



Report:

722 Winston Nominee Inc.
Land Use Compatibility (LUC) Assessment – Air
700 and 750 Winston Churchill Blvd., Oakville, Ontario

Date: November 3, 2023



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Report No.: 92619
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Revision History

Version	Date	Summary Changes/Purpose of Revision
1	December 21, 2021	None
2	November 24, 2022	Update for comments from peer-review and public consultation
3	November 3, 2023	Proxy Study addendum included as Appendix D

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1. INTRODUCTION

ORTECH Consulting Inc. (“ORTECH”) was retained by 772 Winston Nominee Inc. (the “Client”) to update a land use compatibility (LUC) study for a proposed warehousing facility (the “Facility”) at 772 Winston Churchill Boulevard, Oakville (the “Site”). Facility operations will be supported by four standby natural gas fired generators, and various natural gas fired HVAC units.

The original LUC study (R92480 – 772 Winston Churchill Land Use Compatibility, dated December 21, 2021) was prepared by ORTECH for 772 Winston Churchill LP. This report outlines the applicable land use compatibility guidelines, classification of the Facility and its operations based on potential dust and odour impacts and identification of potential land use compatibility issues. The updates to this report are to address findings in a peer-review conducted by Dillon Consulting and to clarify points raised during the review period by the municipality and the public.

The main update to this report is a refinement of vehicle emissions from the site. An idling emissions scenario is modelled. Additionally, modelling has been updated to include final HVAC equipment specifications and locations. Some clarity has been added on the issues of the determination of separation distance and how this report addresses cumulative effects.

2. APPLICABLE GUIDELINES AND REGULATIONS

2.1 Land Use Compatibility Guidelines

The specific objective of the study is to undertake land use compatibility of the Facility with existing surrounding sensitive land uses in accordance with Ontario Ministry of the Environment, Conservation and Parks (MECP) Guideline D-1 on Land Use Compatibility, D-6 on Compatibility between Industrial Facilities and Sensitive Land Uses and the Region of Peel’s land use compatibility guidelines. The scope of this report is to address the impact of odour and dust nuisance from the Facility operations on existing sensitive land uses.

Guideline D-6 recommends a 1000-meter Study Area for land use proposals, defines three classes of industrial facilities: Class 1, Class 2 and Class 3 (see Appendix A), and defines Sensitive Land Uses. Guideline D-6 also defines Minimum Recommended Separation Distances (MSD) and Potential Influence Areas (AOI) between industrial facilities and sensitive land uses for each Class as shown in Table 1. The class designations are based on the potential for noise, dust and odours.

Table 1: Minimum Separation Distances and the Potential Influence Areas from Sensitive Land Uses

Class	Recommended Minimum Separation Distance (m)	Potential Influence Area (m)
1	20	70
2	70	300
3	300	1000

This report describes the existing land uses within 1,000 meters of the Facility (Study Area). The assessment was based on readily available information, such as conceptual site plans, equipment specification sheets, satellite imagery, internet search and direct observations during a site visit.

Although Guideline D-6 suggests that distances are normally measured from property line to property line, there is allowance for measuring from a specific source to sensitive receptors. Guideline D-6 also discusses reducing the minimum separation distance required based on mitigation at industrial sites and provides for exceptions to the Recommended Minimum Separation Distances for some development sites including infilling. Section 4.4.3 of Guideline D-6 states the following:

“Where site-specific zoning or site plan control precludes the use of the setback for any activity associated with the industrial use that could create an adverse effect such as shipping and receiving or outside storage/stockpiling of materials (e.g. front yard must be landscaped, and functions as a buffer), then the setback can be included as part of the measurement, rather than measuring from the industrial property line.”

Portions of the Facility layout are not available for industrial use as there is a drainage creek which runs along two sides of the property. Separation distances have been measured excluding these areas.

Facilities that do not meet the definition of any one of the three classes are expected to have virtually no potential for creating noise, odour, dust or vibration that would give rise to complaints (noted in this report as Class 0). The definitions and examples in the MECP Guidelines relevant to air quality concerns were used to characterize the Facility. The D-6 Guideline includes “residences, senior citizens homes, schools, daycare facilities, hospitals, churches and other institutional uses” as sensitive land uses.

2.2 Ontario Regulation 419/05: Air Pollution - Local Air Quality

Since the proposed development is an industrial facility, Ontario Environment Protection Act (EPA, the “Act”) applies to the facility as well. More specifically, Ontario Regulation (O. Reg.) 419/05: Air Pollution - Local Air Quality applies to the Facility operations in regards to dust and odour assessment. Section 9 of the Act requires facilities in Ontario to obtain an Environmental Compliance Approval (ECA) or be registered under the Environmental Activity and Sector Registry (EASR) regulation O. Reg. 1/17, prior to discharging a contaminant into the natural environment.

Demonstration of compliance with regulations O. Reg. 419/05 and/or O. Reg. 1/17 is a requirement as part of the environmental permitting process. The industries are required to meet air quality standards at and beyond their property. Facilities with greater potential of fugitive dust and/or odour emissions are required to implement suitable Best Management Practices Plan/s (BMPP). Certain equipment are exempted from environmental permitting as per O. Reg. 524/98. The requirements under this regulation are explained in further sections.

3. DESCRIPTION OF SITE AND STUDY AREA

The proposed development includes two single-storey industrial buildings with footprints of approximately 32,490 m² and 28,972 m². Typical Facility operations include receiving and loading of products and materials in 53' trucks and other personal use vehicles into the site. The peak traffic for the site is a maximum of 116 vehicles, of which 30% are expected to be trucks. The site plan of the Facility is shown in Appendix B.

The Site is located on the lands zoned as Business Employment (E2), as per Town of Oakville's zoning bylaw 2014-014. Immediately to the north of the Site, there are CN Railway (CN) tracks. The lands to the north of CN tracks and south of the Site are currently zoned Business Employment (E2). Immediately to the west of the site is the Aspen Forest Park Walkway. To the west of the walkway is a residential development zoned Residential Low Density (RL3-0). Further, there are some vacant lands within the Study Area, which are currently designated as Employment Zones as well. The closest sensitive receptors are the residential units located in RL3, 85 meters to the west of the Site. Figures 1 and 2 show the zoning and land use within the study area, along with the location of nearest sensitive receptor. A copy of Town of Oakville's zoning bylaw 2014-014 for lands designated as Business Employment is provided in Appendix C. The Facility conforms to permitted uses under this zoning designation.

Figure 1: Proposed Development Site and Current Zoning within the Study Area

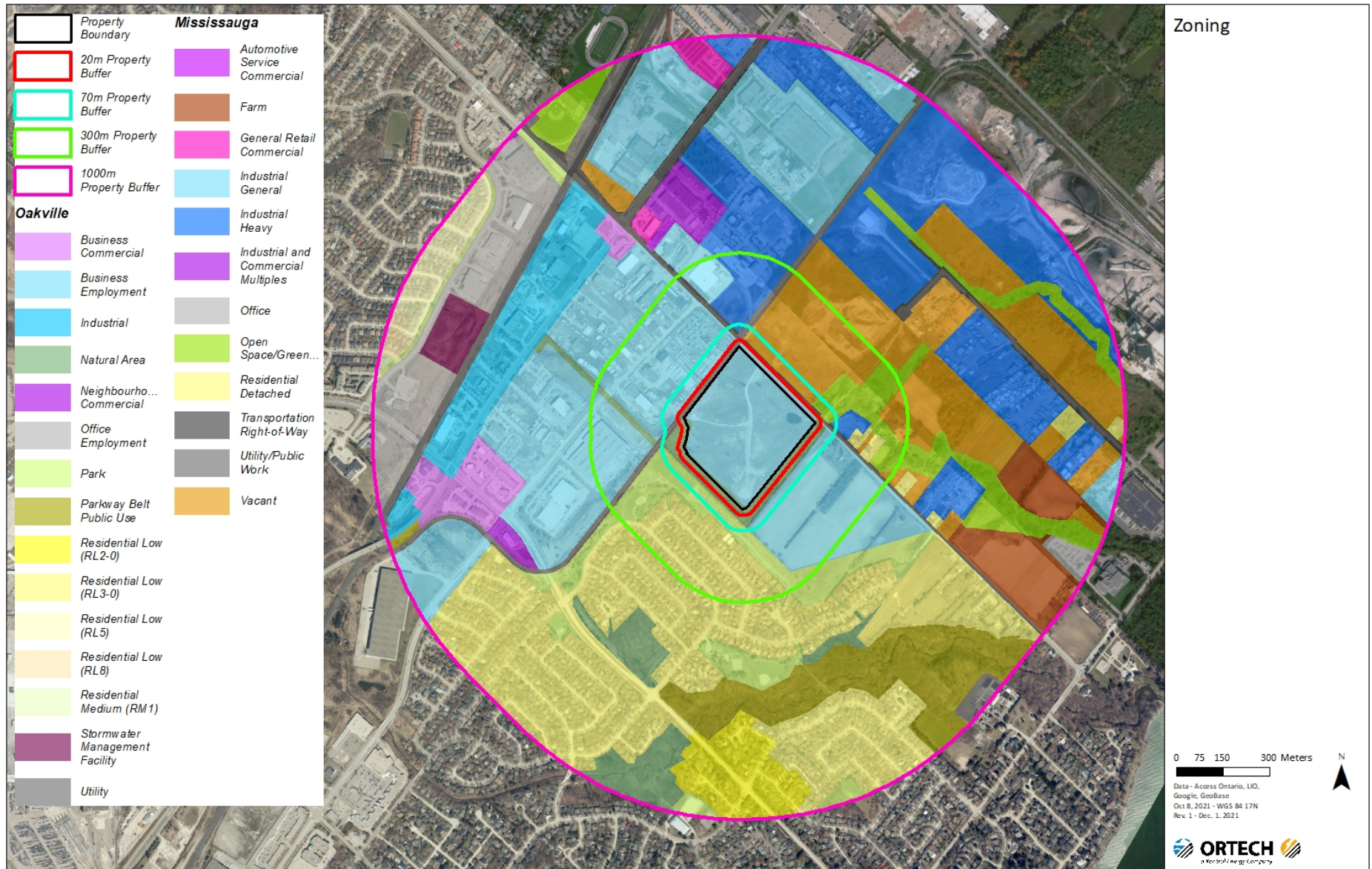
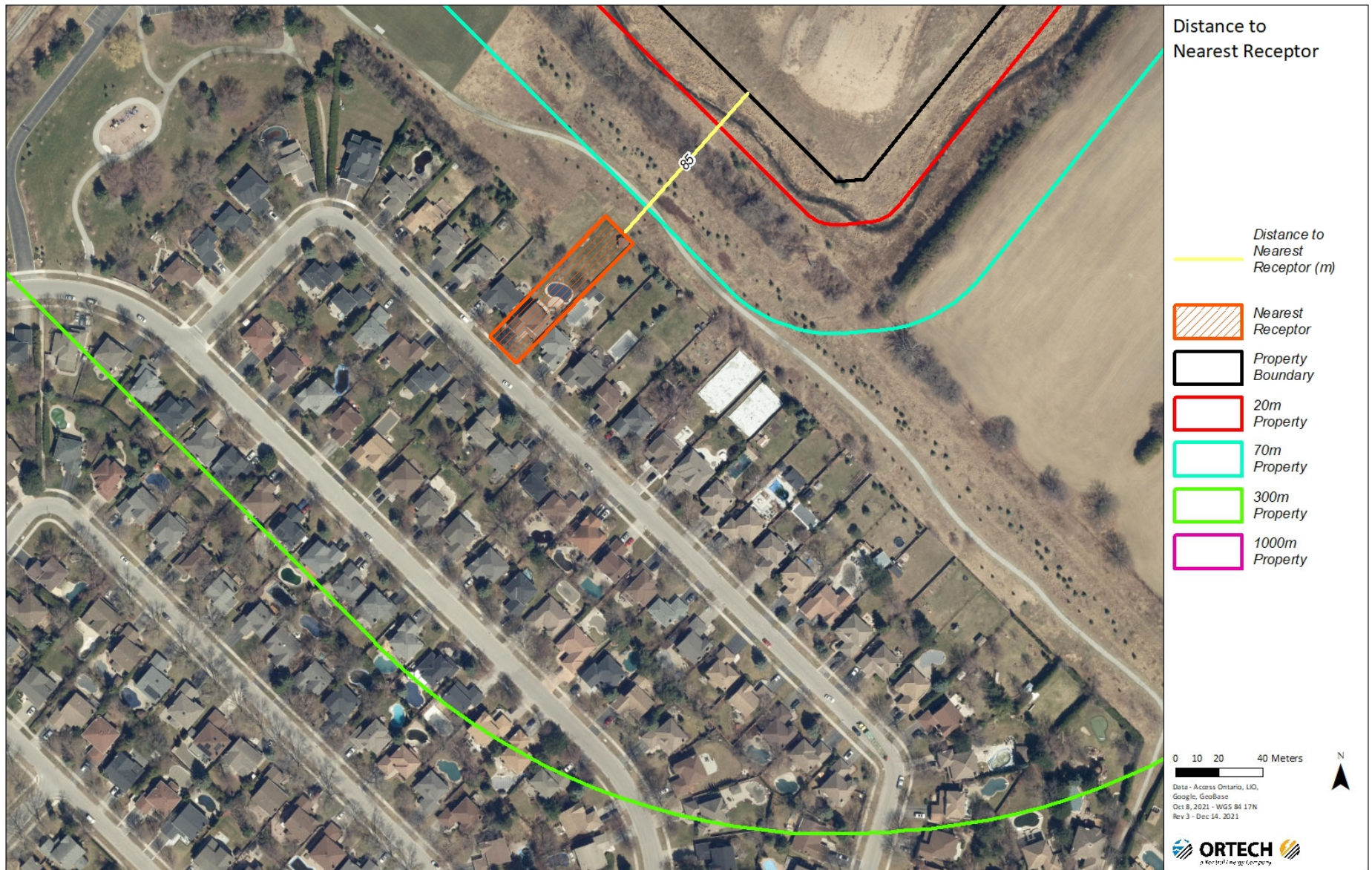


Figure 2: Location of Closest Sensitive Receptor within the Study Area



4. D-6 CLASSIFICATION OF THE FACILITY

As mentioned earlier, the Facility operations will be supported by fuel burning equipment such as natural gas fired standby generators, and natural gas heaters for comfort heating. Specifications for this equipment has not been finalized at this time, however the preliminary design specifications are that the buildings would be served by 12 Direct Fired Industrial Air Handling units rated at 1,850,000 BTU per hour and 10 Rooftop HVAC Units rated at 360,000 BTU per hour.

4.1 Natural Gas Burning Equipment

In accordance O. Reg. 524/98, environmental permitting (ECA or EASR) is not required for an HVAC system that meets the following criteria:

1. Each combustion unit uses only natural gas, propane or both natural gas and propane as fuel.
2. The thermal input rating of each combustion unit is not greater than 10.5 million kilojoules per hour.

Each combustion unit listed in Table 2 (except standby generator) is natural gas fired and has a thermal input rating less than 10.5 million kilojoules per hour, meeting both exemption criteria mentioned above.

For assessment of site-wide impacts of natural gas comfort heating equipment, the MECP Guidance A-10 Procedure for Preparing an Emissions Summary and Dispersion Modelling Report (Guideline A-10) notes that HVAC equipment may emit contaminants in negligible quantities when the total facility-wide heat input usage for this equipment is less than 20 million kJ/hour.

4.2 Standby Generators

Standby generator is exempted from environmental permitting if following criteria are met, according to O. Reg. 524/98.

1. Each exhaust stack discharging a product of combustion must be oriented vertically.
2. The standby power system uses only biodiesel, diesel, natural gas, or propane as fuel.
3. Diesel or biodiesel standby generators must meet, at a minimum, the Tier 1 Emission Standards set out in Table 1 of 40 CFR 89.112.
4. Propane or natural gas standby generators must discharge a maximum of 9.2 grams of nitrogen oxides per kilowatt hour.

Any standby generators installed at the Facility would need to meet environmental permitting requirements. Hence, environmental permitting is not required for the standby generator. However, following operating conditions must be met as per O. Reg. 524/98.

As per O. Reg. 524/98:

The owner or operator of a standby power system eligible for exemption under O. Reg. 524/98 must ensure that the following conditions are met at all times:

- The system is used and operated only for the provision of electrical power during power outages or involuntary power reductions or for testing or performing maintenance on the system
- Each electricity generation engine that is part of the system is used and operated for the purpose of testing or performing maintenance for a maximum of 60 hours in any 12-month period.
- A record is created with respect to the date, time and duration of each occasion when an electricity generation engine that is part of the system is operated for the purpose of testing or performing maintenance. The record must be retained for at least five years after the day it is created.
- If the Ministry issues a smog advisory that identifies an area in which the system is located, the system is not used or operated for the purpose of testing or performing maintenance until a termination notice with respect to the advisory has been issued for that area.
- Each exhaust stack that may discharge a product of combustion is free of impediments that would prevent the flow of emissions.
- Testing and maintenance of the system is conducted in a manner that satisfies the recommendations of the manufacturer of the system and generally accepted standards.
- If a generation unit that is part of the system is located outdoors, the sound pressure level resulting from the discharge of sound from the unit and related exhaust stacks must not be greater than 75 decibels (A-weighted) at a distance of seven metres from the unit.

4.3 Fugitive Emissions

The Facility building and its operations are enclosed. There are no food processing operations proposed at the Facility and no perishable goods are expected to be received at the Facility. The 53' trucks will back into bay doors for unloading of products and materials.

Further, the pathways for vehicle movement on Site are paved, so the potential of fugitive dust emissions from the facility is considered minor including any dust resuspended from paved surfaces into air due to onsite traffic.

Based on definitions provided in Appendix A and the analysis presented in previous sections of this report, the proposed Facility generally meets the criteria for a Class 1 facility with the exception of truck movements under the operation/intensity category where the facility meets the criteria for a Class 2 facility. As a conservative approach, the Facility has been assessed as a Class 2 facility. The minimum separation distance for Class 2 facilities is 70 metres which is less than the distance between the Facility and the nearest receptor. The potential area of influence for Class 2 facilities extends to 300 metres. Several residences are within the potential area of influence. See Section 5 for an assessment of the potential influence of the site on these residences.

5. ASSESSMENT OF IMPACTS

For most categories of air impacts under the D-6 land use guidelines, the Facility qualifies as a Class 1 facility. As the nearest sensitive receptor lies outside of the potential area of impact for Class 1 facilities, these impacts are considered negligible. The Facility is considered Class 2 due to the frequency of truck movements on site, thus only air impacts from truck movements will be assessed in the potential area of impact.

Emissions resulting from operations at the site are modelled using the current MECP regulatory version of AERMOD (v 19191) to determine the concentrations impinging on areas within the potential area of influence.

These concentrations are considered in conjunction with background levels as represented by measurements taken from the Oakville station (44017) in the MECP Air Quality Health Index (AQHI) network. Background levels are taken as the 90th percentile station readings. The Oakville station is located at Eight Line and Glenashton Drive, roughly 4.5 km from the site. Adding the facility emissions to the 90th percentile background levels provides an assessment of the cumulative impact of the facility in addition to other sources of contaminants.

Concentrations of contaminants at these locations are compared to the Canadian Ambient Air Quality Standards (CAAQS) for 2025 and to Ontario Regulation 419/05 – Local Air Quality (O.Reg. 419) standards and guidelines. Note that some contaminants standards have multiple standards with different averaging periods. Averaging periods can affect both the emission rates and dispersion modelling.

5.1 Truck Operations

Vehicle movements at the site are not expected to exceed 116 vehicles in the peak hour, of which 30% will be heavy duty trucks and 70% light duty passenger vehicles. Trucks are modelled as coming in to the Facility from Winston Churchill Blvd. and driven to the trucking courtyard where they will maneuver into position for loading/unloading. As vehicles are prohibited by the Oakville Anti-Idling by-law (Oakville By-Law 2002-153 as amended in 2019) to idle for more than 3 minutes continuously, idling emissions were not considered. For assessments with an hourly averaging period, the peak hour traffic levels are considered. For assessments with 24 hour averaging periods, the peak hourly traffic was assumed to represent 10% of the daily average traffic.

Emissions from truck movements were determined using emission factors from the US Environmental Protection Agency (US EPA) Motor Vehicle Emissions Simulator (MOVES3). On site truck movements were assumed to be low speed with an evenly distributed range of scalable traction power levels up to 12. The primary contaminants of concern in these emissions are NO_x and suspended particulate matter, including fine particulate smaller than 2.5 microns (PM_{2.5}) when combined with road dust potential.

While emissions from motor vehicles such as trucks are permitted under Ministry of Transportation regulations, NO_x emissions from motor vehicles was also considered in the modelling. Vehicle emissions were modelled based on peak hour traffic of 116 vehicles with a breakdown of 30% heavy duty transport trucks and 70% passenger vehicles. Note that this model assumes vehicle acceleration, cruising, and maneuvering in the trucking courtyard at low speeds. Idling for longer than 3 minutes is prohibited in the Town of Oakville, however an exception to this idling prohibition exists for when temperature conditions are such that a truck may need to run its heater or air conditioning. It is anticipated that any long stays at the Facility, such as a truck staying overnight, would not idle their engines and instead find alternate sources of power for heat and air conditioning.

For this update to the Land Use Compatibility assessment, a more refined modelling of the truck emissions was undertaken to account for final anticipated truck volumes and to include some idling emissions. The idling scenario is set to match the scenario used in the noise assessment for the Site. In this scenario, all vehicles were modelled with each one idling for the maximum allowed 3-minute period. These idling emissions represent approximately 6% to the total vehicle NO_x emissions and thus idling emissions are not expected to result in any significant changes to the contaminant concentrations.

In addition to particulate matter from truck exhausts, particulate associated with road dust will also be suspended in the air. With respect to NO_x emissions, these are also expected from the combustion of natural gas used for HVAC, the HVAC NO_x emissions will be added to the NO_x emissions from trucking operations.

5.2 PM_{2.5}

PM_{2.5} emissions associated with on-site truck movements are a result of diesel engine exhaust and road dust. Engine emissions are calculated from MOVES3 emission factors and road dust emissions are determined using US EPA document Compilation of Air Emissions Factors (AP-42) emission factors. The roadways are paved and the Facility has an on site speed limit of 10 km/hr, as a result the estimate for road dust is extremely conservative as the AP-42 emission factors apply to vehicles travelling at speeds of 16 km/hr to 88 km/hr where the wake effect from the moving vehicle contributes to airborne particulate from the road surface.

The maximum predicted concentration of PM_{2.5} at any sensitive receptor resulting from operations at the facility on top of background levels is shown in Table 2, the total concentration of NO_x is below the CAAQS and thus the facility is expected to have a minor effect in the area of potential impact due to PM_{2.5} emissions.

Table 2: Impacts from PM_{2.5} Emissions

CAAQS (all values in µg/m ³)				
Averaging Period	Facility	Background	Total	Limit
24 hours	1.3	15.0	16.3	27.0
Annual	0.5	7.3	7.8	8.8

Note that while there is no O. Reg. 419 limit specifically for PM_{2.5}, these emissions are considered in the assessment of total suspended particulate (see subsection 5.4).

5.3 NO_x

NO_x emissions from natural gas fired HVAC units are also considered. While Guideline A-10 does identify facilities with site-wide total emissions under 20 million kJ per hour as ones which “may emit contaminants in negligible quantities”, these emissions were added to the modelled NO_x emissions from truck movements to determine point of impingement concentrations in the potential influence area. For this assessment, the current version of AERMOD (v 19191) was used. Emission rates of NO_x were calculated using the US EPA document Compilation of Air Emissions Factors (AP-42). These results were compared to the CAAQS and O.Reg. 419 standards for allowable point of impingement concentrations of NO_x.

The maximum predicted concentration of nitrogen oxides at any sensitive receptor resulting from operations at the facility on top of background levels is shown in Table 3, the total concentration of NO_x is below the CAAQS and O. Reg. 419 standards and thus the facility is expected to have minor effect in the area of potential impact due to NO_x emissions.

Table 3: Impacts from NO_x emissions

CAAQS (all values in ppb)				
Averaging Period	Facility	Background	Total	Limit
24 hours	7.7	21.0	28.7	42.0
Annual	1.8	8.8	10.6	12.0

O. Reg. 419/05 (all values in µg/m ³)				
Averaging Period	Facility	Background	Total	Limit
1 hour	35.8	105.0	140.8	400.0
24 hour	14.4	43.1	47.5	200.0

5.4 Total Suspended Particulate Matter

As with fine PM_{2.5}, emissions are determined using MOVES3 and AP-42 emission factors. No other significant sources of particulate matter are expected from operations at the site. The O. Reg. 419 standard for total suspended particulate is 120 µg/m³ based on a 24-hour averaging period. The impact from operations at the Facility is 11.5 µg/m³. As there is no ambient air quality standard for total suspended particulate, AQHI stations do not collect this data. Background levels of PM_{2.5} are used to represent background suspended particulate, giving a combined impact of 26.5 µg/m³, which is below the O. Reg. 419 standard. Thus, the Facility is expected to have minor impact on the potential area of influence due to total suspended particulate emissions.

6. CONCLUSIONS

The proposed warehousing and logistics development, at 772 Winston Churchill Boulevard meets the minimum separation distance in the MECP D-6 Guidelines. It has a minor potential of air quality (combustion products, odour and dust) impact on surrounding sensitive land uses within the potential area of impact. Hence, this proposed development can be supported, based on MECP's D-6 guidelines and Ontario's environmental (air) permitting criteria.

7. LIMITATIONS

The assessment and conclusion in this report are based on the information sources such as MECP's guides and guidelines, Client information, business website, satellite images and the information collected from site visit. The community businesses, land use and zoning designations, and Facility information are accurate at the time of preparation of the report. The status of these Facility business may change at a later date which may impact the conclusion of this report. This report is prepared for exclusive use of 772 Winston Churchill Limited Partnership, their representatives and stakeholders of the proposed development. The assessment presented in this report is not applicable to other sites. Any changes to the development site plans and the neighboring land uses may require revision of this assessment.

APPENDIX A

Definitions of Classes from Guideline D-6 (1 page)

Definitions of Classes from Guideline D-6

A Class 1 Industrial Facility is “A place of business for a small scale, self-contained plant or building which produces/stores a product which is contained in a package and has low probability of fugitive emissions. Outputs are infrequent, and could be point source or fugitive emissions for any of the following: noise, odour, dust and/or vibration. There are daytime operations only, with infrequent movement of products and/or heavy trucks and no outside storage”.

A Class 2 Industrial Facility is “A place of business for medium scale processing and manufacturing with outdoor storage of wastes or materials and/or there are periodic outputs of minor annoyance. There are occasional outputs of either point source or fugitive emissions for any of the following: noise, odour, dust and/or vibration, and low probability of fugitive emissions. Shift operations are permitted and there is frequent movement of products and/or heavy trucks during daytime hours”.

A Class 3 Industrial Facility is “A place of business for large scale manufacturing or processing, business characterized by: large physical size, outside storage of raw and finished products, large production volumes and continuous movement of products and employees during daily shift operations. It has frequent outputs of major annoyance and there is a high probability of fugitive emissions”.

APPENDIX B

**Site Layouts
(9 pages)**

Firm Name: Baldassarra Architects Inc.
 Certificate of Practice Number: 5810
 30 Great Gulf Drive, Unit 20
 Concord, ON L4K 0K7
 Tel: (905) 660-0722
 Fax: (905) 660-7019

Name of Project: 772 Winston Churchill Blvd., Building A
 Location: 772 Winston Churchill Blvd., Oakville, ON

Ontario's 2012 Building Code Data Matrix Part 3

PROJECT DESCRIPTION	NEW	Part 3
MAJOR OCCUPANCY	GROUP - E-2	3.1.2.1 (1)
BUILDING AREA (m ²)	EXISTING: 32,490.92 / NEW: 32,490.92 / TOTAL: 32,490.92	1.4.1.2 (a)
GROSS AREA (m ²)	EXISTING: 32,490.92 / NEW: 32,490.92 / TOTAL: 32,490.92	1.4.1.2 (a)
NO. OF STOREYS	ABOVE GRADE: 1 / BELOW GRADE: N/A	3.2.1.1 & 1.4.1.2 (a)
HEIGHT OF BUILDING (m)	14.91	3.2.2.10 & 3.2.3
NUMBER OF STREETS / ACCESS ROUTES	3	3.2.2.20-43
BUILDING CLASSIFICATION	3.2.2.20	3.2.2.20-43
SPRINKLER SYSTEM PROPOSED	ENTIRE BUILDING	3.2.2.20-43
STANDPIPE REQUIRED	YES	3.2.9
FIRE ALARM REQUIRED	YES	3.2.4
WATER SERVICE / SUPPLY IS ADEQUATE	YES	3.2.5.7
HIGH BUILDING	YES	3.2.6
PERMITTED CONSTRUCTION	COMBUSTIBLE / NON-COMBUSTIBLE	3.2.2.20-43
ACTUAL CONSTRUCTION	COMBUSTIBLE / NON-COMBUSTIBLE	3.2.2.20-43
MEZZANINE AREA (m ²)	N/A	3.2.1.1 (1)(b)
OCCUPANT LOAD BASED ON 1ST FLOOR	NO / PERSON	3.1.7
OCCUPANCY	E-2 / LOAD	3.1.7
BARRIER FREE DESIGN	YES / NO (EXPLAIN)	3.8
HAZARDOUS SUBSTANCES	YES / NO	3.3.1.2 & 3.3.1.9
REQUIRED FIRE RESISTANCE RATING (FRR)	FLOORS: 1 HOURS / ROOF: N/A HOURS / MEZZANINE: N/A HOURS	3.2.2.20-43 & 3.2.1.4
SPATIAL SEPARATION - CONSTRUCTION OF EXTERIOR WALLS	CONC 1 / NON-COMB. CLADDING REQUIRED	3.2.3
WALL AREA OF OPENINGS	PERMITTED / PROPOSED (FRR) / LISTED DESIGN NO. OR DESCRIPTION (SR-2)	3.2.3
NORTH	1:20.00	NA
SOUTH	1:20.00	NA
EAST	1:20.00	NA
WEST	1:20.00	NA

SPATIAL SEPARATION - CONSTRUCTION OF EXTERIOR WALLS	CONC 1 / NON-COMB. CLADDING REQUIRED	3.2.3
WALL AREA OF OPENINGS	PERMITTED / PROPOSED (FRR) / LISTED DESIGN NO. OR DESCRIPTION (SR-2)	3.2.3
NORTH	1:20.00	NA
SOUTH	1:20.00	NA
EAST	1:20.00	NA
WEST	1:20.00	NA

Firm Name: Baldassarra Architects Inc.
 Certificate of Practice Number: 5810
 30 Great Gulf Drive, Unit 20
 Concord, ON L4K 0K7
 Tel: (905) 660-0722
 Fax: (905) 660-7019

Name of Project: 772 Winston Churchill Blvd., Building B
 Location: 772 Winston Churchill Blvd., Oakville, ON

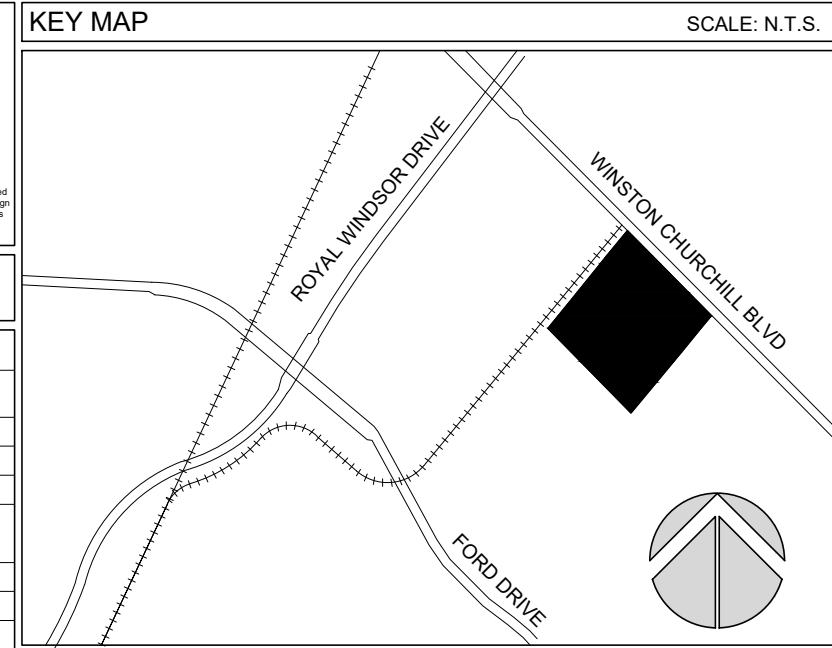
Ontario's 2012 Building Code Data Matrix Part 3

PROJECT DESCRIPTION	NEW	Part 3
MAJOR OCCUPANCY	GROUP - E-2	3.1.2.1 (1)
BUILDING AREA (m ²)	EXISTING: 28,872.27 / NEW: 28,872.27 / TOTAL: 28,872.27	1.4.1.2 (a)
GROSS AREA (m ²)	EXISTING: 28,872.27 / NEW: 28,872.27 / TOTAL: 28,872.27	1.4.1.2 (a)
NO. OF STOREYS	ABOVE GRADE: 1 / BELOW GRADE: N/A	3.2.1.1 & 1.4.1.2 (a)
HEIGHT OF BUILDING (m)	12.07	3.2.2.10 & 3.2.3
NUMBER OF STREETS / ACCESS ROUTES	3	3.2.2.20-43
BUILDING CLASSIFICATION	3.2.2.20	3.2.2.20-43
SPRINKLER SYSTEM PROPOSED	ENTIRE BUILDING	3.2.2.20-43
STANDPIPE REQUIRED	YES	3.2.9
FIRE ALARM REQUIRED	YES	3.2.4
WATER SERVICE / SUPPLY IS ADEQUATE	YES	3.2.5.7
HIGH BUILDING	YES	3.2.6
PERMITTED CONSTRUCTION	COMBUSTIBLE / NON-COMBUSTIBLE	3.2.2.20-43
ACTUAL CONSTRUCTION	COMBUSTIBLE / NON-COMBUSTIBLE	3.2.2.20-43
MEZZANINE AREA (m ²)	N/A	3.2.1.1 (1)(b)
OCCUPANT LOAD BASED ON 1ST FLOOR	NO / PERSON	3.1.7
OCCUPANCY	E-2 / LOAD	3.1.7
BARRIER FREE DESIGN	YES / NO (EXPLAIN)	3.8
HAZARDOUS SUBSTANCES	YES / NO	3.3.1.2 & 3.3.1.9
REQUIRED FIRE RESISTANCE RATING (FRR)	FLOORS: 1 HOURS / ROOF: N/A HOURS / MEZZANINE: N/A HOURS	3.2.2.20-43 & 3.2.1.4
SPATIAL SEPARATION - CONSTRUCTION OF EXTERIOR WALLS	CONC 1 / NON-COMB. CLADDING REQUIRED	3.2.3
WALL AREA OF OPENINGS	PERMITTED / PROPOSED (FRR) / LISTED DESIGN NO. OR DESCRIPTION (SR-2)	3.2.3
NORTH	1:20.00	NA
SOUTH	1:20.00	NA
EAST	1:20.00	NA
WEST	1:20.00	NA

SPATIAL SEPARATION - CONSTRUCTION OF EXTERIOR WALLS	CONC 1 / NON-COMB. CLADDING REQUIRED	3.2.3
WALL AREA OF OPENINGS	PERMITTED / PROPOSED (FRR) / LISTED DESIGN NO. OR DESCRIPTION (SR-2)	3.2.3
NORTH	1:20.00	NA
SOUTH	1:20.00	NA
EAST	1:20.00	NA
WEST	1:20.00	NA

SYMBOL LEGEND

MAN DOOR	LOADING DOCK DOOR	DRIVE-IN / OVERHEAD DOOR
FH HYDRANT + VALVE	FIRE DEPARTMENT CONNECTION / SIAMASE	CB CATCH BASIN
DCB DOUBLE CATCH BASIN	SANMH SANITARY MAN HOLE	CBMH CATCH BASIN / MAN HOLE
SMH STORM MAN HOLE	HP HYDRO POLE STANDARD / UTILITY POLE	BR BIKE RACK (2-3 BIKES)
HT HYDRO TRANSFORMER	ACCESSIBLE PARKING SPACE	ACCESSIBLE PARKING SPACE SIGNAGE
SNW SNOW STORAGE AREA	REFUSE STORAGE BINS	



LEGAL DESCRIPTION
 BOUNDARY AND TOPOGRAPHIC SURVEY OF PART OF LOT 1 CONCESSION 3 SOUTH OF DUNDAS STREET (GEOGRAPHIC TOWNSHIP OF TRAFALGAR) TOWN OF OAKVILLE REGIONAL MUNICIPALITY OF HALTON

PROJECT NORTH
TRUE NORTH

SITE STATISTICS

SITE AREA	155,945.04 m ² or 38.53 acres
ZONING	E-2 - BUSINESS EMPLOYMENT
LOT FRONTAGE	30.00 m (MIN) 386.83 m
FRONT YARD (EAST)	3.00 m 25.83 m
REAR YARD (WEST)	3.00 m 50.20 m
INTERIOR SIDE YARD (SOUTH)	3.00 m 56.94 m
INTERIOR SIDE YARD (NORTH)	3.00 m 18.20 m

BUILDING A	OFFICE	32,490.92 m ²	or	349,730 sf
WAREHOUSE	31,524.24 m ²	or	339,325 sf	
MECH / ELECTR.	103.62 m ²	or	1,115 sf	
BUILDING B	OFFICE	28,872.27 m ²	or	311,855 sf
WAREHOUSE	724.16 m ²	or	7,795 sf	
MECH / ELECTR.	28,148.11 m ²	or	302,945 sf	
TOTAL BUILDING G.F.A.	61,463.19 m ²	or	661,585 sf	

SITE COVERAGE	61,463.19 m ²	or	39.41 %
LANDSCAPED AREA (MIN 10%)	48,463.63 m ²	or	31.07 %
PAVED AREA	46,018.66 m ²	or	29.52 %

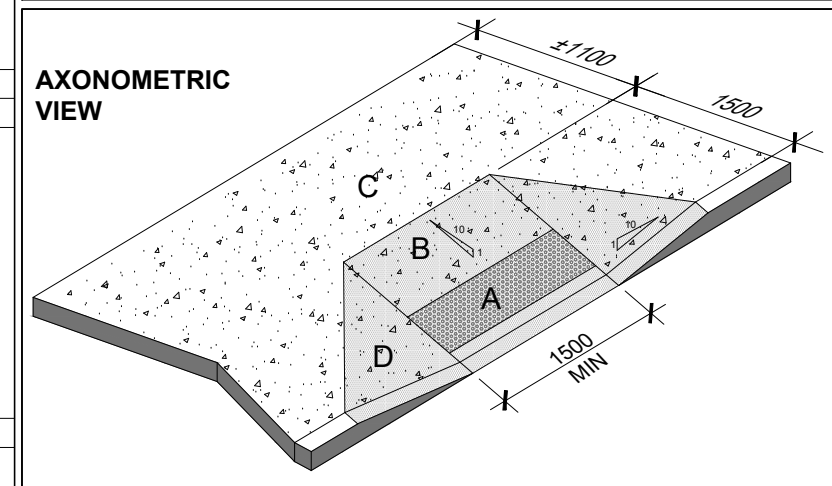
BUILDING HEIGHT (BUILDING A & B)	11.00 m (MAX) (bldg 'B' only)	14.91 m
WAREHOUSING	1.0 space / 200 m ² for additional G.F.A. 53,963.18 m ² @ 1.0 space / 200 m ²	75 spaces
TOTAL PARKING	345 spaces	367 spaces

ACCESSIBLE PARKING	TYPE A & B SPACES	10 spaces	10 spaces
ACCESSIBLE PARKING	TYPE C SPACES	6 spaces	6 spaces
BICYCLE SPACES	2-1/2 spaces / 1,000 m ² G.F.A. (50 spaces max)	18 spaces	18 spaces

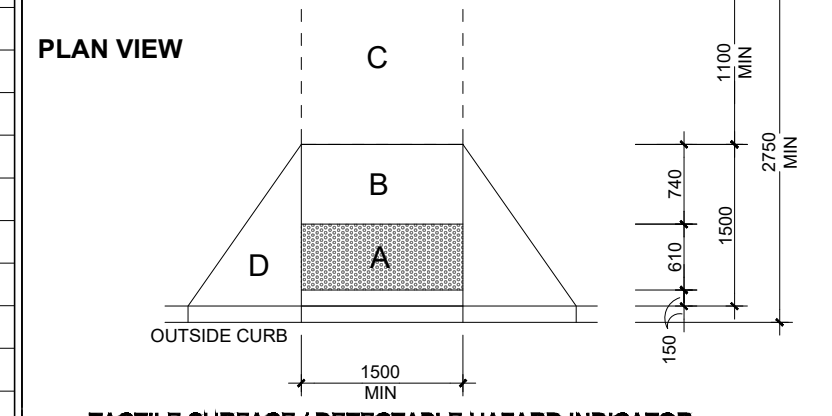
BUILDING 'A'	DOCK LEVEL DOORS	62 spaces
DRIVE IN DOORS	2 spaces	
BUILDING 'B'	DOCK LEVEL DOORS	55 spaces
DRIVE IN DOORS	2 spaces	

SNOW STORAGE	TO BE REMOVED OFF-SITE
--------------	------------------------

CURB RAMP DETAILS



- CURB RAMP MUST HAVE A MINIMUM CLEAR WIDTH OF 1500mm, EXCLUSIVE OF ANY FLARED SIDES.
- THE RUNNING SLOPE OF THE CURB RAMP MUST:
 - BE A MAX OF 1:8, WHERE ELEVATION IS LESS THAN 75mm, AND
 - BE A MAX OF 1:10, WHERE ELEVATION IS LESS THAN 75mm OR GREATER AND 200mm OR LESS.
- THE MAX SLOPE ON THE FLARED SIDE OF THE CURB RAMP MUST BE NO MORE THAN 1:10.
- CURB RAMP MUST HAVE A TACTILE WALKING SURFACE INDICATOR THAT:
 - HAVE RAISED TACTILE PROFILES COMPOSED OF TRUNCATED DOMES.
 - HAVE A HIGH TONAL CONTRAST WITH THE ADJACENT SURFACE.
 - ARE LOCATED AT THE BOTTOM OF THE CURB RAMP.
 - ARE SET BACK BETWEEN 150mm AND 200mm FROM THE CURB EDGE.
 - EXTEND THE FULL WIDTH OF THE CURB RAMP.
 - HAVE A MIN OF 610mm IN DEPTH, AND
 - BE SLIP-RESISTANT.



- A TACTILE SURFACE / DETECTABLE HAZARD INDICATOR**
150mm FROM EDGE OF CURB AND 610mm IN DEPTH
- B SLOPE SURFACE @ 1:10 (max)**
- C LANDING / UNINTERRUPTED SPACE OF NOT LESS THAN 1100mm**
- D FLARED SIDES WITH MAX SLOPE OF 1:10**

THE INFORMATION PROVIDED HERE WAS ASSEMBLED FROM OBC 3.8.3.2, AND THE ONTARIO REGULATION 413/12 (made under the ACCESSIBILITY FOR ONTARIANS WITH DISABILITIES ACT 2005) AND THE ONTARIO REGULATION 624/12 (made under the ACCESSIBILITY FOR ONTARIANS WITH DISABILITIES ACT 2005).

No.	ISSUED	DATE
1	ISSUED FOR COORDINATION	MAR 30 2021
2	ISSUED FOR SPA	APR 9 2021

No.	REVISION	DATE
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OWNERS INFORMATION:

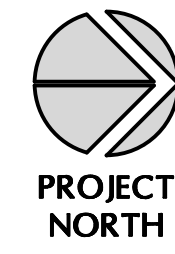
772 Winston Churchill Blvd.

Oakville, Ontario

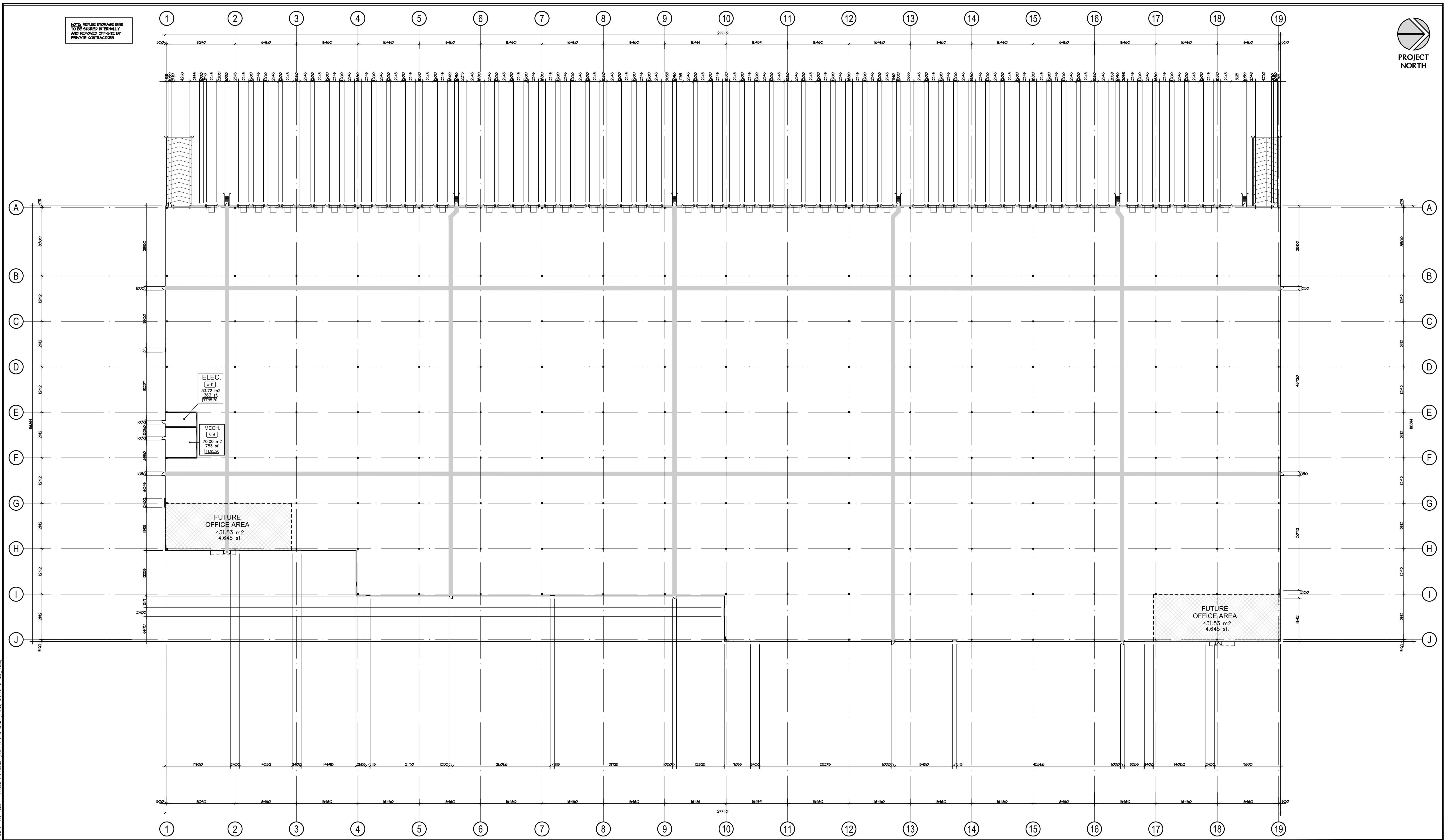
SITE PLAN

DATE:	FEB. 2021	DRAWN BY:	HP	CHECKED:	SCALE:
PROJECT No.:		DRAWING No.:			1:1000

O: 2105 **A-1.0**



NOTE: REUSE STORAGE BINS TO BE STORED INTERNALLY AND REMOVED OFF-SITE BY PRIVATE CONTRACTORS



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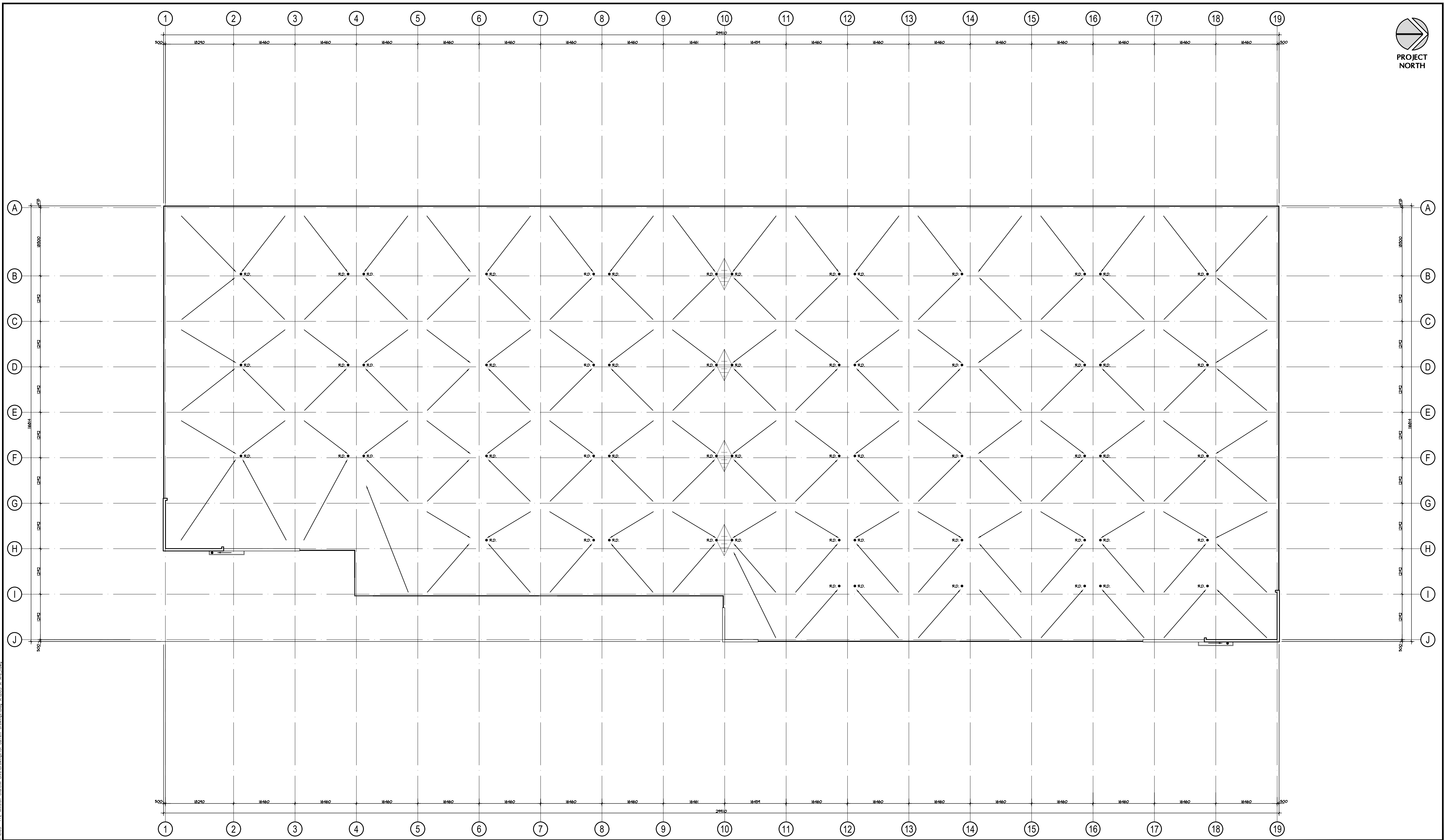
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Oakville, Ontario

FLOOR PLAN
Building A

DATE:	DRAWN BY:	CHECKED:	SCALE:
MAR. 2021	HP		1:450

PROJECT No. 21-05 A DRAWING No. **A-2.0**



No.	ISSUED	DATE
1	ISSUED FOR COORDINATION	MAR. 30 2021
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**ROOF PLAN
Building A**

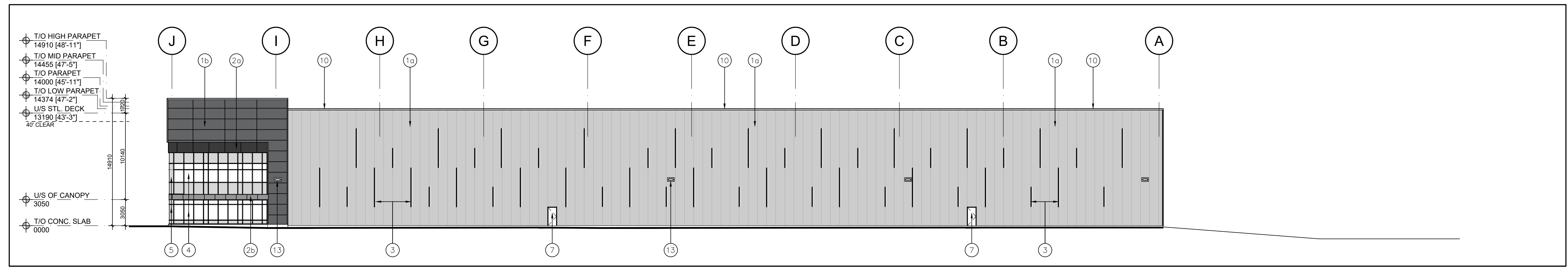
DATE: MAR. 2021	DRAWN BY: HP	CHECKED:	SCALE: 1:450
PROJECT No.	DRAWING No.		

21-05 A **A-2.1**

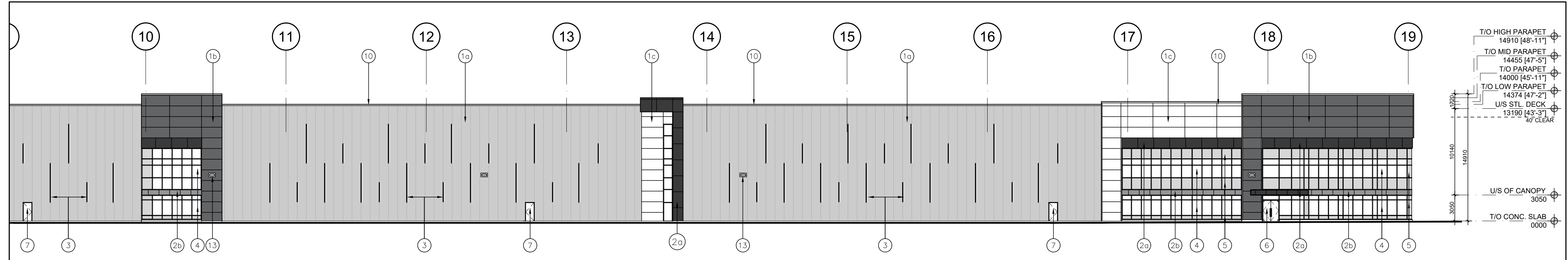
No.	ISSUED	DATE
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LEGEND

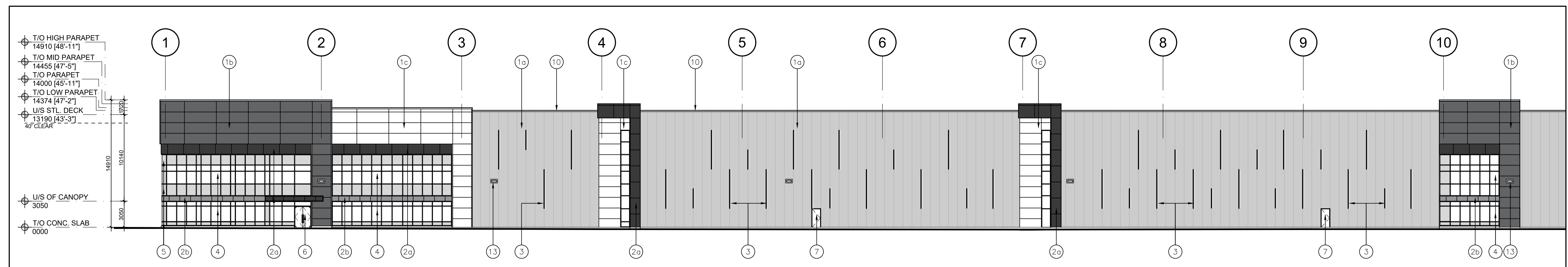
10	INSULATED METAL PANELS BY KINGSPAN KS SERIES WITH SHADOWLINE FINISH OR APPROVED EQUAL. COLOUR TO BE GREY. SAMPLE TO BE SUBMITTED FOR ARCHITECT'S APPROVAL.	5	SPANDREL GLAZING IN PREFINISHED ALUMINUM CURTAIN WALL FRAMES. COLOUR OF SPANDREL: DARY GREY TINT. COLOUR OF CURTAIN WALL CAPS: CHARCOAL ANODIZED ALUMINUM
1b	INSULATED METAL PANELS BY KINGSPAN KS SERIES WITH SHADOWLINE FINISH OR APPROVED EQUAL. COLOUR TO BE DARK GREY. SAMPLE TO BE SUBMITTED FOR ARCHITECT'S APPROVAL.	6	CLEAR TEMPERED THERMAL GLASS AND ALUMINUM DOOR(S). COLOUR OF ALUMINUM TO MATCH CURTAIN WALL CAPS.
1c	INSULATED METAL PANELS BY KINGSPAN KS SERIES WITH SHADOWLINE FINISH OR APPROVED EQUAL. COLOUR TO BE WHITE. SAMPLE TO BE SUBMITTED FOR ARCHITECT'S APPROVAL.	7	MAN DOOR - INSULATED HOLLOW METAL DOOR PAINT COLOUR: TO MATCH ADJACENT METAL PANEL
2a	APOLIC COMPOSITE METAL PANELS COLOUR: CHARCOAL	8	INSULATED HOLLOW METAL OVERHEAD DOOR C/W TEMPERED GLASS VIEW WINDOW. COLOUR TO BE GREY TO MATCH INSULATED METAL PANELS. C/W DOCK SEAL, DOCK LEVELLER AND DOCK BUMPERS.
2b	APOLIC COMPOSITE METAL PANELS COLOUR: LIGHT GREY	9	INSULATED HOLLOW METAL OVERHEAD DOOR C/W TEMPERED GLASS VIEW WINDOW. COLOUR TO BE GREY TO MATCH INSULATED METAL PANELS.
3	PREFINISHED METAL "FIN" (TWO LENGTHS -> 2250 or 4540mm). COLOUR TO BE CHARCOAL GREY TO MATCH METAL PANELS.	10	PREFINISHED METAL CAP FLASHING. COLOUR TO MATCH METAL PANELS BELOW.
4	WINDOW- THERMAL DOUBLE GLAZING (GREY TINT) IN PREFINISHED ALUMINUM CURTAIN WALL FRAMES. COLOUR OF CURTAIN WALL CAPS: CHARCOAL ANODIZED ALUMINUM, C/W BIRD-FRIENDLY VISUAL MARKERS	11	STEEL GRATE EXTERIOR STAIR. PRIMED & MARINE OIL BASE PAINTED GREY.
		12	TINTED THERMAL GLAZING IN ALUMINUM CURTAIN WALL FRAMES. COLOUR OF GLASS AND FRAMES TO FUTURE SELECTION BY THE ARCHITECT. CAPS TO BE 50.8mm WIDE.
		13	LIGHTING - WALL PAC REFER TO ELECTRICAL DWGS.



3 North Elevation
A-3.0 Scale = 1:250



2 Partial East Elevation
A-3.0 Scale = 1:250



1 Partial East Elevation
A-3.0 Scale = 1:250

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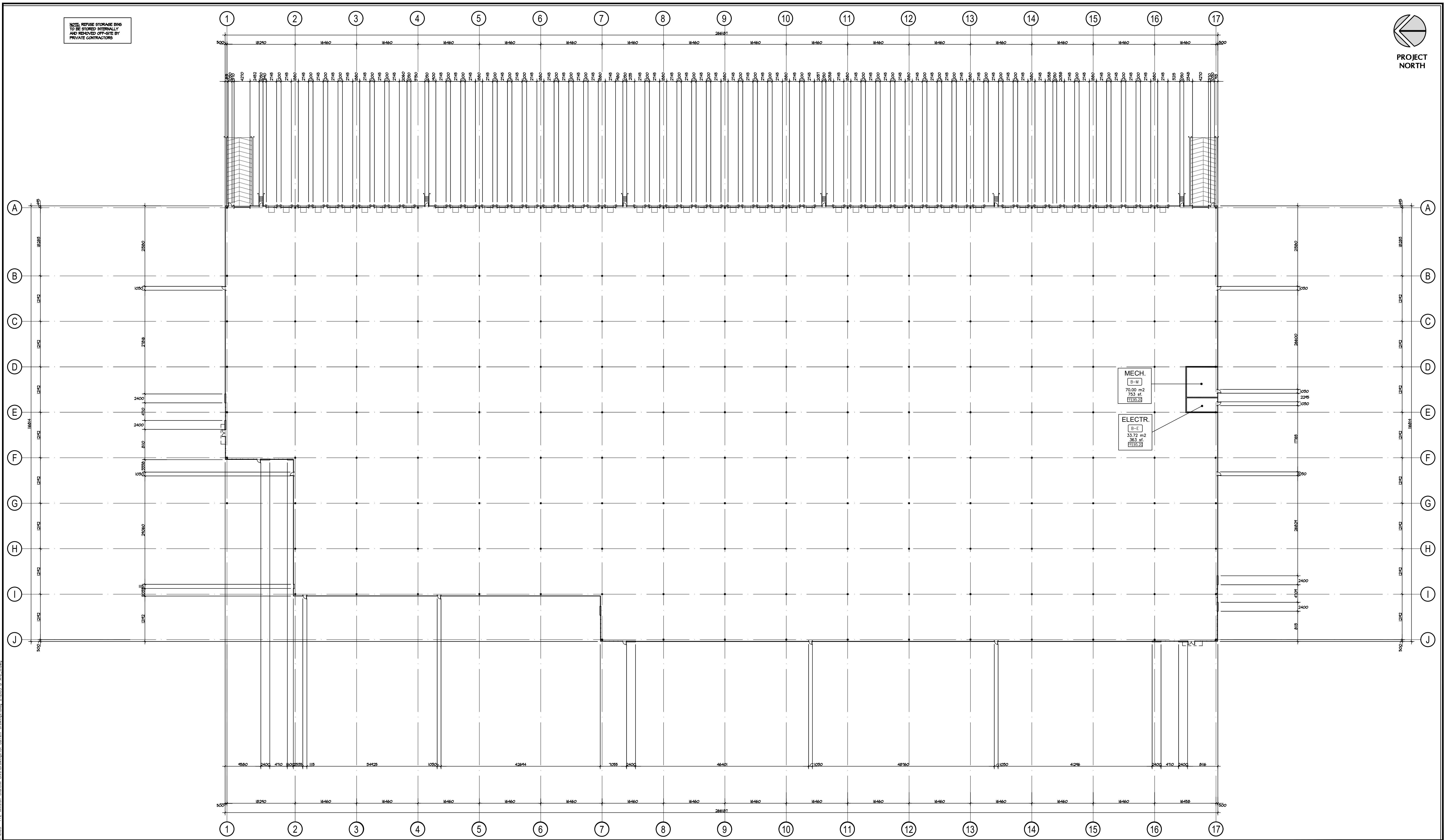
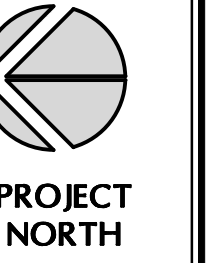
ELEVATIONS
Building A

DATE:	DRAWN BY:	CHECKED:	SCALE:
MAR. 2021	HP		AS NOTED

PROJECT No.	DRAWING No.
21-05 A	A-3.0

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NOTE: REFUSE STORAGE BINS TO BE STORED INTERNALLY AND REMOVED OFF-SITE BY PRIVATE CONTRACTORS



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1	ISSUED FOR COORDINATION	MAR. 30 2021
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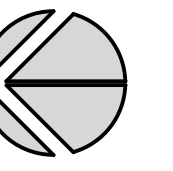


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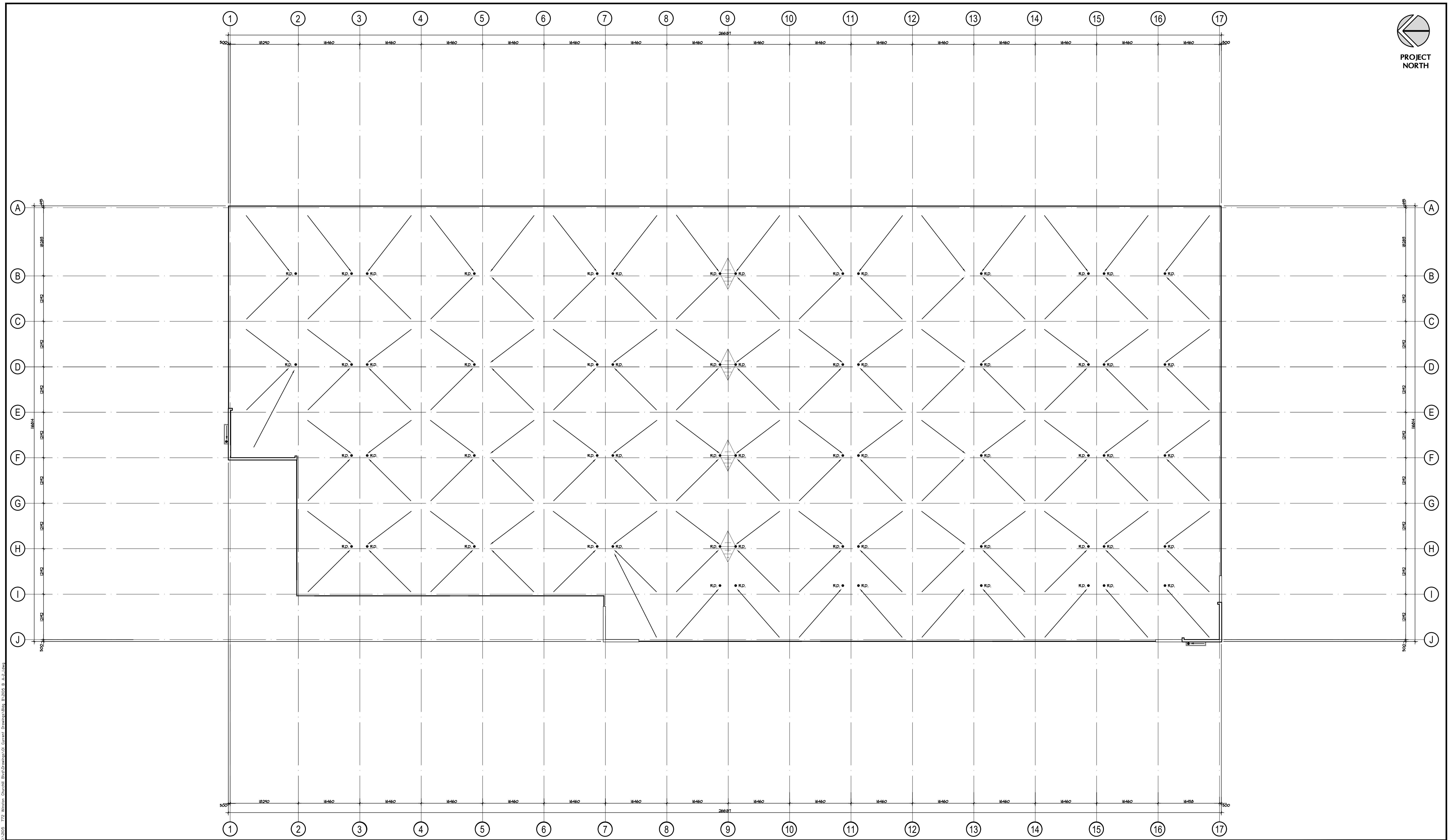
Oakville, Ontario

FLOOR PLAN Building B

DATE: MAR. 2021	DRAWN BY: HP	CHECKED:	SCALE: 1:450
PROJECT No.		DRAWING No.	
21-05 B		A-2.0	



PROJECT NORTH



No.	ISSUED	DATE
1	ISSUED FOR COORDINATION	MAR. 30 2021
2	ISSUED FOR SPA	APR. 9 2021

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ROOF PLAN
Building B

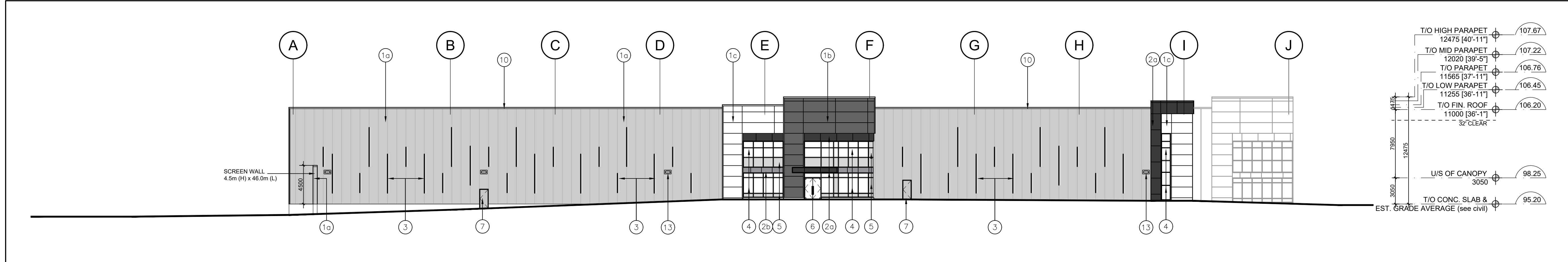
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PROJECT No.	DRAWING No.		

21-05 B **A-2.1**

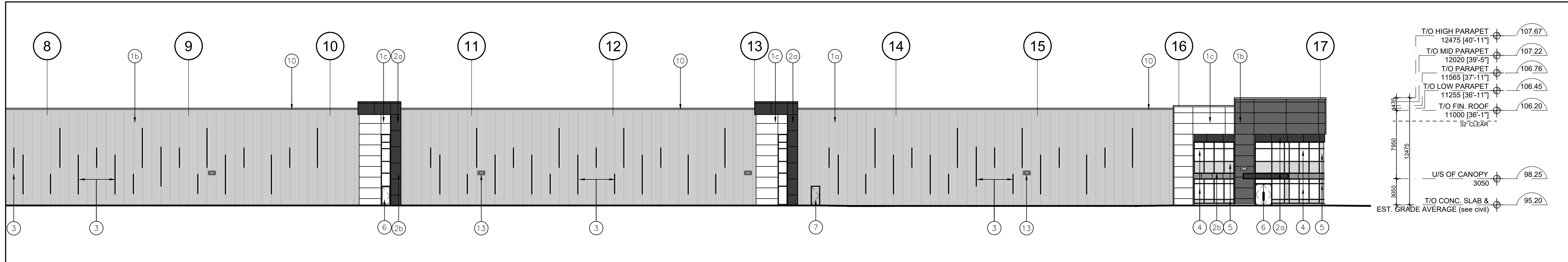
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LEGEND

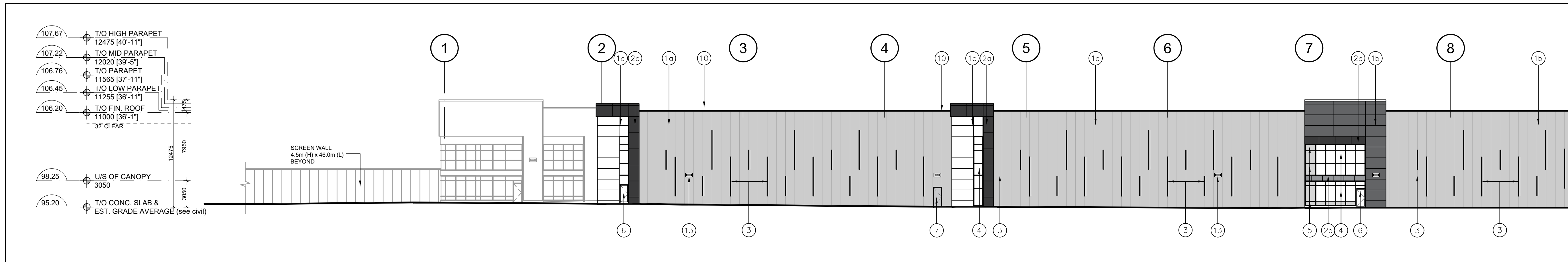
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- 13 LIGHTING - WALL PAC REFER TO ELECTRICAL DWGS.



3 North Elevation
A-3.0 Scale = 1:250



2 Partial West Elevation
A-3.0 Scale = 1:250



1 Partial West Elevation
A-3.0 Scale = 1:250

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**ELEVATIONS
Building B**

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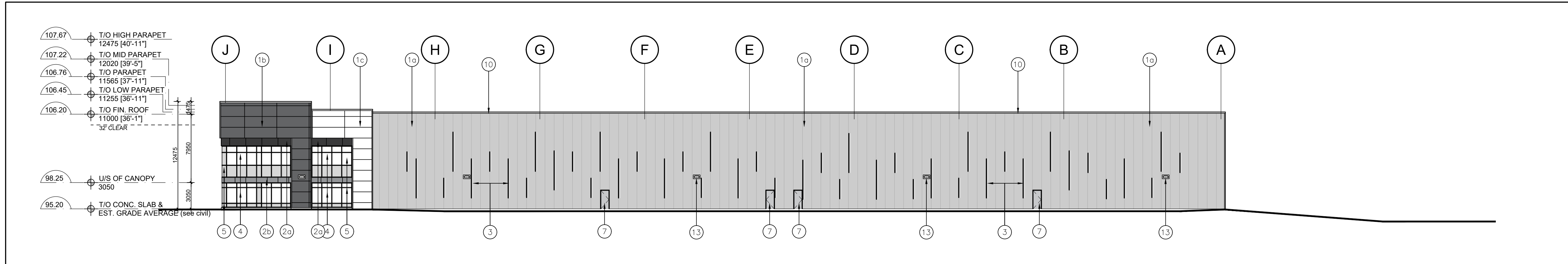
PROJECT No. 21-05 B DRAWING No. **A-3.0**

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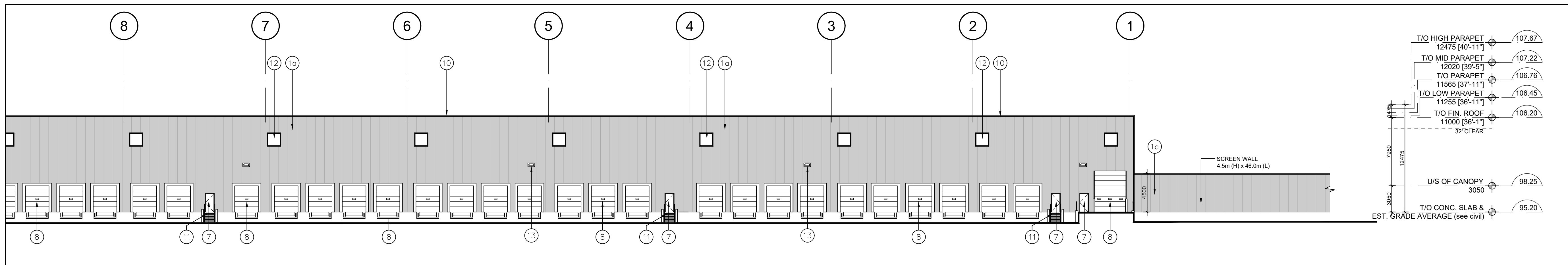
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LEGEND

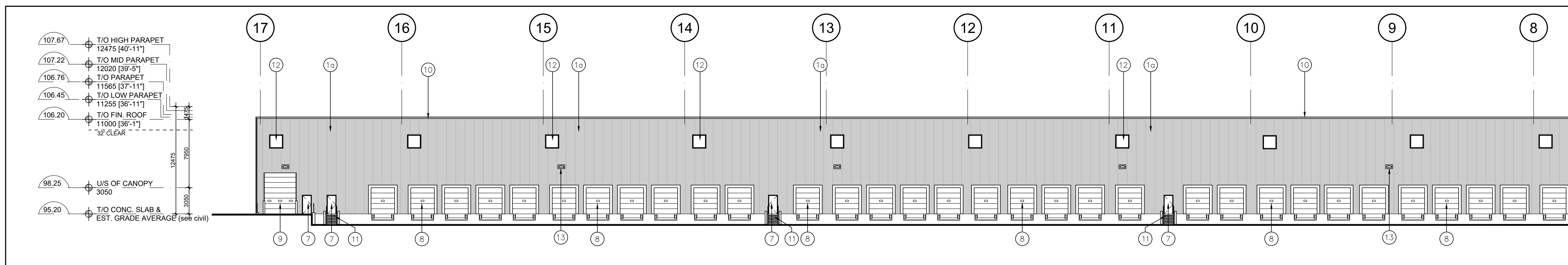
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- 13) LIGHTING - WALL PAC REFER TO ELECTRICAL DWGS.



3 South Elevation
A-3.0 Scale = 1:250



2 Partial East Elevation
A-3.0 Scale = 1:250



1 Partial East Elevation
A-3.0 Scale = 1:250

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ELEVATIONS
Building B

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APPENDIX C

**Town of Oakville Zoning Bylaw 2014-014
Part 10 – Employment Zones
(6 pages)**

Portions of this by-law not yet in effect are covered with a blue tone. This version consolidates all amendments and orders of the OMB up to the consolidation date shown below. Contact the Building Services or Planning Services departments for more information.

Employment Zones

10.1 List of Applicable Zones

Office Employment	E1
Business Employment	E2
Industrial	E3
Business Commercial	E4

Be sure to refer to all Parts of this By-law to ensure that you have reviewed all regulations that may apply to your lot. Contact staff in zoning section of the Building Services department to confirm the applicable zoning.

10.2 Permitted Uses

Uses permitted in the Employment Zones are denoted by the symbol “✓” in the column applicable to that Zone and corresponding with the row for a specific permitted use in Table 10.2, below.

	E1	E2	E3	E4
<i>Adult entertainment establishment</i>		✓ (4)(10)	✓ (4)(10)	
<i>Art gallery (2016-023)</i>	✓ (5)	✓ (6)(7)		✓
<i>Business office</i>	✓	✓	✓ (1)	✓
<i>Bulk storage facility</i>			✓	
<i>Commercial school (PL140317)</i>	✓	✓		✓
<i>Commercial self-storage</i>		✓	✓	✓
<i>Community centre</i>				✓
<i>Conservation use</i>	✓	✓	✓	✓
<i>Contractors establishment</i>	✓	✓	✓	✓
<i>Day care (PL140317)</i>	✓ (5)(17)	✓ (17)		✓ (17)
<i>Drive-through facility</i>	✓ (5)(8)	✓ (6)(7)(8)		✓ (8)
<i>Dry cleaning depot (PL140317)</i>	✓ (5)			✓
<i>Dry cleaning/laundry establishment (PL140317)</i>		✓	✓	
<i>Emergency service facility</i>	✓	✓	✓	✓
<i>Financial institution</i>	✓ (5)	✓ (6)(7)		✓
<i>Food bank</i>	✓	✓		✓
<i>Food production</i>	✓ (2)	✓		✓
<i>Funeral home</i>				✓
<i>Hotel</i>	✓	✓		✓
<i>Manufacturing</i>	✓ (2)	✓	✓	
<i>Medical office</i>	✓	✓		✓
<i>Motor vehicle body shop</i>				✓ (8)(13)
<i>Motor vehicle dealership</i>				✓ (8)(14)
<i>Motor vehicle rental facility</i>				✓ (13)(14)
<i>Motor vehicle repair facility</i>				✓ (13)
<i>Motor vehicle service station</i>				✓ (15)
<i>Motor vehicle storage compound</i>			✓	
<i>Motor vehicle washing facility</i>				✓ (8)(16)

Employment Zones

Table 10.2: Permitted Uses in the Employment Zones (2017-025)				
	E1	E2	E3	E4
<i>Outside display and sales area</i>		✓		✓ (11)
<i>Outside processing</i>			✓	
<i>Outside storage (2021-068)</i>		✓(18)	✓(18)	
<i>Park, public</i>	✓	✓	✓	✓
<i>Parking area, heavy vehicle (2021-068)</i>		✓(18)	✓(18)	
<i>Pet care establishment</i>				✓
<i>Place of entertainment</i>				✓
<i>Place of worship (PL140317)</i>	✓ (5)(12)	✓ (6)(7)(12)		✓ (12)
<i>Public hall</i>	✓	✓		✓
<i>Public works yard</i>		✓	✓	
<i>Rental establishment</i>		✓	✓	✓
<i>Repair shop (2017-025)</i>	✓ (2)	✓	✓	✓
<i>Restaurant</i>	✓ (5)	✓ (6)(7)		✓
<i>Retail propane and transfer facility</i>				✓
<i>Retail store</i>	✓ (5)			✓ (11)
<i>Retail store, accessory and showroom</i>	✓ (3)	✓ (3)	✓ (3)	
<i>School, private (PL140317)</i>	✓	✓ (17)		✓
<i>Service commercial establishment</i>	✓ (5)			✓
<i>Sports facility</i>	✓ (9)	✓ (9)	✓ (2)	✓ (9)
<i>Stormwater management facility</i>	✓	✓	✓	✓
<i>Taxi dispatch</i>	✓	✓	✓	✓
<i>Training facility</i>	✓	✓	✓	✓
<i>Transportation terminal</i>			✓	
<i>Veterinary clinic (PL140317)</i>		✓		✓
<i>Warehousing</i>	✓ (2)	✓	✓	
<i>Waste processing station</i>			✓ (4)	
<i>Waste transfer station</i>			✓ (4)	
<i>Wholesaling</i>		✓	✓	

Additional Regulations for Permitted Uses Table 10.2

1. Permitted only in conjunction with another permitted use and shall not exceed a maximum of 25% of the net floor area on the lot.
2. Permitted only where the use legally existed on the lot on the effective date of this By-law.
3.
 - a) The maximum net floor area for an accessory retail store and showroom shall be the lesser of a maximum net floor area of 15% of the net floor area of the main use or 250.0 square metres (PL140317); and,

Proposals for a new use on a lot where the use did not exist on the effective date of this By-law will require a planning approval. Contact Planning Services for more information.

Employment Zones

- b) The *accessory retail store* and showroom shall be contained within the same *premises* as the associated permitted *use*.
 - c) The area within the *building* used for the *accessory retail store* and showroom shall be separated from the remainder of the facility by a permanent, solid, floor-to-ceiling and wall-to-wall partition, including closed doors.
- 4.
- a) Prohibited on a *lot* within 800.0 metres of a Residential *Zone*, whether the Residential *Zone* is in Oakville or in a neighbouring municipality.
 - b) For a *waste transfer facility*, this footnote only applies when the *use* is dealing with *hazardous waste*. (PL140317)
- 5.
- a) Permitted only within the same *building* or part thereof *used* by any other *use* not subject to this footnote.
 - b) A maximum of 20% of the total *net floor area* of the *building* shall be cumulatively occupied by all *uses* subject to this footnote.
- 6.
- a) A maximum of 30% of the total *net floor area* on the *lot* shall be cumulatively occupied by all *uses* subject to this footnote. (PL140317)
 - b) No *net floor area* may be occupied by *uses* subject to this footnote without prior construction having occurred of an equal amount of *net floor area* for any other *use* permitted that is not subject to this footnote.
- 7.
- a) Notwithstanding footnote 6, a stand-alone *building* that legally existed on the effective date of this By-law containing a *use* legally existing on the effective date of this By-law that is subject to this footnote shall be permitted.
 - b) There shall be no maximum *net floor area* applicable to that *building*.
8. Shall not be permitted on a *lot* abutting any Residential *Zone*.
9. The maximum *net floor area* on any *lot* within 100.0 metres of a Residential *Zone* shall be 1,000.0 square metres.
10. Shall only be located within a freestanding *building* as the exclusive *use* on the *lot*.
11. The maximum *net floor area* on a *lot* for all *uses* subject to this provision shall be 2,500.0 square metres.
- 12.
- a) The maximum *lot area* shall be 2.5 hectares.
 - b) In the Business Commercial (E4) *Zone* only, the maximum percentage of *net floor area* permitted to be occupied by a *place of worship* is 50% of the total *net floor area* on the *lot*. In all other *zones*, *net floor areas* established by other footnotes shall apply. (PL140317)
13. If the *lot* is abutting the *highway corridor*, *uses* subject to this footnote are permitted only in conjunction with a *motor vehicle dealership*.
14. An *outside display and sales area* is additionally permitted as an *accessory use*. Inventory in an *outside display and sales area* in any yard abutting the *highway corridor* is limited to cars, vans, and light trucks designed to be used for the transport of passengers only.

Only the uses covered by Footnote 11 are limited in floor area. Any other use permitted on a lot in the Business Commercial (E4) Zone is not limited in floor area – however, all other standards of the By-law must be met.

Employment Zones

15. Shall comply with the Service Station (C4) *Zone* regulations.
16. Shall comply with the Service Station (C4) *Zone* regulations when *used* in conjunction with a *motor vehicle service station*.
17. Shall not be permitted within 120.0 metres of an Industrial (E3) *Zone*. (PL140317)
18. Permitted only *accessory* to another permitted *use*. (2021-068)

10.3 Regulations

No person shall within any Employment *Zone* use or permit the *use* of any *lot* or erect, alter or *use* any *building* or *structure* except in accordance with the *zone* standards in Table 10.3 below.

	E1	E2	E3	E4
Minimum <i>lot area</i>	0.2 ha	0.2 ha	0.2 ha	6.0 ha
Minimum <i>lot frontage</i>	30.0 m	30.0 m	30.0 m	30.0 m
<i>Minimum front yard</i>	3.0 m	3.0 m	3.0 m	3.0 m
<i>Maximum front yard</i>	17.5 m (1)	n/a	n/a	n/a
<i>Minimum flankage yard</i>	3.0 m	3.0 m	3.0 m	3.0 m
<i>Maximum flankage yard</i>	17.5 m (1)	n/a	n/a	n/a
<i>Minimum interior side yard</i>	3.0 m	3.0 m	3.0 m	3.0 m
<i>Minimum interior side yard</i> abutting a <i>lot</i> in any Residential <i>Zone</i> , Institutional (I) <i>Zone</i> , or Community Use (CU) <i>Zone</i>	15.0 m	15.0 m	15.0 m	15.0 m
<i>Minimum interior side yard</i> abutting any <i>railway corridor</i>	7.5 m	7.5 m	7.5 m	7.5 m
<i>Minimum rear yard</i>	3.0 m	3.0 m	3.0 m	3.0 m
<i>Minimum rear yard</i> abutting a <i>lot</i> in any Residential <i>Zone</i> , Institutional (I) <i>Zone</i> , or Community Use (CU) <i>Zone</i>	15.0 m	15.0 m	15.0 m	15.0 m
<i>Minimum rear yard</i> abutting any <i>railway corridor</i>	7.5 m	7.5 m	7.5 m	7.5 m
Maximum <i>height</i>	18.5 m (2)(3)	n/a (2)(3)	n/a	18.5 m (3)
Minimum <i>landscaping coverage</i>	10%	10%	10%	10%

Additional Regulations for Zone Regulations Table 10.3

1. For a new *building* being constructed or the addition of *floor area* in a *front yard* or *flankage yard* to a *building* legally existing on the effective date of this By-law on a *corner lot* located at the intersection of any two *arterial roads*, *collector roads*, or an *arterial road* and a *collector road*, the *maximum front* or *flankage yards* shall be 10.0 metres for the first 33% of the length of the front and *flankage lot lines* measured from the point of intersection of the *lot lines* or the point of intersection of the projection of the *lot lines* where the two do not intersect. (2017-025)
2. The maximum *height* for any *lot* abutting a *highway corridor* shall be 30.0 metres. (2015-018)

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3.
 - a) The maximum *height* for any portion of a *building* within 23.0 metres of a Residential Low *Zone*, Institutional (I) *Zone*, or Community Use (CU) *Zone* boundary shall be 5.0 metres.
 - b) Rooftop mechanical equipment and *mechanical penthouses* greater than 2.0 metres in height shall not be permitted within the same 23.0 metres setback.

10.4 Gatehouses

A *gatehouse* may be permitted in any required *yard* provided that it does not exceed 3.0 metres in *height* and 5.0 square metres in *floor area*.

10.5 Main Wall Proportions

The following *main wall* proportion requirements apply to new *buildings* constructed after the effective date of this By-law in the Office Employment (E1) *Zone*:

- a) A minimum of 35% of the length of all *main walls* oriented toward the *front lot line* shall be located within the area on the *lot* defined by the *minimum* and *maximum front yards*.
- b) A minimum of 35% of the length of all *main walls* oriented toward the *flankage lot line* shall be located within the area on the *lot* defined by the *minimum* and *maximum flankage yards*.
- c) For clarity, Section 10.5 does not apply to additions to *buildings* legally existing on the effective date of this By-law.

Employment Zones

10.6 Outside Processing, Outside Storage, and Heavy Vehicle Parking Areas

Where *outside processing*, *outside storage*, and a *heavy vehicle parking area* are permitted, the following regulations apply:

Any screening or buffering requirements shall be reviewed and applied through the Site Plan Approval process. Contact Planning Services for more information.

- a) The *uses* are permitted only in an *interior side yard* or *rear yard* and shall be set back 3.5 metres from any *lot line*.
- b) The maximum area coverage on a *lot* shall be:
 - i) 50% of the *lot area* in the Industrial (E3) *Zone* where the *lot* is set back further than 100.0 metres from a *railway corridor*;
 - ii) No maximum in the Industrial (E3) *Zone* where the *lot* is set back less than or equal to 100.0 metres from a *railway corridor*;
 - iii) 25% of the *lot area* in the Business Employment (E2) *Zone*; or,
 - iv) No maximum where *accessory* to an *emergency service facility* or *public works yard*.
- c) The *uses* are not permitted within any *yard* abutting a Residential, Institutional (I), or Community Use (CU) *Zone* boundary.
- d) Notwithstanding subsections (a) and (b) above, the *uses* are permitted in any *yard* on a *lot used* for the *manufacturing* of *motor vehicles* greater than 100.0 hectares in *lot area*.
- e) Storage of damaged, impounded, or inoperable *motor vehicles* is prohibited as part of *outside storage* except in conjunction with a *motor vehicle storage compound* or *salvage yard*.
- f) Notwithstanding subsection (a), *uses* having materials stored that are cumulatively greater than 1.8 metres in *height* shall only be located in a *rear yard* or in between two *buildings* on the same *lot*.
- g) The maximum height of materials stored on any lot in a Business Employment (E2) *Zone* entirely located further than 100.0 metres from the *railway corridor* shall be equal to the *height* of the largest *building* on the *lot*.

APPENDIX C

**Proxy Study Addendum
(1 page)**

August 31, 2023

Andrew Konev
Senior Vice President, Development
772 Winston Nominee Inc.

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**Re: Trip Generation Memo Review with respect to the Land Use Compatibility (LUC) – Air for
700 and 750 Winston Churchill Boulevard
ORTECH Reference #92619-x**

As per your request, ORTECH Consulting Inc. (ORTECH) has reviewed the Trip Generation Memo dated August 3, 2023. This memo, prepared by Crozier Consulting Engineers (Crozier) analyzes the truck volumes used in the Land Use Compatibility (LUC) Assessment – Air for 700 and 750 Winston Churchill Blvd., Oakville, Ontario dated November 24, 2022 (LUC Report), prepared by ORTECH. The LUC Report was prepared in support of the development application at 772 Winston Churchill Boulevard (the Site).

Based on the Crozier memo and their review of the comparable proxy sites (which were selected by the municipality), the truck volumes used in ORTECH's analysis are appropriate and higher than anticipated to actually occur at the Site. Therefore, the air quality impact assessment in is considered conservative. On that basis, no update to the analysis and LUC Report are required.

If you have any questions or require any clarification or additional information, please do not hesitate to contact me at (905) 822-4120, Ext. 310 or by e-mail at klin@ortech.ca.



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