan of Survey *

5. Area of RSC Property.pdf

Area(s) of Potential Environmental Concern *

6. APEC_Table.pdf

Table of Current and Past Uses of the Phase One Property *

7. Table of Current and Past Uses revised.pdf

Phase 2 Conceptual Site Model *

8. Phase II Conceptual Site Model revised.pdf

Owner Certification Statement *

9. Agent_Form copy.pdf

As an agent acting on behalf of the owner of the RSC property:

1. I acknowledge that the RSC will be submitted for filing in the Environmental Site Registry, that records of site condition that are filed in the Registry are available for examination by the public and that the Registry contains a notice advising users of the Registry who have dealings with any property to consider conducting their own due diligence with respect to the environmental condition of the property, in addition to reviewing information in the Registry.
2. I have conducted reasonable inquiries to obtain all information relevant to this RSC, including information from the other current owners of the RSC property named in this part of the RSC and I have obtained all information relevant to this RSC of which I am aware.
3. I have disclosed all information referred to in paragraph 2 to any qualified person named in this RSC.
4. To my knowledge, the statements made in this part of the RSC are true as of June 2, 2013.
5. I have ensured that access to the entire property, including the phase one property, any phase two property and the RSC property, has been afforded to the qualified person and to persons supervised by the qualified person, for purposes of conducting the site reconnaissance.

I certify that I have been authorized by the owner of the RSC property to make the statements prescribed by this section on their behalf and that the owner of the RSC property has read and understands the statements being made on their behalf.

Name of the Agent David Wade

Signature 

Date Signed June 2, 2013

Request ID: 015407451
Demande n° :
Transaction ID: 51117797
Transaction n° :
Category ID: CT
Catégorie :

Province of Ontario
Province de l'Ontario
Ministry of Government Services
Ministère des Services gouvernementaux

Date Report Produced: 2013/06/04
Document produit le :
Time Report Produced: 09:54:51
Imprimé à :

CERTIFICATE OF STATUS

ATTESTATION DU STATUT JURIDIQUE

This is to certify that according to the records of the Ministry of Government Services

D'après les dossiers du Ministère des Services gouvernementaux, nous attestons que la société

1 8 1 2 5 0 2 O N T A R I O I N C .

Ontario Corporation Number

Numéro matricule de la société (Ontario)

0 0 1 8 1 2 5 0 2

is a corporation incorporated, amalgamated or continued under the laws of the Province of Ontario.

est une société constituée, prorogée ou née d'une fusion aux termes des lois de la Province de l'Ontario.

The corporation came into existence on

La société a été fondée le

D E C E M B E R 0 1 D É C E M B R E , 2 0 0 9

and has not been dissolved.

et n'est pas dissoute.

Dated

Fait le

J U N E 0 4 J U I N , 2 0 1 3



Director
Directrice

The issuance of this certificate in electronic form is authorized by the Ministry of Government Services.

La délivrance du présent certificat sous forme électronique est autorisée par le Ministère des Services gouvernementaux.

1812502 ONTARIO INC.

June 3, 2013

Brownfields Filing and Review
Environmental Assessment and Approvals Branch
Ontario Ministry of the Environment
2 St. Clair Avenue West, Floor 12A
Toronto, ON M4V 1L5

Attention: Record of Site Condition Officer

Dear Sir/Madam:

**Re: Authorization of an Agent by Owner of RSC Property – 2441 Lakeshore Road
West, Oakville, Ontario**

I am the owner of the above-noted property. I hereby authorize David Wade to make the statements required under subsection 6(1), Schedule A of O.Reg. 153/04 and sign the record of site condition on my behalf.

Respectfully Yours,

1812502 Ontario Inc.

Per: 
Derek Hull



Fogler, Rubinoff LLP

Lawyers

77 King Street West

Suite 3000, PO Box 95

TD Centre

Toronto, ON M5K 1G8

t: 416.864.9700 | f: 416.941.8852

foglers.com

April 5, 2013

Reply To: Avi Y. Sugar
Direct Dial: 416.365.3717
E-mail: asugar@foglers.com
Our File No. 11/4625

Premier Environmental Services Inc.
244 Montrose Street North, Unit 1 Upper
Cambridge, ON M3H 2H7

Attention: Mr. Tyron Wyton

- and -

Goldmanco Incorporated
1989 Leslie Street
Toronto, ON M3B 2M3

Attention: Mr. Derek Hull

Dear Sirs:

Re: Title to the properties described in Schedule "A" being municipally known as 2441 Lakeshore Road West, Oakville, Ontario

We have acted as counsel for 1812502 ONTARIO INC.. ("1812502") in connection with its purchase of certain lands and premises located in the City of Oakville, as more particularly described in Schedule "A" hereto (collectively, the "1812502 Lands"). In such capacity, we have been asked to review the title to the 1812502 Lands, which are shown forming a portion of the lands depicted on the Survey attached as Schedule "B".

The opinions set forth below are based upon and limited solely to the results of our investigation of title to the 1812502 Lands as disclosed by the instruments of record in the Land Registry Office, and other searches we deemed necessary or prudent.

Based and relying upon and subject to the foregoing, we are of the opinion that 1812502 is the registered owner of:

(a) a FEE SIMPLE INTEREST in the 1812502 Lands which are legally described as Parcel 146-1, Section M7, being Lot 146, Plan M-7; Oakville, Parcel 147-1, Section M7, being Lot 147, Plan M-7; Oakville, Parcel 148-1, Section M7, being Lot 148, Plan M-7; Oakville, Parcel 149-1, Section M7, being Lot 149, Plan M-7; Oakville, Parcel 150-1, Section M7, being Lot 150, Plan

M-7; Oakville, Parcel 151-1, Section M7, being Lot 151, Plan M-7; Oakville, Parcel 156-1, Section M7, being Lot 156, Plan M-7; Oakville;

with a good and marketable title to the foregoing subject only to those matters described by the instruments disclosed by the Land Registry Office.

The 1812502 Lands, as described herein, are accurately shown on the Survey attached hereto as Schedule "B".

The opinions expressed above are provided solely for the benefit of the parties to whom this letter is addressed and may not be used or relied upon by any other person. We caution that this opinion as to title of the 1812502 Lands is given and is effective as at the time specified herein and should not be relied upon in connection with any future transaction without our prior written authorization and unless it is updated to the date of that transaction.

Yours truly,

FOGLER, RUBINOFF LLP

Fogler, Rubinoff LLP

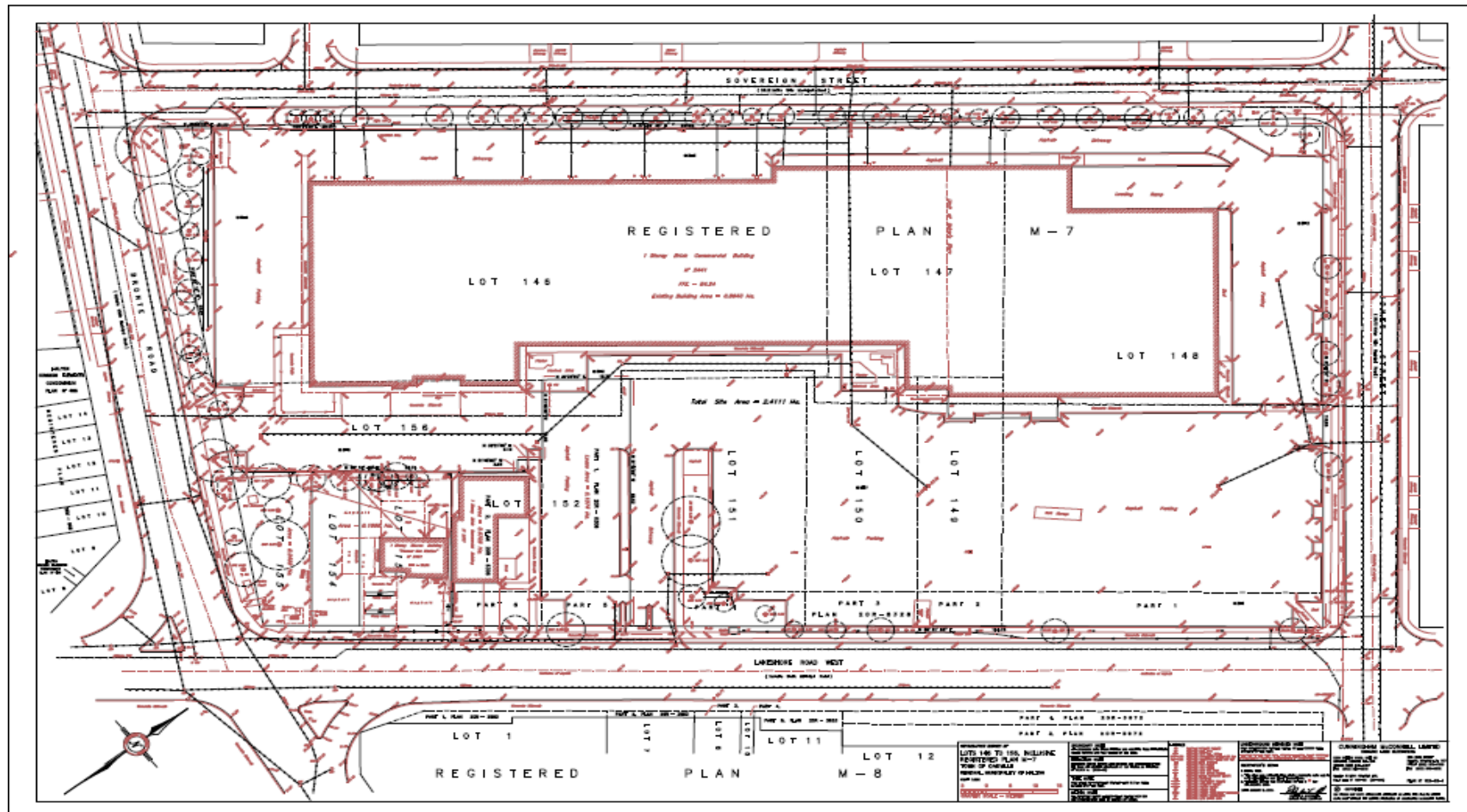
SCHEDULE "A"**BRONTE VILLAGE MALL - LEGAL DESCRIPTIONS**

PIN	Legal Description and Municipal Address	Current Fee Simple Owner	Assessment Roll Number
PIN 24760-0119 (LT)	Parcel 146-1, Section M7, being Lot 146, Plan M-7; Oakville 2441 Lakeshore Road West Oakville, Ontario	1812502 Ontario Inc. April 5, 2011 - Current	2401 020 230 07510 0000
PIN 24760-0120 (LT)	Parcel 147-1, Section M7, being Lot 147, Plan M-7; Oakville 2441 Lakeshore Road West Oakville, Ontario	1812502 Ontario Inc. April 5, 2011 - Current	2401 020 230 07510 0000
PIN 24760-0121 (LT)	Parcel 148-1, Section M7, being Lot 148, Plan M-7; Oakville 2441 Lakeshore Road West Oakville, Ontario	1812502 Ontario Inc. April 5, 2011 - Current	2401 020 230 07510 0000
PIN 24760-0122 (LT)	Parcel 149-1, Section M7, being Lot 149, Plan M-7; Oakville 2441 Lakeshore Road West Oakville, Ontario	1812502 Ontario Inc. April 5, 2011 - Current	2401 020 230 07510 0000
PIN 24760-0123(LT)	Parcel 150-1, Section M7, being Lot 150, Plan M-7; Oakville 2441 Lakeshore Road West Oakville, Ontario	1812502 Ontario Inc. April 5, 2011 - Current	2401 020 230 07510 0000

PIN	Legal Description and Municipal Address	Current Fee Simple Owner	Assessment Roll Number
PIN 24760-0124 (LT)	Parcel 151-1, Section M7, being Lot 151, Plan M-7; Oakville 2441 Lakeshore Road West Oakville, Ontario	1812502 Ontario Inc. April 5, 2011 - Current	2401 020 230 07510 0000
PIN 24760-0130 (LT)	Parcel 156-1, Section M7, being Lot 156, Plan M-7; Oakville 2441 Lakeshore Road West Oakville, Ontario	1812502 Ontario Inc. April 5, 2011 - Current	2401 020 230 07510 0000

SCHEDULE "B"

SURVEY



Properties			
PIN	24760 – 0119	LT	Interest/Estate Fee Simple
Description	PCL 146–1, SEC M7 ; LT 146, PL M7 ; OAKVILLE		
Address	2441 LAKESHORE ROAD WEST OAKVILLE		
PIN	24760 – 0120	LT	Interest/Estate Fee Simple
Description	PCL 147–1, SEC M7 ; LT 147, PL M7 ; OAKVILLE		
Address	2441 LAKESHORE ROAD WEST OAKVILLE		
PIN	24760 – 0121	LT	Interest/Estate Fee Simple
Description	PCL 148–1, SEC M7 ; LT 148, PL M7 ; OAKVILLE		
Address	2441 LAKESHORE ROAD WEST OAKVILLE		
PIN	24760 – 0122	LT	Interest/Estate Fee Simple
Description	PCL 149–1, SEC M7 ; LT 149, PL M7 ; OAKVILLE		
Address	2441 LAKESHORE ROAD WEST OAKVILLE		
PIN	24760 – 0123	LT	Interest/Estate Fee Simple
Description	PCL 150–1, SEC M7 ; LT 150, PL M7 ; OAKVILLE		
Address	2441 LAKESHORE ROAD WEST OAKVILLE		
PIN	24760 – 0124	LT	Interest/Estate Fee Simple
Description	PCL 151–1, SEC M7 ; LT 151, PL M7 ; OAKVILLE		
Address	2441 LAKESHORE ROAD WEST OAKVILLE		
PIN	24760 – 0130	LT	Interest/Estate Fee Simple
Description	PCL 156–1, SEC M7 ; LT 156, PL M7 ; OAKVILLE		
Address	2441 LAKESHORE ROAD WEST OAKVILLE		

Consideration	
Consideration	\$20,700,000.00

Transferor(s)	
The transferor(s) hereby transfers the land to the transferee(s).	
Name	2143111 ONTARIO LIMITED
Address for Service	c/o Aird & Berlis LLP 181 Bay Street, Suite 1800 Toronto, ON M5J 2T9 Attention: Cec Moffat

I, Gary Reed, Secretary and Lang Moffat, Director, have the authority to bind the corporation.
This document is not authorized under Power of Attorney by this party.

Transferee(s)		Capacity	Share
Name	1812502 ONTARIO INC.		
Address for Service	c/o 75 The Donway West Suite 1002 Toronto, ON M3C 2E9		

STATEMENT OF THE TRANSFEROR (S): The transferor(s) verifies that to the best of the transferor's knowledge and belief, this transfer does not contravene the Planning Act.

STATEMENT OF THE SOLICITOR FOR THE TRANSFEROR (S): I have explained the effect of the Planning Act to the transferor(s) and I have made inquiries of the transferor(s) to determine that this transfer does not contravene that Act and based on the information supplied by the transferor(s), to the best of my knowledge and belief, this transfer does not contravene that Act. I am an Ontario solicitor in good standing.

STATEMENT OF THE SOLICITOR FOR THE TRANSFEREE (S): I have investigated the title to this land and to abutting land where relevant and I am satisfied that the title records reveal no contravention as set out in the Planning Act, and to the best of my knowledge and belief this transfer does not contravene the Planning Act. I act independently of the solicitor for the transferor(s) and I am an Ontario solicitor in good standing.

Signed By

Randy Todd Hooke	181 Bay St., Suite 1800, Box 754 Toronto M5J 2T9	acting for Transferor(s)	Signed	2011 04 05
------------------	--	-----------------------------	--------	------------

Tel 4168631500

Fax 4168631515

I am the solicitor for the transferor(s) and I am not one and the same as the solicitor for the transferee(s).

I have the authority to sign and register the document on behalf of the Transferor(s).

Avraham Yitzchok Sugar	Bay Adelaide Centre 333 Bay Street Suite 3400 Toronto M5H 2S7	acting for Transferee(s)	Signed	2011 04 05
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Tel 4169792211

Fax 4169791234

I am the solicitor for the transferee(s) and I am not one and the same as the solicitor for the transferor(s).

I have the authority to sign and register the document on behalf of the Transferee(s).

Submitted By

GOODMANS LLP	Bay Adelaide Centre 333 Bay Street Suite 3400 Toronto M5H 2S7			2011 04 05
--------------	--	--	--	------------

Tel 4169792211

Fax 4169791234

Fees/Taxes/Payment

Statutory Registration Fee	\$60.00
Provincial Land Transfer Tax	\$308,975.00
Total Paid	\$309,035.00

File Number

Transferor Client File Number :	107374-RTH
Transferee Client File Number :	11-0149 (AS)

LAND TRANSFER TAX STATEMENTS

In the matter of the conveyance of: 24760 – 0119 PCL 146–1, SEC M7 ; LT 146, PL M7 ; OAKVILLE
24760 – 0120 PCL 147–1, SEC M7 ; LT 147, PL M7 ; OAKVILLE
24760 – 0121 PCL 148–1, SEC M7 ; LT 148, PL M7 ; OAKVILLE
24760 – 0122 PCL 149–1, SEC M7 ; LT 149, PL M7 ; OAKVILLE
24760 – 0123 PCL 150–1, SEC M7 ; LT 150, PL M7 ; OAKVILLE
24760 – 0124 PCL 151–1, SEC M7 ; LT 151, PL M7 ; OAKVILLE
24760 – 0130 PCL 156–1, SEC M7 ; LT 156, PL M7 ; OAKVILLE

BY: 2143111 ONTARIO LIMITED
TO: 1812502 ONTARIO INC.

1. ORI GOLDMAN

I am

- ☐ (a) A person in trust for whom the land conveyed in the above–described conveyance is being conveyed;
- ☐ (b) A trustee named in the above–described conveyance to whom the land is being conveyed;
- ☐ (c) A transferee named in the above–described conveyance;
- ☐ (d) The authorized agent or solicitor acting in this transaction for _____ described in paragraph(s) () above.
- ☒ (e) The President, Vice–President, Manager, Secretary, Director, or Treasurer authorized to act for 1812502 ONTARIO INC. described in paragraph(s) (c) above.
- ☐ (f) A transferee described in paragraph() and am making these statements on my own behalf and on behalf of _____who is my spouse described in paragraph() and as such, I have personal knowledge of the facts herein deposed to.

2. I have read and considered the definition of "single family residence" set out in subsection 1(1) of the Act. The land being conveyed herein:

does not contain a single family residence or contains more than two single family residences.

3. The total consideration for this transaction is allocated as follows:

(a) Monies paid or to be paid in cash	20,700,000.00
(b) Mortgages (i) assumed (show principal and interest to be credited against purchase price)	0.00
(ii) Given Back to Vendor	0.00
(c) Property transferred in exchange (detail below)	0.00
(d) Fair market value of the land(s)	0.00
(e) Liens, legacies, annuities and maintenance charges to which transfer is subject	0.00
(f) Other valuable consideration subject to land transfer tax (detail below)	0.00
(g) Value of land, building, fixtures and goodwill subject to land transfer tax (total of (a) to (f))	20,700,000.00
(h) VALUE OF ALL CHATTELS –items of tangible personal property	0.00
(i) Other considerations for transaction not included in (g) or (h) above	0.00
(j) Total consideration	20,700,000.00

PROPERTY Information Record

A. Nature of Instrument:	Transfer
	LRO 20 Registration No. HR919002 Date: 2011/04/05
B. Property(s):	PIN 24760 – 0119 Address 2441 LAKESHORE ROAD WEST OAKVILLE Assessment Roll No –
	PIN 24760 – 0120 Address 2441 LAKESHORE ROAD WEST OAKVILLE Assessment Roll No –
	PIN 24760 – 0121 Address 2441 LAKESHORE ROAD WEST OAKVILLE Assessment Roll No –
	PIN 24760 – 0122 Address 2441 LAKESHORE ROAD WEST OAKVILLE Assessment Roll No –
	PIN 24760 – 0123 Address 2441 LAKESHORE ROAD WEST OAKVILLE Assessment Roll No –
	PIN 24760 – 0124 Address 2441 LAKESHORE ROAD WEST OAKVILLE Assessment Roll No –
	PIN 24760 – 0130 Address 2441 LAKESHORE ROAD WEST OAKVILLE Assessment Roll No –

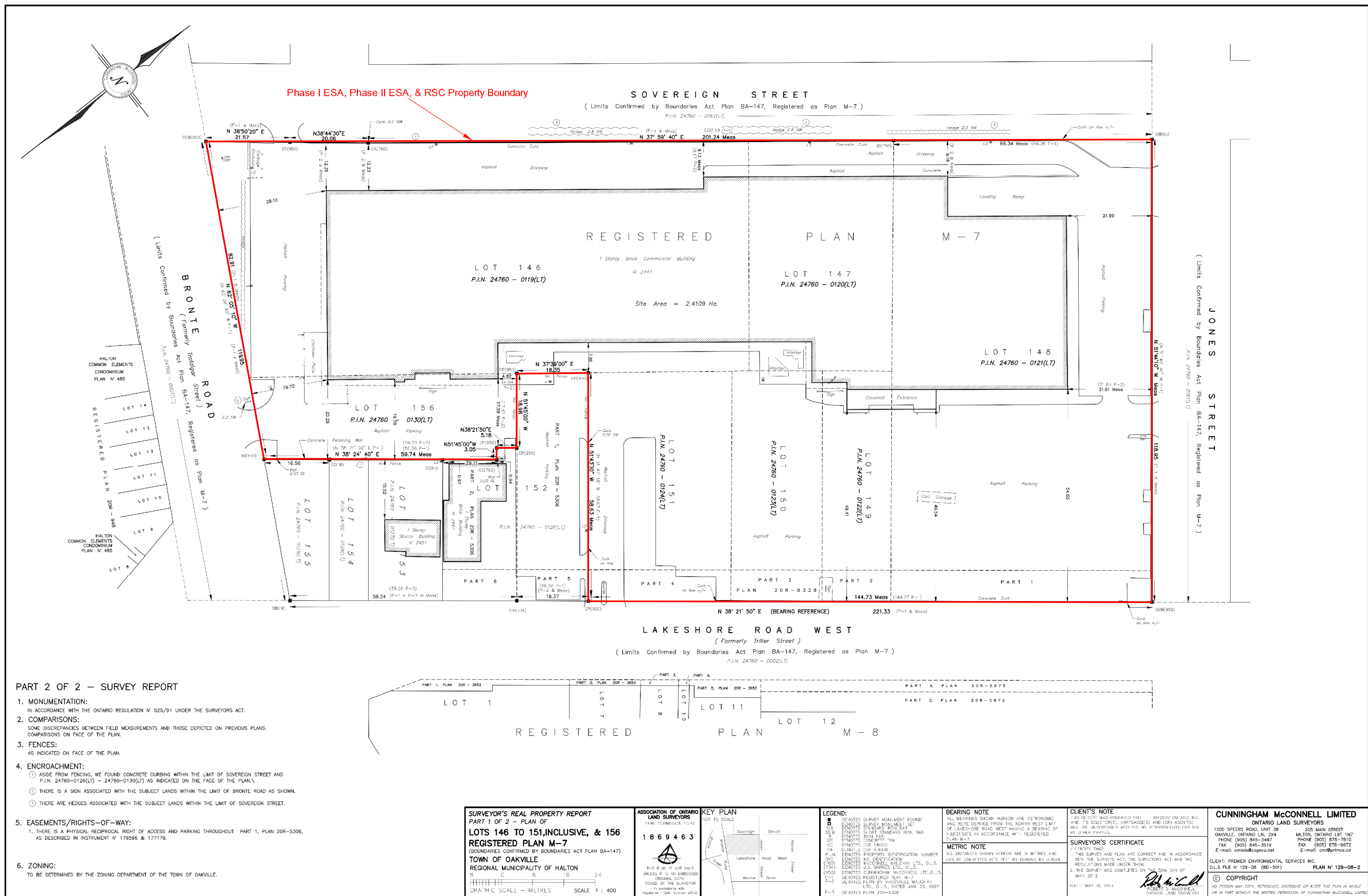
LAND TRANSFER TAX STATEMENTS

C. Address for Service: c/o 75 The Donway West
Suite 1002
Toronto, ON M3C 2E9

D. (i) Last Conveyance(s): PIN 24760 – 0119 Registration No. HR599479
PIN 24760 – 0120 Registration No. HR599479
PIN 24760 – 0121 Registration No. HR599479
PIN 24760 – 0122 Registration No. HR599479
PIN 24760 – 0123 Registration No. HR599479
PIN 24760 – 0124 Registration No. HR599479
PIN 24760 – 0130 Registration No. HR599479

(ii) Legal Description for Property Conveyed: Same as in last conveyance? Yes ☒ No ☐ Not known ☐

E. Tax Statements Prepared By: Avraham Yitzchok Sugar
Bay Adelaide Centre 333 Bay Street Suite
3400
Toronto M5H 2S7



Area of Potential Environmental Concern ₁	Location of Area of Potential Environmental Concern on Phase One Property	Potentially Contaminating Activity ₂	Location of PCA (on-site or off-site)	Contaminants of Potential Concern ₃	Media Potentially Impacted (Ground water, soil and/or sediment)
APEC 1 Southern portion of the Site	Southern boundary of the Site bordering the Pioneer gas Bar	PCA #30 Fill material of unknown quality	On-Site	Metals, PCB, PAH, VOC, PHC	Soil and Groundwater
APEC 2 Eastern corner of the Site	Eastern corner of the Site	PCA#28 Off-Site spill	Off-Site	PHC	Soil and groundwater
APEC 3 Southern boundary of the Site	Southern boundary of the Site bordering the Pioneer gas Bar	PCA #28 Off-Site petroleum storage	Off-Site	PHC,VOC	Groundwater
APEC 4 Southern boundary of the Site	Southern boundary of the Site adjacent to dry cleaners	PCA #37 Off-Site operation of a dry cleaners	Off-Site	VOC	Groundwater

Notes:

1 - Area of Potential Environmental Concern means the area on, in or under a phase one property where one or more contaminants are potentially present, as determined through the phase one environmental site assessment, including through,

(a) identification of past or present uses on, in or under the phase one property, and

(b) identification of potentially contaminating activity.

2 - Potentially Contaminating Activity means a use or activity set out in Column A of Table 2 of Schedule D that is occurring or has occurred in a phase one study area

3 - when completing this column, identify all contaminants of potential concern using the Method Groups as identified in the

"Protocol for in the Assessment of Properties under Part XV.1 of the Environmental Protection Act, March 9, 2004, amended as of July 1, 2011, as specified below:

ABNs PCBs Metals Electrical Conductivity SAR

CPs PAHs As, Sb, Se Cr (VI)

1,4-Dioxane THMs Na Hg

Dioxins/Furans, PCDDs/PCDFs VOCs B-HWS Methyl Mercury

OCs BTEX Cl- high pH

PHCs Ca, Mg CN- low pH

4 - when submitting a record of site condition for filing, a copy of this table must be attached

****Cette publication hautement spécialisée n'est disponible qu'en anglais en vertu du règlement 671/92, qui en exempte l'application de la Loi sur les services en français. Pour obtenir de l'aide en français, veuillez communiquer avec le ministère de l'Environnement au 1-800-461-6290**

Notes:

Table 3: Current and Past Uses of the Phase I Property

Year	Name of Owner	Description of Property Use	Property Use	Other Observations from Aerial Photographs, Fire Insurance Plans, etc.
SUBJECT PROPERTY				
2011	1812502 Ontario Inc.	Strip Mall and Associated Parking Lot (Bronte Village Mall)	Commercial	The 1989 aerial photograph shows the Gas Station adjacent to the Site on the northeast corner of Bronte Road and Lakeshore Road West.
2007 - 2011	2143111 Ontario Inc.			
1987- 2007	Faircan Investments Corporation			
1987-1984	Starlow Holdings Limited / International Trustco Properties Inc.			
1984 - 1980	425794 Ontario Inc.			
1980 - 1980	Sovereign Shopping Centers Inc. (Bayview Shopping Centers Inc.)			
LOTS 146-147 OF PROPERTY				
1980- 1966	The Toronto City Mission	Camp / Summer Retreat (Fresh Air Home)	Commercial	The 1966 FIP shows the Toronto City Mission Fresh Air Home with several buildings on the property.
1966-1847	A Series of Private Individuals: Jeff Cnossen & Nick Zylstra to J. Cnossen July 2/58 J. A. Pickard to J. Cnossen & N. Zylstra Oct 17/56 Estate of William Davidson to A. Pickard June 30/55 Estate of David McMichael to William Davidson Nov 30/1885 Estate of Thomas McKie to David McMichael Probate Crown to Thomas McKie May 28/1847	Residential	Residential	
LOT 148 OF PROPERTY				
1980	425794 Ontario Limited	Commercial	Commercial	

Table 3: Current and Past Uses of the Phase I Property

Year	Name of Owner	Description of Property Use	Property Use	Other Observations from Aerial Photographs, Fire Insurance Plans, etc.
1980- 1969 Lot148	Delta Mar Holdings Ltd.	Motor Home /Campground (Magnet Inn Motel)	Commercial	The 1966 FIP shows the Magnetic Inn Motel with several cabins located on the property.
1969-1856 Lot 148	A Series of Private Individuals: Agnes M. Petrie to Delta Mar Holdings Ltd. Dec 16/69 Louis Cole to Agnes M Petrie July 18/44 Estate of Robert W. Williams to Louis Cole July 23/28 Martha Williams to Robert W. Williams Apr 25/12 Algernon G. MacKay to his Daughter Martha Williams Apr 15/12 John Curner to Algernon G. MacKay Oct 2/1867 Crown to Elijah Williams > lost by Power of Sale Nov 17/1856	Residential	Residential	
LOT 149 OF PROPERTY				
1980-1971	Delta Mar Holdings Ltd	Vacant	Residential	
1971-1969	Hopedale Developments Ltd.	Residential	Residential	The 1966 FIP shows an individual building on the property.
1969-1858	A Series of Private Individuals James H. Teague to Hopedale Developments Ltd Apr 30/69 Ronald & Alfred Sanderson to James H. Teague June 30/67 Wilhelmina G. Thirstin to Robert & Maude McFarland July 10/45 Estate of James R. Thirstin to Wilhelmina G. Thirstin Oct 25/44 Estate of Violetta Dobson to James R Thirstan Aug 21/40 Estate of James Dobson to Violetta Dobson Dec 19/27 Leslie Thirsten to James Dolson Sept 9/21 Estate of Leiwel Doorland to Leslie Thirsten Sept 9/21	Residential	Residential	

Table 3: Current and Past Uses of the Phase I Property

Year	Name of Owner	Description of Property Use	Property Use	Other Observations from Aerial Photographs, Fire Insurance Plans, etc.
	Mary Ann Belyea to Leiwel Doorland Mar 2/1882 Estate of John Belyea to Mary Ann Belyea Nov 4/1875 Crown to John Belyea July 24/1858			
LOT150 OF PROPERTY				
1980 - 1970	J&D Fedacsek to Sovereign Shopping Centres Inc. Feb 18/80 Estate of W. G. Thirsten to J. & D. Fedacsek June 30/70	Commercial	Commercial	Directories indicate Beauty Chalet Hairdresser from at least 1970 to 1975
1970-1858	A Series of Private Individuals: Estate of Violetta Dolson to James R. Thirsten Aug 21/40 Estate of James Dolson to Violetta Dolson Dec 19/27 Leslie Thirsten to James Dolson Sept 9/21 Estate of Leiwel Doorland to Leslie Thirsten Sept 9/21 Mary Ann Belyea to Leiwel Doorland Mar 2/1882 Estate of John Belyea to Mary Ann Belyea Nov 4/1875 Crown to John Belyea July 24/1858	Residential	Residential	The 1966 FIP shows two (2) structures on the property.
LOT 151 OF PROPERTY				
1980- 1979	426372 Ontario Ltd. to 425794 Ontario Ltd Nov 10/80	Vacant	Residential	
1979-1978	W. Reissner Holding Ltd. to 426372 Ontario Ltd Nov 1/79	Residential	Residential	
1978- 1858	Werner Reissner to W. Reissner Holdings Ltd. Apr 5/78 Flora E. Smith to Werner Reissner Aug 1/73 James R. Wilhelmina G. thirston to Flora E. Smith Oct 7/27 James Dolson to James R. Wilhelmina G. Thirsten Leslie Thirsten to James Dolson Sept 9/21 Estate of Leiwel Doorland to leslie Thirsten Sept 9/21 Mary Ann Belyea to Leiwel Doorland Mar 2/1882 Estate of John Belyea to Mary Ann Belyea Nov 4/1875	Residential	Residential	The 1966 FIP shows two (2) structures on the property.

Table 3: Current and Past Uses of the Phase I Property

Year	Name of Owner	Description of Property Use	Property Use	Other Observations from Aerial Photographs, Fire Insurance Plans, etc.
	Crown to John Belyea July 24/1858			
LOT 156 OF PROPERTY				
1980-1977	The Town of Oakville to Sovereign Shopping Centres. Feb 28/80	Vacant	Residential	
1977-1858	A Series of Private Individuals: Daniel J. Kelly to The Town of Oakville May 10/77 James R. & W. G. Thirsten to Thomas B. Hassell Mar 2/34 Leslie L Thirsten to James R. & W. G. Thirsten Jan 29/23 Estate of Leiwel Doorland to Leslie Thirsten Sept 9/21 Mary Ann Belyea to Leiwel Doorland Mar 2/1882 Estate of John Belyea to Mary Ann Belyea Nov 4/1875 Crown to John Belyea July 24/1858	Residential	Residential	The 1966 FIP shows one building on the property.

1.0 PHASE II CONCEPTUAL SITE MODEL

1.1 Description and Assessment

1.1.1 Potential Contaminating Activities

Potentially contaminating activities (PCA) may have influenced the environmental conditions at the Site have occurred at both on-Site and off-Site locations:

On-Site

- Fill material of unknown quality may have been used in the re-grading of the Site. (PCA # 30 as per MOE O.Reg 153/04 as amended, Schedule D, Table 2).

Off-Site

- Historical and current operation of dry cleaning equipment. (PCA # 37 as per MOE O.Reg 153/04 as amended, Schedule D, Table 2).
- Historical and current gasoline and associated product storage in fixed tanks (PCA # 28 as per MOE O.Reg 153/04 as amended, Schedule D, Table 2).

1.1.2 Areas of Environmental Concern

These on-Site and off-Site potential contaminating activities resulted in the following on-Site Areas of Environmental Concern (APEC)

There are three areas of environmental concern (APECs) on the Site:

1. APEC 1 - The southern portion of the Site where re-grading and in filling has occurred.
2. APEC 2 - The eastern corner of the property adjacent to the historical spill on East River Drive.
3. APEC 3 - The southern property boundary adjacent to the Pioneer Petroleum Gas Bar located at 2451 Lakeshore Road West.
4. APEC 4 - The southern property boundary adjacent to the dry cleaning facility located at 2442 Lakeshore Road West.

The groundwater table on-Site is between 1.93 m and 2.52 m below ground surface, this depth is greater than any underground utilities located on-Site (see Figures 4 & 5 attached). Therefore it is unlikely the underground utilities would affect any contamination distribution or transport.



1.2 Physical Setting

1.2.1 Stratigraphy

Based on the findings of the borehole drilling the stratigraphy of the Site consists primarily of 0.05 m of asphalt underlain by 0.15 m of sand and gravel fill underlain by 2.85 m of silty clay till underlain by red shale at a depth of approximately 3.05 m bgs (see Figures 4 & 5 attached).

1.2.2 Bedrock

The depth of bedrock was identified as 3.05 m bgs during the borehole drilling. This value is consistent with the depths provided by the Groundwater Information Network for other boreholes drilled in the vicinity of the Site.

1.2.3 Groundwater Characteristics

During the November 2012 groundwater monitoring event the depth to groundwater was observed to be between 1.86 and 2.52 m below ground surface. The groundwater flow direction was determined to be in a southwesterly direction (see Figure 6 attached).

Based on the findings of the borehole drilling and sample analysis the aquifer sampled is located within the silty clay layer. The hydraulic conductivity of silty clay is in the range of 10^{-4} to 10^{-6} cm/sec (referenced from Hydrology and Floodplain Analysis, Third edition, by Philip B. Bedient and Wayne C. Huber)

1.2.4 Site Condition Standards, Environmental Sensitive Areas

The Site does not appear to meet an environmentally sensitive classification because:

- The Site is not located in an area designated as being environmentally sensitive or area of natural significance
- The Site is more than 30 m from a surface water body (see Figure 1 attached).;
- Bedrock is greater than 2 m below ground surface; and,
- pH of the soil is not less than 5 or greater than 9.

1.2.5 Imported Fill Material

Imported fill material may have been used on-Site during the re-grading of the Site during the construction of the present day mall in the 1980's. Fill material may also have been imported as part of the paving of the Site. The borehole logs identified a fill layer of approximately 0.15 m to 0.35 m thick in boreholes across the Site.



1.2.6 Proposed Building

At the time of this report a proposed 560 Unit high-rise condominium building is proposed for the Site.

1.3 Soil Impacts

Analysis of soil samples collected from the on-Site boreholes MW12-01, MW12-02, MW12-03, MW12-04 and MW12-05 indicates that there are no exceedances of the MOE Table 3 SCS on-Site.

1.4 Groundwater Impacts

Analysis of groundwater collected from the on-Site monitoring wells MW12-01, MW12-02, MW12-03, MW12-04 and BH-2 indicates that there are no groundwater impacts on-Site.

2.0 Potential Exposure Scenarios

As shown on the schematic (Figure 2 attached) there are seven likely potential contamination pathways for the Site and surrounding area that would lead to impacts to human health or the natural environment. The pathways are as follows:

- GW2 - Indoor air quality could be affected by contaminated vapours originating from contaminated groundwater;
- GW3 - The aquatic environment could be affected by contaminated groundwater;
- S1,S2,S3 - Human health could be affected by contaminated soil ingestion or dermal exposure;
- S-IA - Indoor air quality could be affected by vapours from contaminated soil;
- S-OA - Outdoor air quality could be affected by vapours from contaminated soil;
- Birds and Mammals - Birds and mammals could be affected by direct ingestion or dermal contact with contaminated soil;
- Plants and soil Invertebrate - Plants and soil invertebrates could be affected by direct uptake of contaminants from contaminated soil;

All contamination pathways have been closed as there are no soil or groundwater impacts that exceed the MOE Table 3 Site Condition Standards.

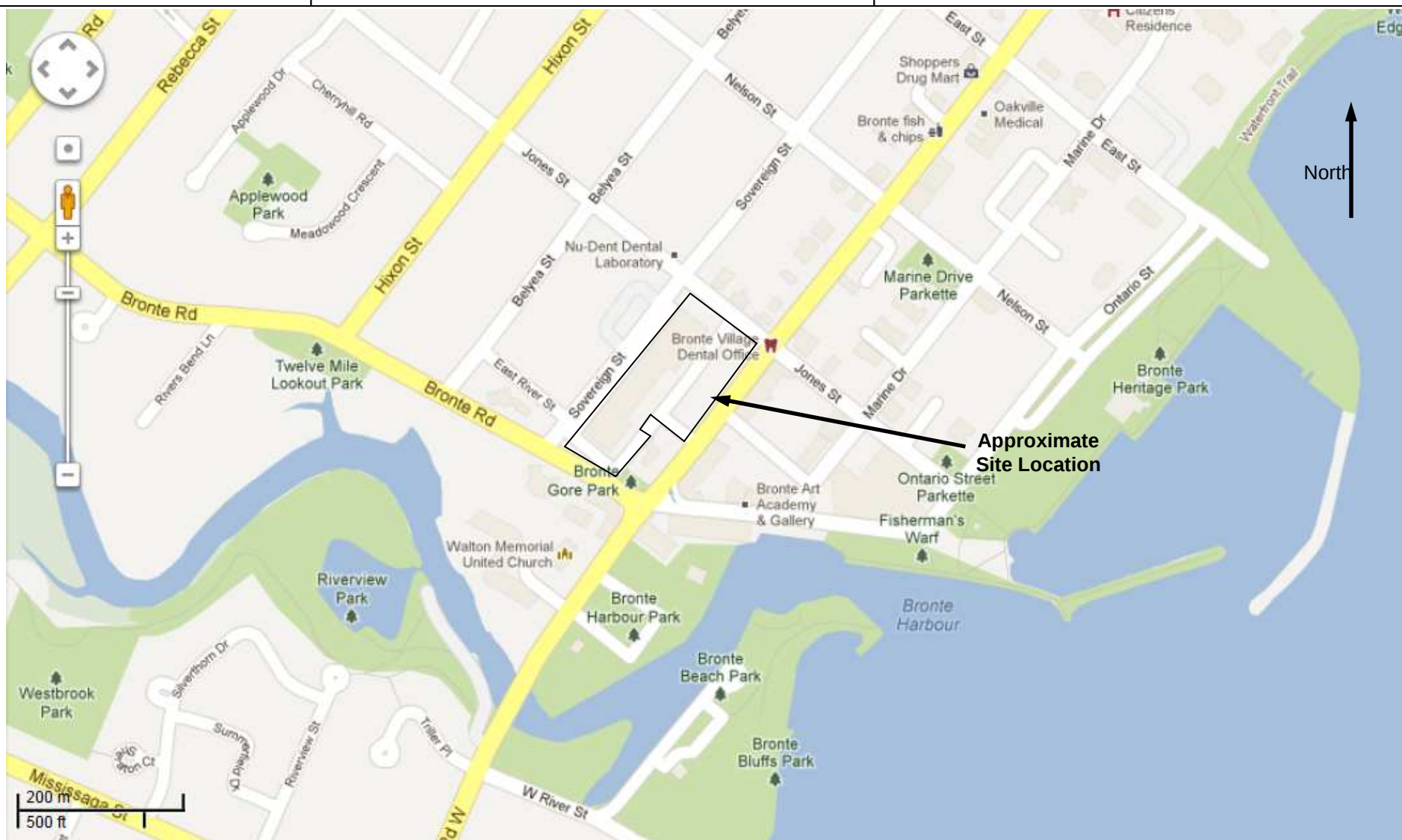


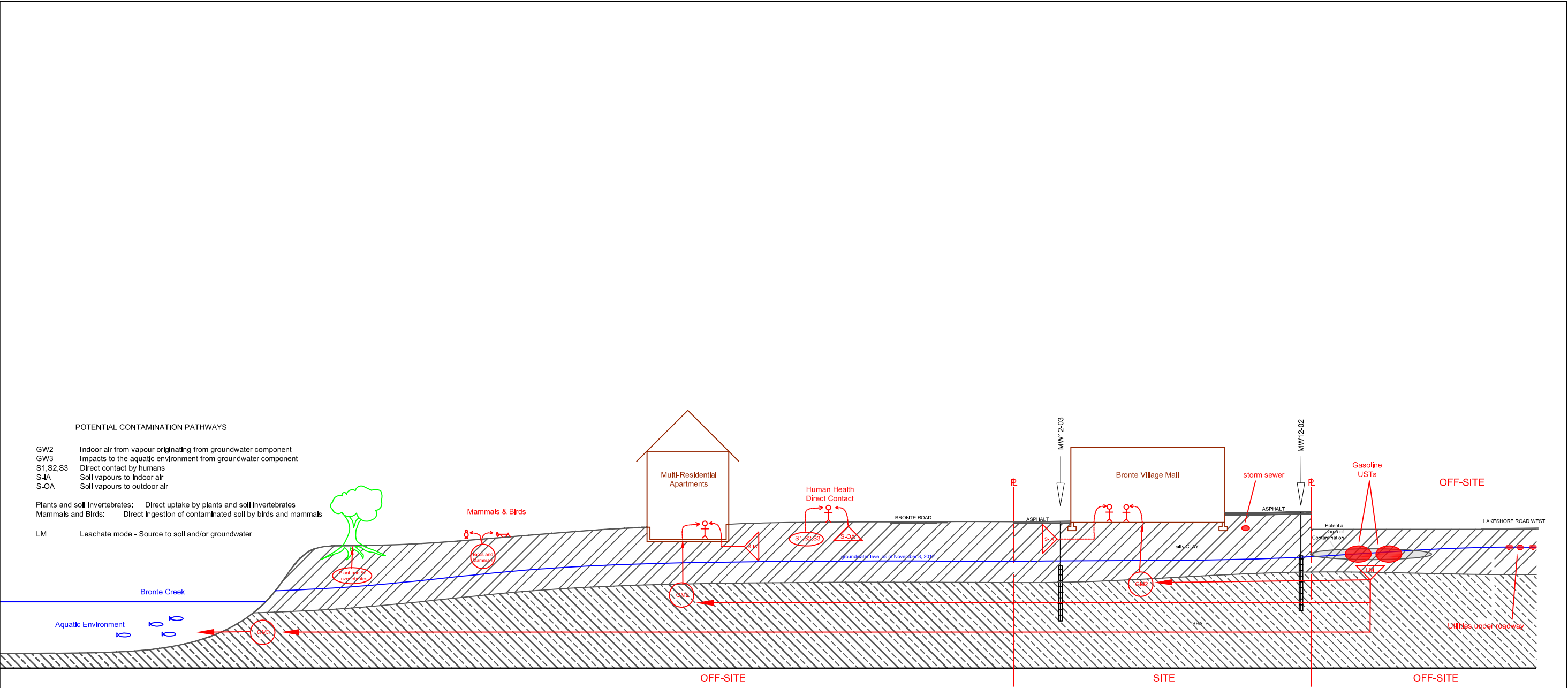
Figure 1 - SITE LOCATION MAP

Client Name:
1812502 Ontario Inc.

Site Location:
2441 Lakeshore Road West, Oakville, Ontario

Project No.
611001.ME





LEGEND

- ASPHALT
- silty Clay
- SHALE
- Groundwater level as of November 8, 2012
- Property Line

PREMIER
ENVIRONMENTAL SERVICES INC

244 Montrose St. N
Unit 1 Upper
Cambridge, ON
N3H 2H7
Bus: (519)-653-7140
Fax: (519)-653-8907

NOTE: LOCATIONS OF BUILDINGS, UNDERGROUND UTILITIES, ETC. ARE FOR REFERENCE ONLY AND SHOULD NOT BE RELIED UPON FOR DETAILED DESIGN, EXCAVATION, OR CONSTRUCTION PURPOSES

Client:
1812502 ONTARIO INC

Site:
2441 LAKESHORE ROAD WEST, OAKVILLE, ONTARIO

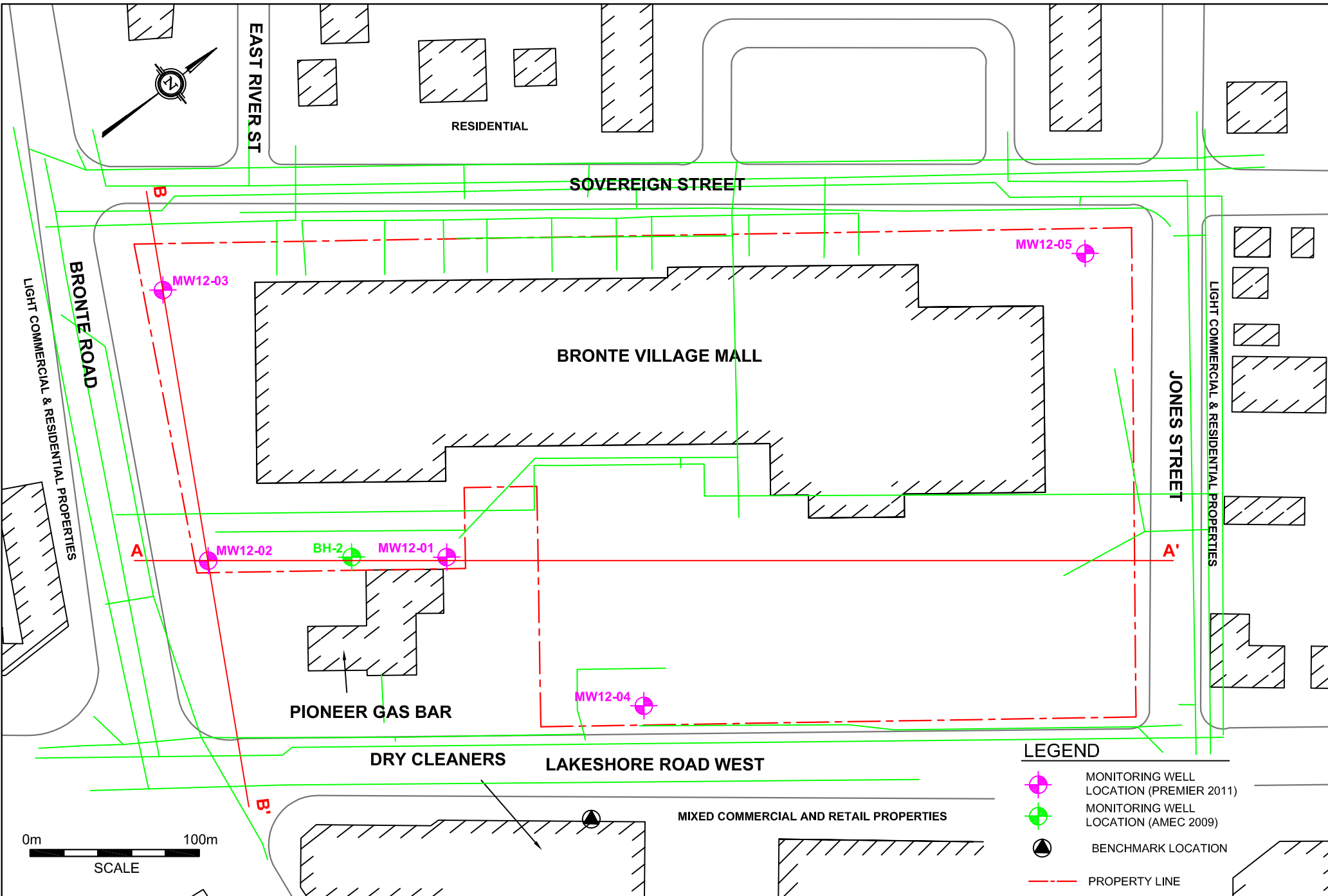
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GENERAL SCHEMATIC OF POTENTIAL EXPOSURE SCENARIOS

Date:
NOV 2012

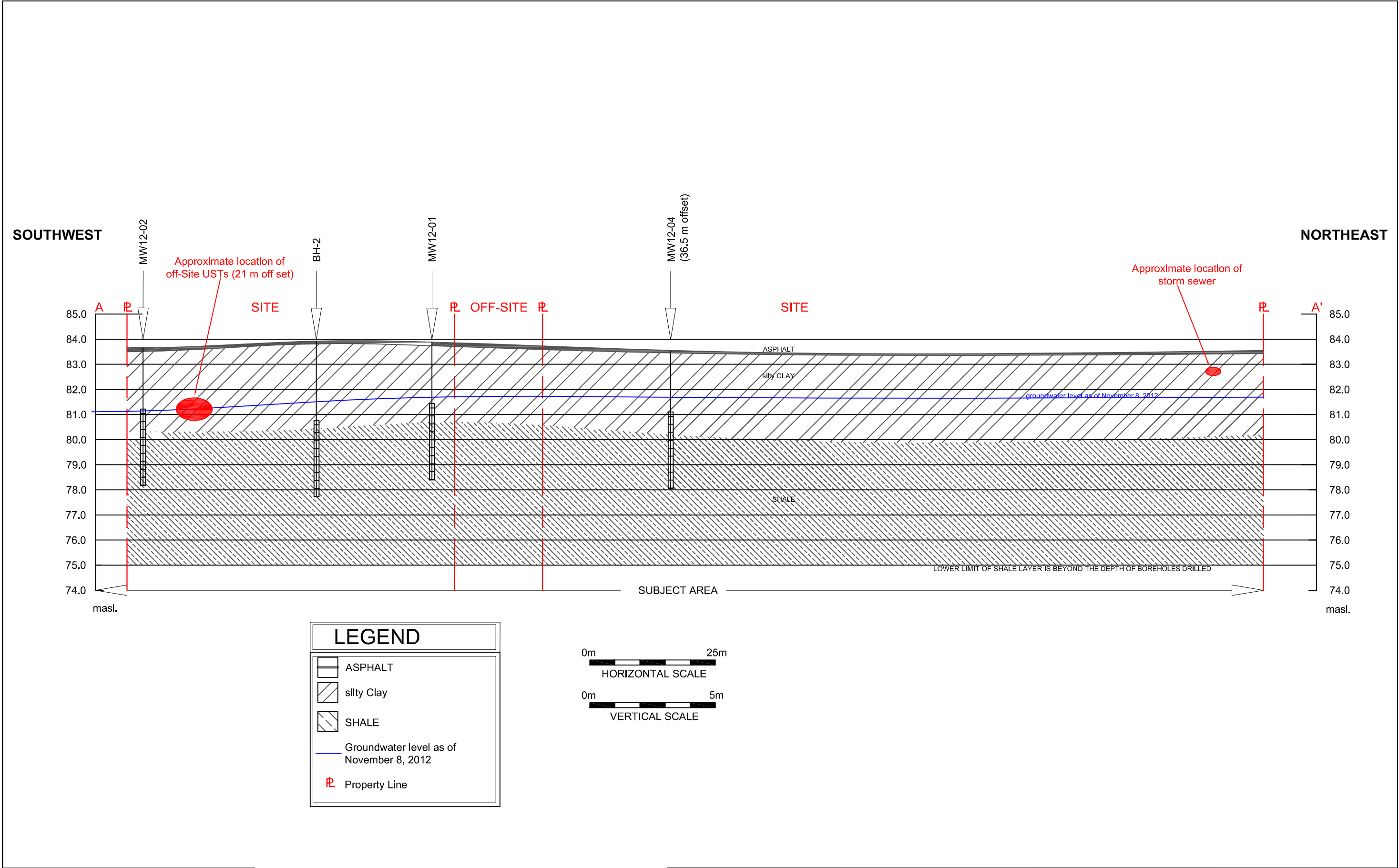
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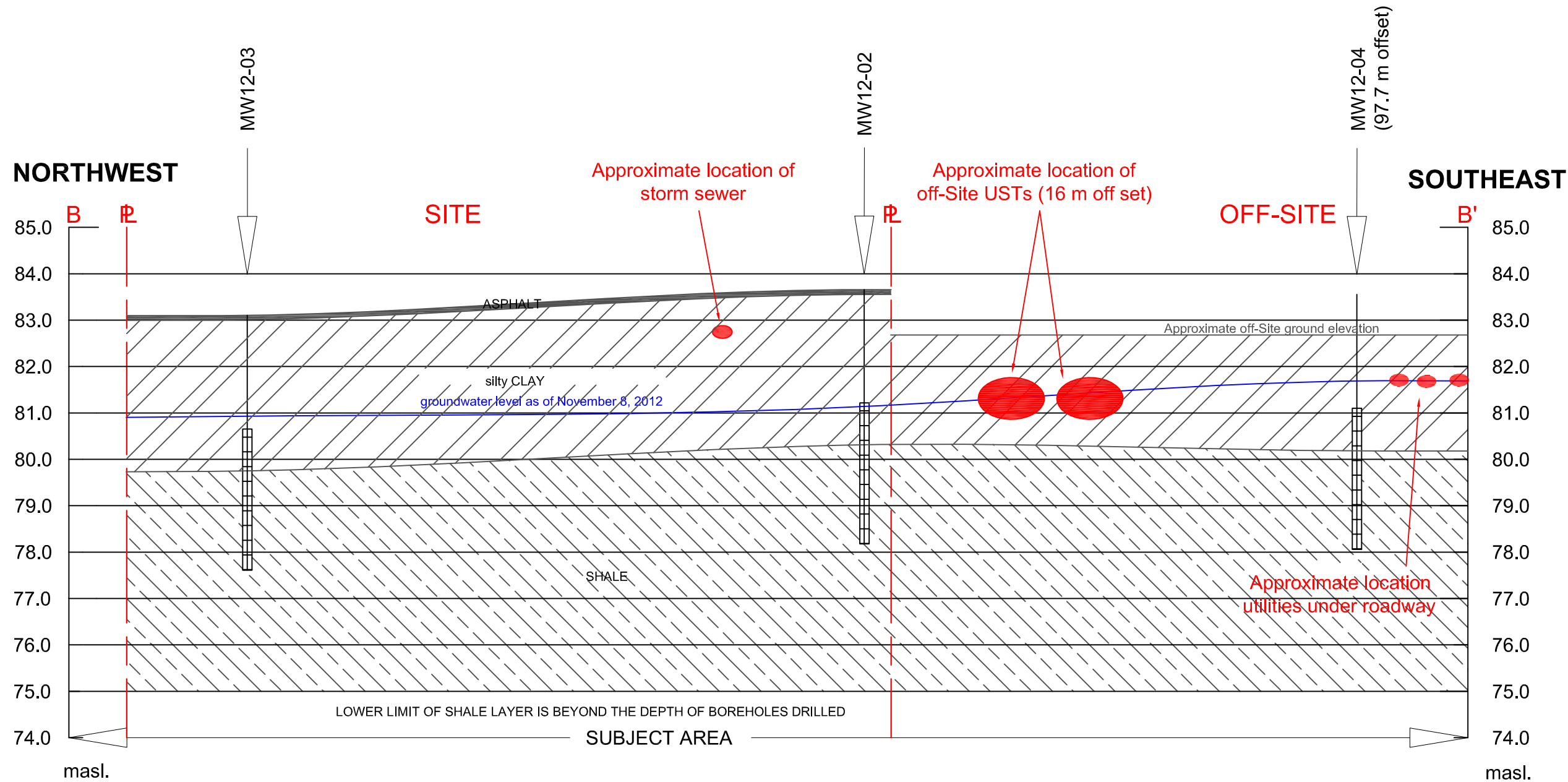
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611001.ME

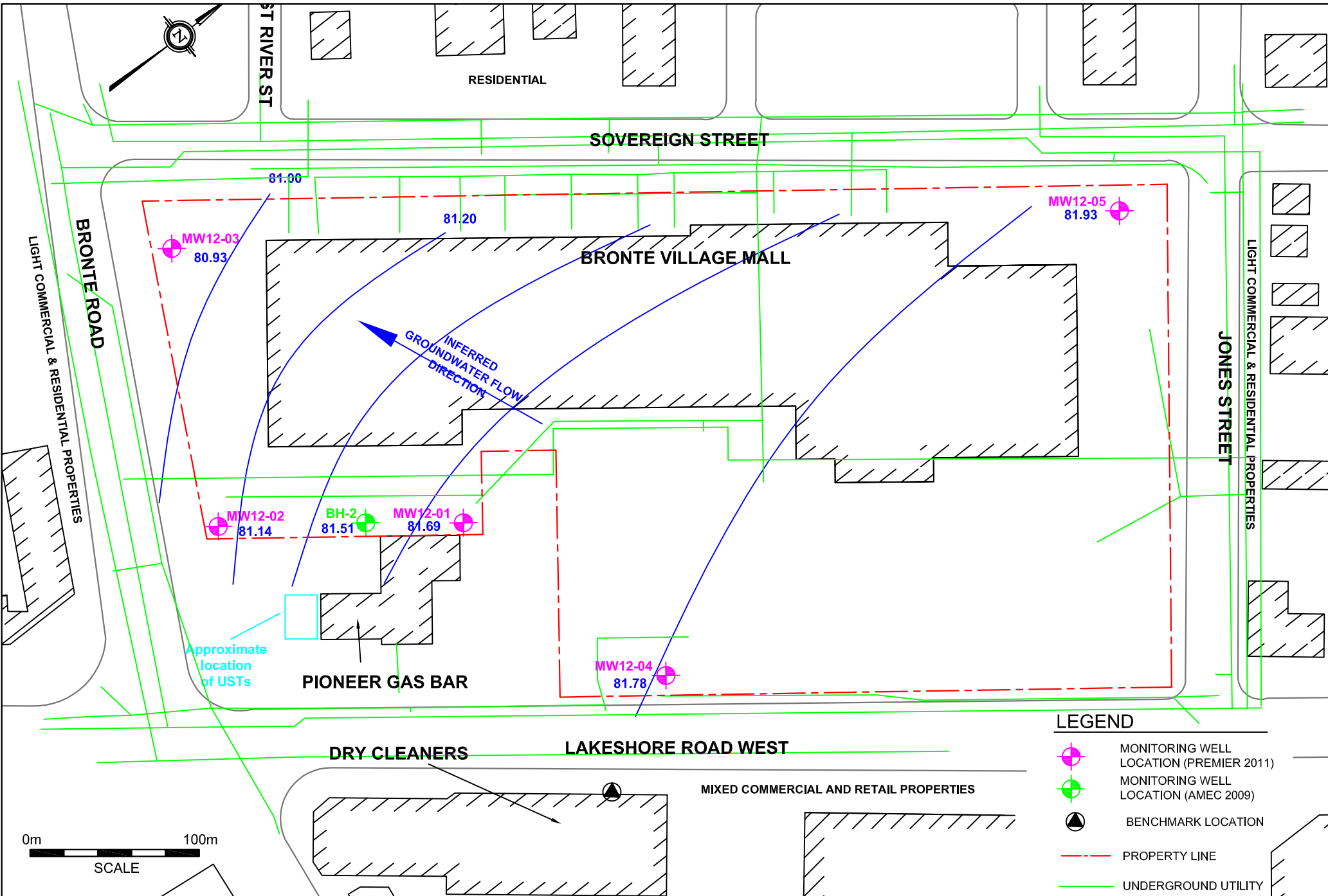
Figure:
2



 244 Montrose St. N Unit 1 Upper Cambridge, ON N3H 2H7 Bus: (519)-653-7140 Fax: (519)-653-8907	NOTE: LOCATIONS OF BUILDINGS, UNDERGROUND UTILITIES, ETC. ARE FOR REFERENCE ONLY AND SHOULD NOT BE RELIED UPON FOR DETAIL DESIGN, EXCAVATION, OR CONSTRUCTION PURPOSES.	Client 1812502 ONTARIO INC. Site 2441 LAKESHORE RD. W., OAKVILLE, ONTARIO	Title SITE PLAN SHOWING LOCATION OF STRATIGRAPHIC CROSS SECTIONS	Date NOV 2012 Scale AS SHOWN	Project 611001.ME Figure 3
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 244 Montrose St. N Unit 1 Upper Cambridge, ON N3H 2H7 Bus: (519)-653-7140 Fax: (519)-653-8907	NOTE: LOCATIONS OF BUILDINGS, UNDERGROUND UTILITIES, ETC. ARE FOR REFERENCE ONLY AND SHOULD NOT BE RELIED UPON FOR DETAIL DESIGN, EXCAVATION, OR CONSTRUCTION PURPOSES.	Client 1812502 ONTARIO INC. Site 2441 LAKESHORE RD. WEST, OAKVILLE, ONTARIO	Title SITE PLAN SHOWING GROUNDWATER ELEVATIONS AND INFERRED GRONDWATER FLOW DIRECTION	Date NOV 2012 Scale AS SHOWN	Project 611001.ME Figure 6
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