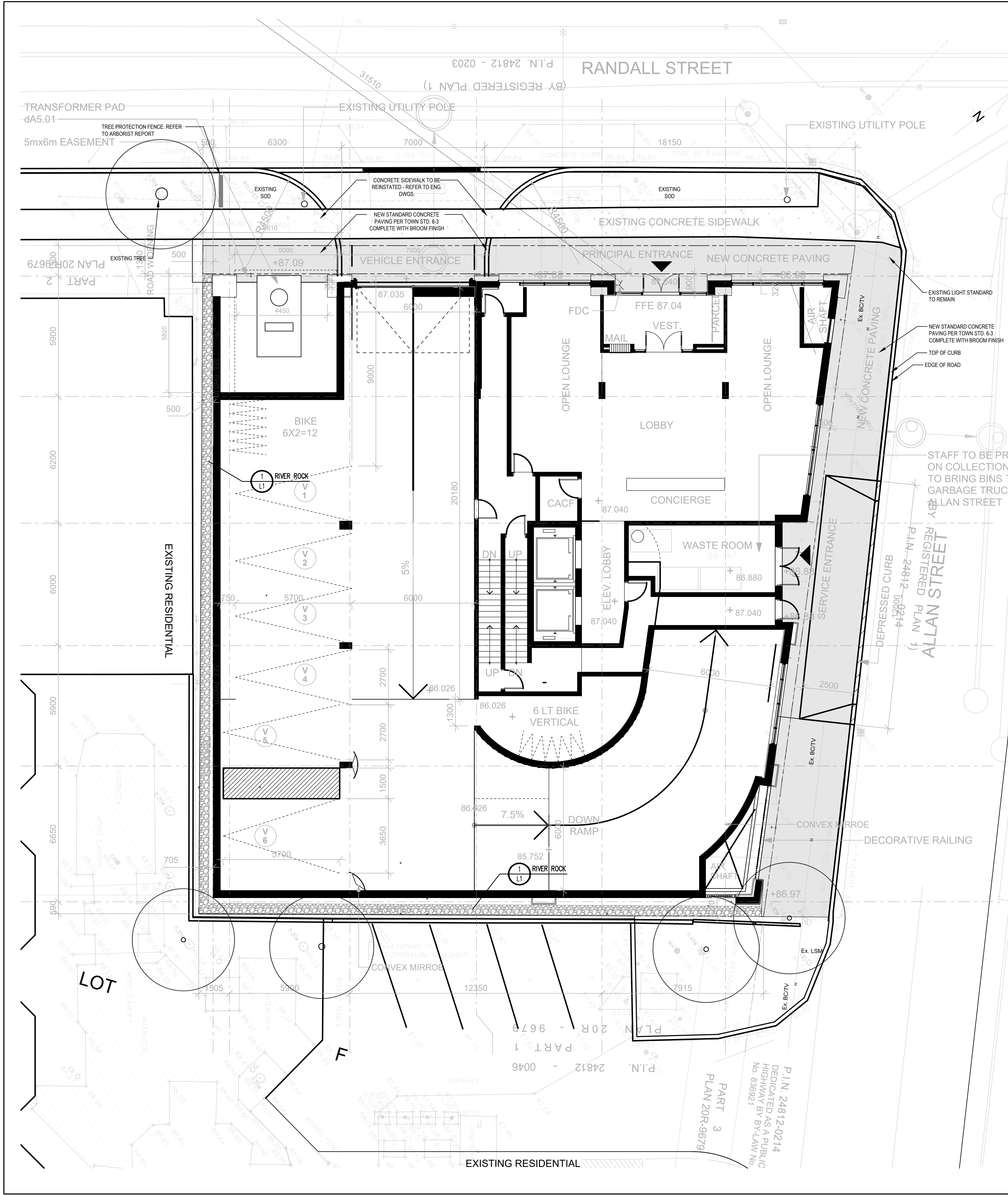




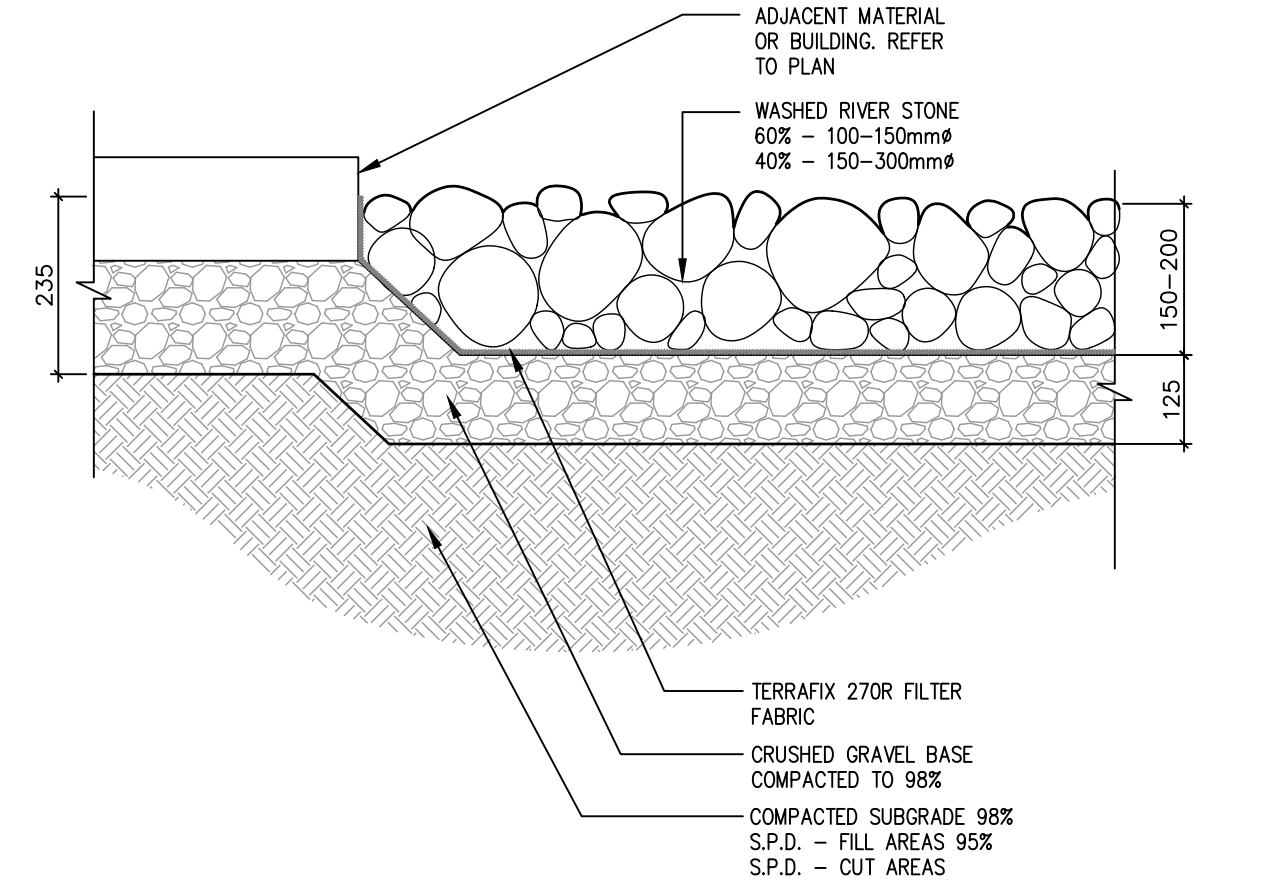
SITE STATISTICS - REFER TO ARCH. DRAWING

PROJECT STATISTICS - SPA					
138 Allan St. Oakville					
Rental Residential					
Oakville, Ontario					
July 14, 2026					
Project No. 24-104					
1.0	Lot Area				
		hectare	acres	m²	ft²
1.1	Net Lot Area	0.09	0.23	934.11	10055
1.2	Road Widening	0.00	0.01	43.97	473
1.3	Gross Lot Area	0.10	0.24	978.08	10528
2.0	Floor Space Index (F\$)				
	FSI on Gross Lot Area	(Item 4.6/Item 1.3)			4.781
	FSI on Net Lot Area	(Item 4.6/Item 1.1)			5.006
3.0	Parking Area				
		floors	sq.m.	m²	ft²
	Level P3 P2	2 x	804.90	1609.80	17328
	Level P1	1 x	804.90	804.90	8664
	Level L1	1 x	495.96	495.96	5338
	Total Proposed Parking Area			2910.66	31330
4.0	Proposed Gross Floor Area (GFA)				
	Per Zoning by-law 2014-014 and 1984-83 Definition: Excludes garage, loading and UG, includes stair and shafts				
Above Grade	Level 1	1 x	332.34	332.34	3577
	Level 2	1 x	767.29	767.29	8259
	Levels 3 to 6	4 x	801.86	3207.44	34525
	Level MPH	1 x	369.19	369.19	3974
	Total Proposed Residential GFA			4676.26	50335

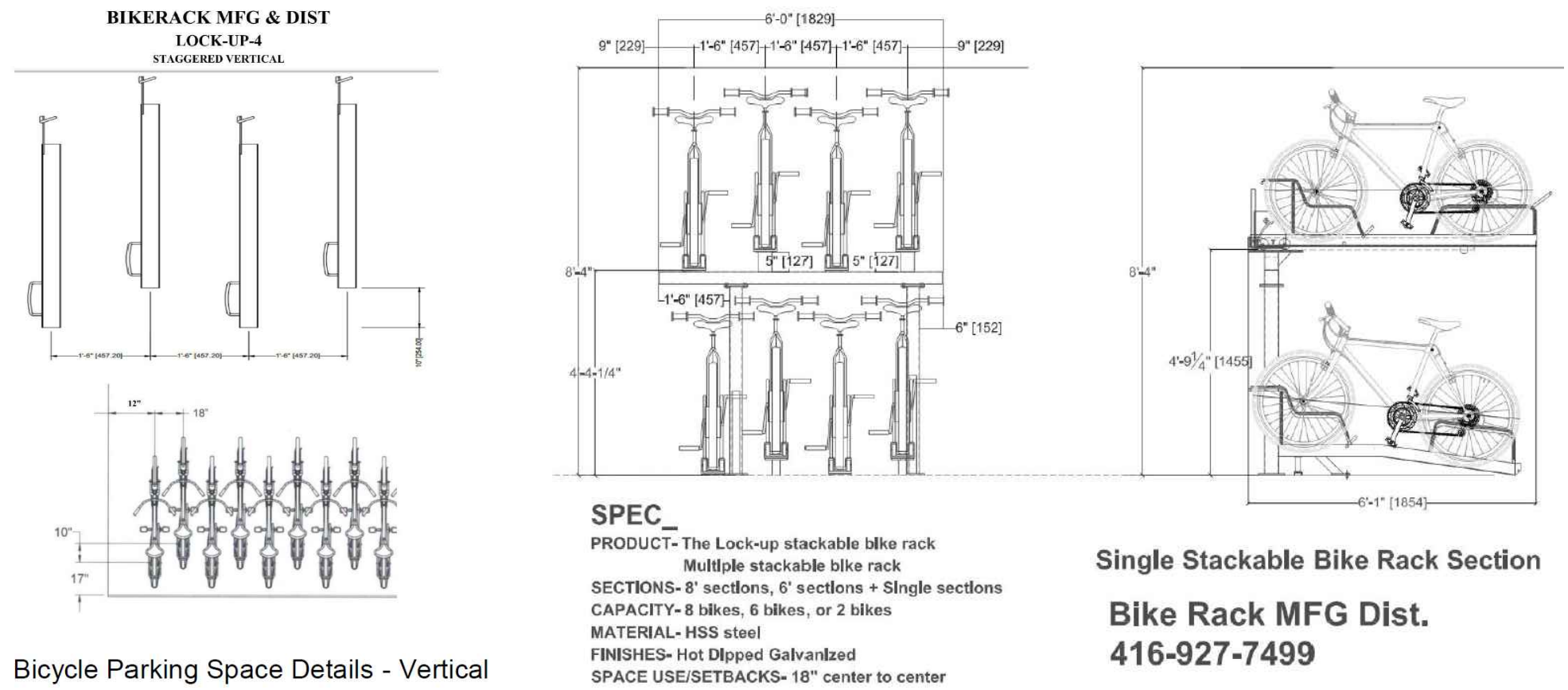
PLANTING NOTES

- CONTRACTOR TO VERIFY LOCATION OF ALL SERVICES PRIOR TO ANY EXCAVATION.
- ALL PLANT MATERIAL SHALL BE NURSERY GROWN STOCK UNLESS OTHERWISE NOTED.
- CONTRACTOR TO MAKE GOOD ALL AREAS DAMAGED BY WORK TO THE SATISFACTION OF THE LANDSCAPE ARCHITECT.
- THE MAINTENANCE GUARANTEE PERIOD SHALL EXTEND FOR TWO YEARS FROM THE DATE OF PERFORMANCE ACCEPTANCE.
- PERIODIC REVIEWS OF PLANTING SHALL BE CARRIED OUT BY THE LANDSCAPE ARCHITECT.
- SODDED AREAS WILL BE ACCEPTED BY THE LANDSCAPE ARCHITECT FOLLOWING PERFORMANCE ACCEPTANCE, PROVIDED:
 - SOD IS PROPERLY ESTABLISHED.
 - TURF IS FREE OF DEAD SPOTS AND WEEDS.
 - SODDED AREAS HAVE BEEN CUT WITHIN 24 HOURS PRIOR TO ACCEPTANCE INSPECTION.
 - MINIMUM OF 3 WEEKS HAVE ELAPSED FOLLOWING LAYING OF SOD.
 - A MINIMUM OF TWO CUTS HAVE TAKEN PLACE.
- SPREAD TOPSOIL TO 300mm DEPTH FOR ALL AREAS TO BE SODDED.
- DEPTH OF TOPSOIL INDICATED IS COMPACTED DEPTH COMPACT TO 85% STANDARD PROCTOR DENSITY.
- SPREAD TOPSOIL ON PREPARED SUBGRADE OF THE WORK SITE.
- FINE-GRADE TOPSOIL TO PRODUCE A SMOOTH EVEN SURFACE, FREE OF DEBRIS, SOD, STONES AND ROOTS OVER 25mm DIAMETER.
- MEET AND MATCH ALL EXISTING SODDED AREAS, CURBS, SIDEWALKS, AREA DRAINS, AND PITCHBASIN FRAMES, ASPHALT AND OTHER SURFACE AREAS IN A SMOOTH, UNIFORM LINE TO THE SATISFACTION OF THE LANDSCAPE ARCHITECT.

- GENERAL NOTES:
- REFER TO ENGINEERING DRAWINGS FOR GRADING, SERVING AND UTILITY INFORMATION.
 - REFER TO SITE PLAN FOR DETAILED ARCHITECTURAL INFORMATION.
 - REFER TO TREE INVENTORY AND PRESERVATION PLAN FOR DETAILED INFORMATION.



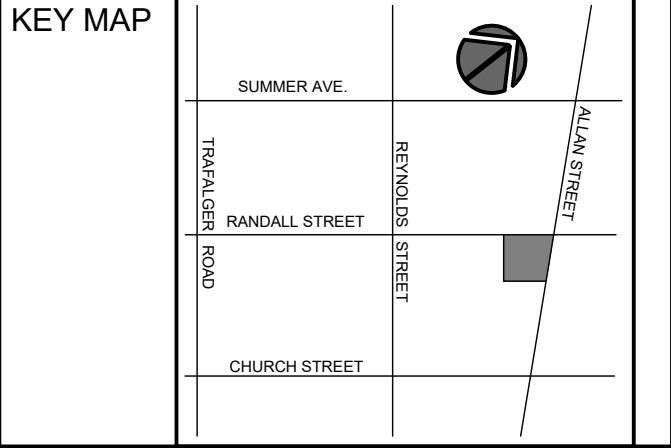
1 RIVER ROCK NTS



Bicycle Parking Space Details - Vertical

2 BICYCLE PARKING, REFER TO ARCH. PLANS NTS

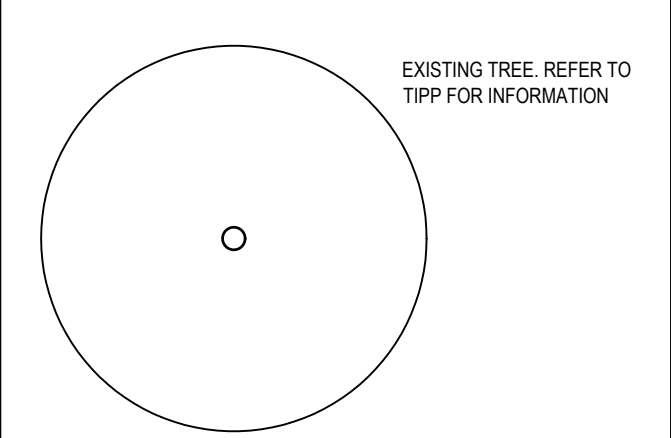
CONTRACTOR SHALL CHECK ALL DIMENSIONS ON THE WORK AND REPORT ANY DISCREPANCY TO THE LANDSCAPE ARCHITECT BEFORE PROCEEDING. ALL DRAWINGS AND SPECIFICATIONS ARE THE PROPERTY OF THE LANDSCAPE ARCHITECT AND MUST BE RETURNED AT THE COMPLETION OF THE WORK. THIS DRAWING IS NOT TO BE USED FOR CONSTRUCTION UNTIL SIGNED BY THE LANDSCAPE ARCHITECT.



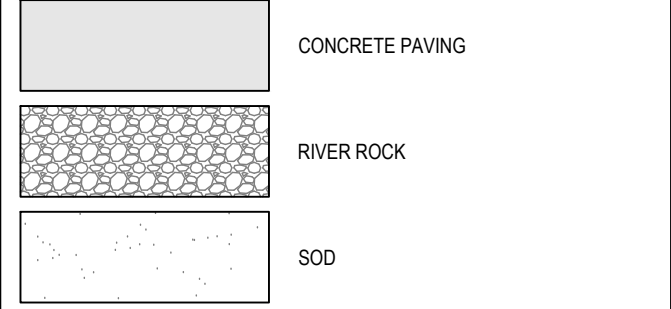
LEGEND

PROPERTY LINE

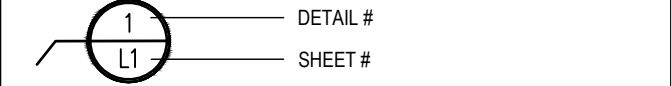
PLANTING



SURFACES



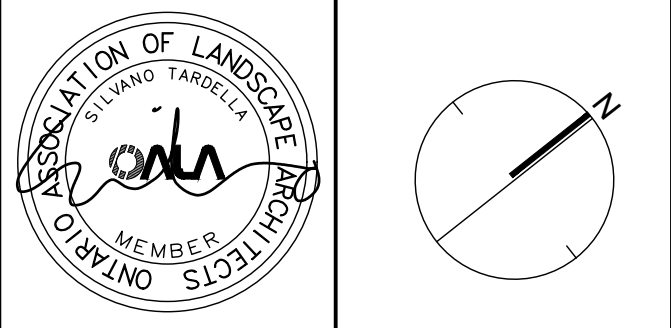
DETAIL KEY



REVISIONS

No.	Description	Date
1	Issued for 1st Submission	Aug 2026

CITY APPROVAL STAMP



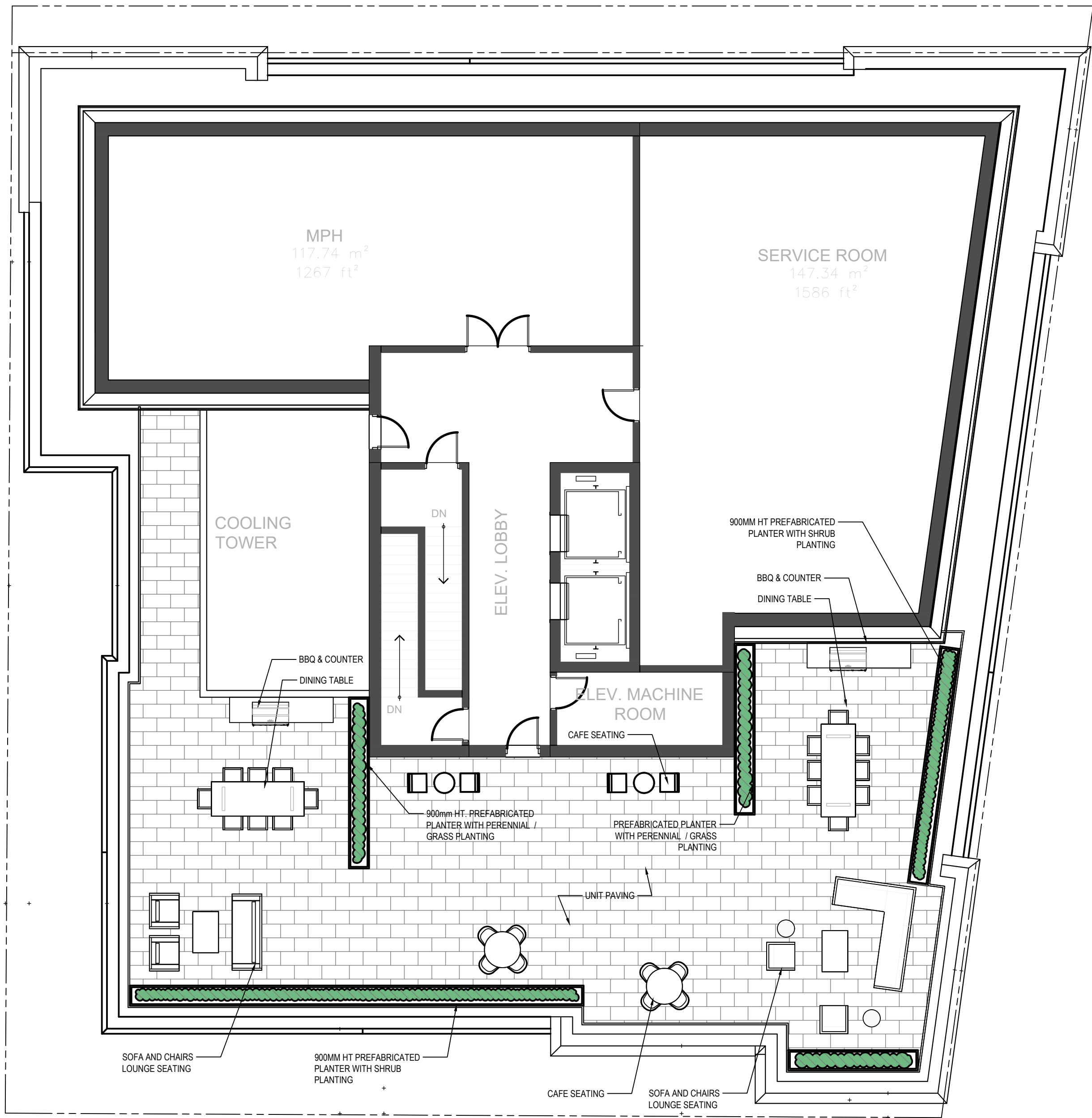
NAK
design strategies
213 STERLING ROAD, SUITE 211, TORONTO, ON M4R 2B2 CANADA
T 416.340.8700 F 416.340.7100 NAKDESIGNSTRATEGIES.COM

PROJECT
138 ALLAN STREET
Oakville, Ontario
Proposed Residential Development
City File No. SP.1613.105/01
OWNER
MELROSE INVESTMENT

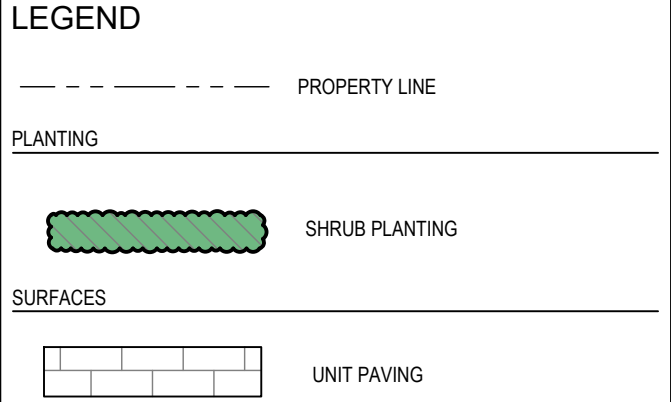
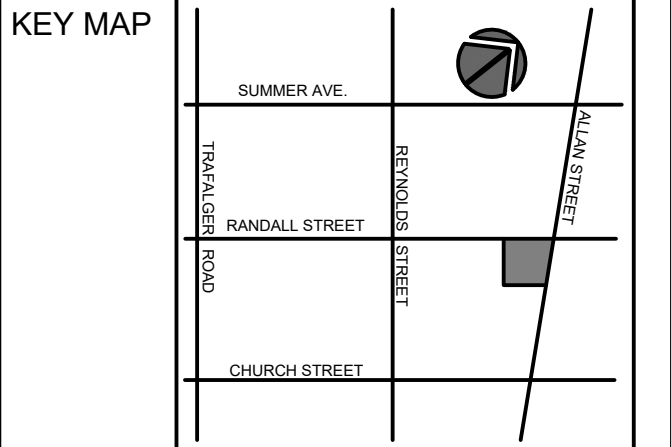
TITLE
LANDSCAPE PLAN

SCALE: 1:100
DRAWN: AZ
CHECKED: NH
JOB NO.: 26-131

L100



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PROJECT

138 ALLAN STREET
Oakville, Ontario
Proposed Residential Development

City File No. SP.1613.105/01

OWNER

MELROSE INVESTMENT

TITLE

**ROOFTOP AMENITY
LANDSCAPE PLAN**

SCALE: 1:100

DRAWN: AZ

CHECKED: NH

JOB NO.: 26-131

L200