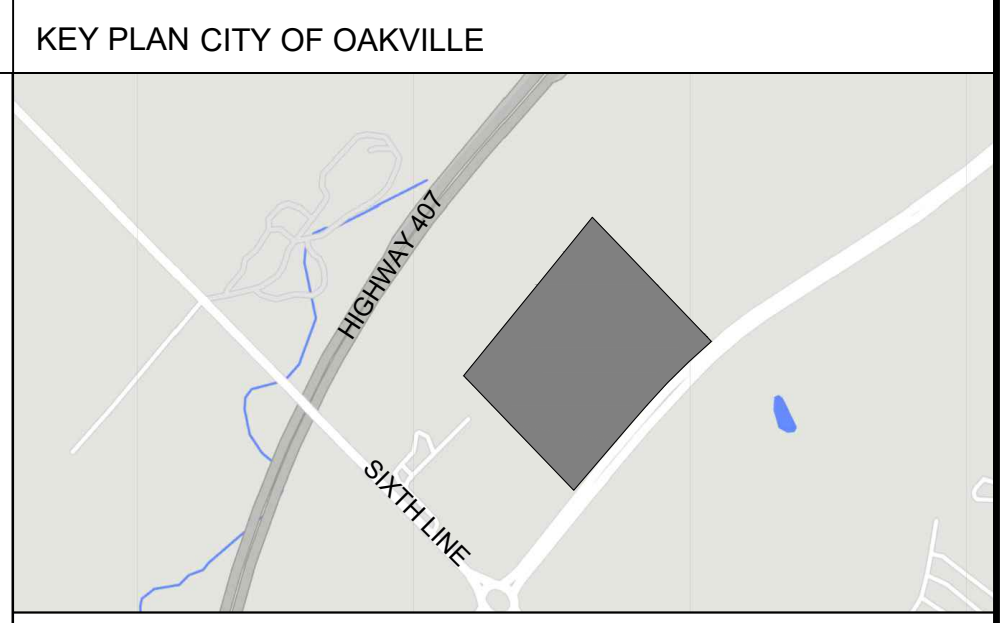
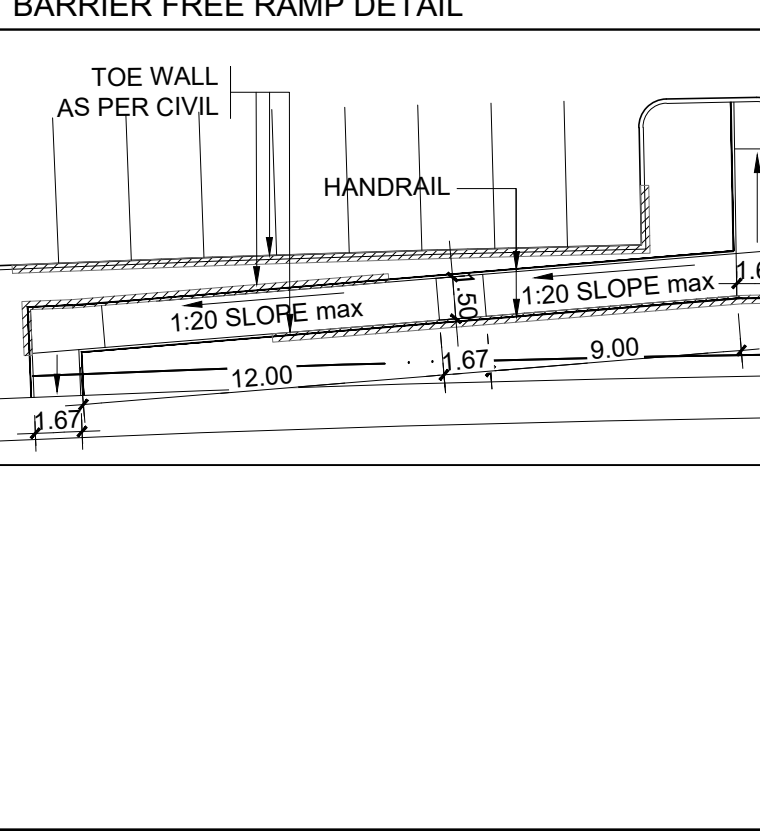


- A** TACTILE SURFACE / DETECTABLE HAZARD INDICATOR 150mm FROM EDGE OF CURB AND 610mm IN DEPTH
- B** SLOPE SURFACE @ 1:10 (MAX)
- C** LANDING / UNINTERRUPTED SPACE OF NOT LESS THAN 1100mm
- D** FLARED SIDES WITH MAX SLOPE OF 1:10

- TREE PROTECTION LEGEND (REFER TO ARBORIST DWGS)**
- EXISTING TREE TO BE PROTECTED BY TPZ.
  - EXISTING TREE TO BE REMOVED AND RELOCATED.
  - TRANSPLANT LOCATION FOR REMOVED TREES.

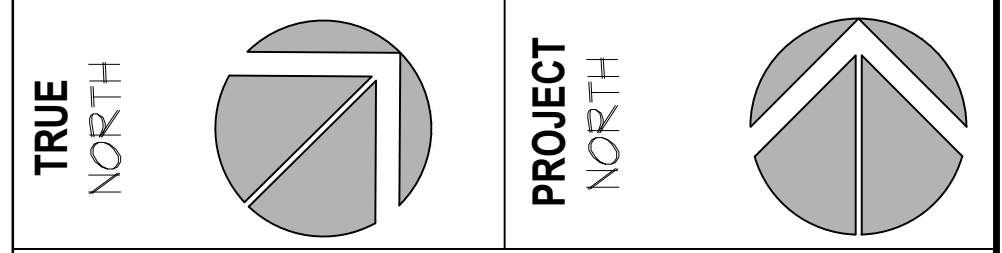
- TRAFFIC SIGNS SCHEDULE**
- | SIGN | COLOURS  |
|------|--|
|      | Ra-1 (600x600) WHITE REFL. LEGEND & BORDER, RED REFL. BACKGROUND.  |
|      | FR (300x450) BLACK LEGEND & BORDER, RED REFL. ANNULAR BAND AND INTERDICTIONARY STROKE, WHITE REFL. BACKGROUND. |
|      | Rb-25 (600x750) BLACK SYMBOL & BORDER, WHITE REFL. BACKGROUND.   |

- TRAFFIC SIGNS LEGEND**
- POST-MOUNTED SIGN
  - POST-MOUNTED SIGN/ BACK TO BACK



**LEGAL DESCRIPTION**

PLAN OF SUBDIVISION OF PART OF LOTS 14 AND 15, CONCR-110N 2, NORTH OF DUNDAS STREET (GEOGRAPHIC TOWNSHIP OF TRAFALGAR) TOWN OF OAKVILLE REGIONAL MUNICIPALITY OF HALTON



**SITE STATISTICS**

ZONING	REQUIRED	PROVIDED
TOTAL SITE AREA	77,682.75 m <sup>2</sup> or 19.20 acres	
FRONT YARD SETBACK	6.00 m	18.51 m
EAST SIDE YARD SETBACK	3.00 m	36.46 m
WEST SIDE YARD SETBACK	3.00 m	38.45 m
REAR YARD SETBACK	7.50 m	13.46 m

**BUILDING G.F.A.**

BUILDING A	16,600.30 m <sup>2</sup> or 178,684 sq.ft.
BUILDING B	17,024.00 m <sup>2</sup> or 183,245 sq.ft.
<b>TOTAL BUILDING G.F.A.</b>	<b>33,624.30 m<sup>2</sup> or 361,929 sq.ft.</b>

**TRAFFIC STORAGE SCHEDULE**

SNOW STORAGE AREA	REQUIRED	PROVIDED
WAREHOUSING LEASABLE AREA		
BLDG A: 16,327.31 m <sup>2</sup>		
BLDG B: 16,864.71 m <sup>2</sup>		
<b>TOTAL LEASABLE AREA &gt; 5000m<sup>2</sup></b>	<b>166 spaces</b>	<b>504 spaces</b>
<b>TOTAL</b>	<b>166 spaces</b>	<b>504 spaces</b>
H/C PARKING SPACES	11 spaces	15 spaces
2% TOTAL PARKING PROVIDED	4 spaces	56 spaces
BIKE RACKS (2 bike spaces)	6 bike racks	21 bike racks
BIKE SPACES (7% of automobile spaces)	12 spaces	42 spaces

- SYMBOL LEGEND**
- MAN DOOR LOCATIONS
  - LOADING DOCK LOCATIONS
  - DRIVE-IN OR OVERHEAD DOORS
  - FIRE HYDRANT & VALVE
  - CATCH BASIN
  - DOUBLE CATCH BASIN
  - SANITARY MANHOLE
  - CATCH BASIN / MANHOLE
  - STORM MANHOLE
  - HYDRO POLE STANDARD / UTILITY POLE
  - BICYCLE RING | 0.6m x 1.8m x 1.9m H.
  - ACCRA-TIBLE PARKING SPACE | A & B TYPES
  - LIGHT STANDARD (TYP)
  - WALL MOUNTED LIGHT
  - CURB RAMP (REF: CURB RAMP DETAIL)
  - LOADING SPACE 9.0 m x 3.5 m x 4.2 m H
  - CONC. FILLED STEEL BOLLARD
  - FIRE DEPARTMENT/SIAMESE CONNECTION
  - BARRIER FREE PARKING SIGN
  - FIRE ROUTE SIGN < 30'-45' to line parallel to traffic flow mounted on a pole or mounted to building face.
  - BUILDING LINE CLEAN OUT
  - REFUSE STORAGE BINS TO BE STORED INTERNALLY AND REMOVED OFF-SITE BY PRIVATE CONTRACTORS

No.	ISSUED	DATE
8	ISSUED FOR PAC	NOV 25 2021
9	ISSUED FOR REVIEW	JAN 5 2022
10	ISSUED FOR SPA	MAR 14 2022
11	SUBMITTED FOR SPA	APR 24 2022
12	ISSUED FOR COORDINATION	NOV 28 2022

No.	REVISION	DATE
13	RE-ISSUED FOR SPA	JAN 18 2023
14	RE-ISSUED FOR MUNICIPAL REVIEW	MAY 5 2023
15	RE-ISSUED FOR SPA	MAY 18 2023
16	RE-ISSUED FOR SPA	JULY 13 2023

No.	REVISION	DATE
3	REVISED AS NOTED	NOV 23 2021
4	REVISED AS NOTED	JAN 04 2022
5	REVISED AS NOTED	JAN 06 2022
6	REVISED AS NOTED	FEB 04 2022
7	REVISED AS NOTED	FEB 09 2022

No.	REVISION	DATE
8	REVISED AS NOTED	FEB 16 2022
9	REVISED AS PER CIVIL	FEB 25 2022
10	REVISED AS NOTED	OCT 26 2022
11	REVISED AS NOTED	NOV 28 2022
12	REVISED LIGHTING POLE LOCATIONS	JAN 10 2023
13	REVISED DRIVEWAY ENTRANCES	JUL 6 2023

**BALDASSARRA**  
Architects Inc.

30 Great Gulf Drive, Unit 20 | Concord ON | L4K 0K7  
T. 905.660.0722 | www.baldassarra.ca

OWNERS INFORMATION:

ONTARIO ASSOCIATION OF ARCHITECTS

BALDASSARRA  
LICENSE  
3654

**North Oakville**  
**Block 6**

45 & 55 WILLIAM HALTON PARKWAY E.  
Oakville, ON

**Site Plan**

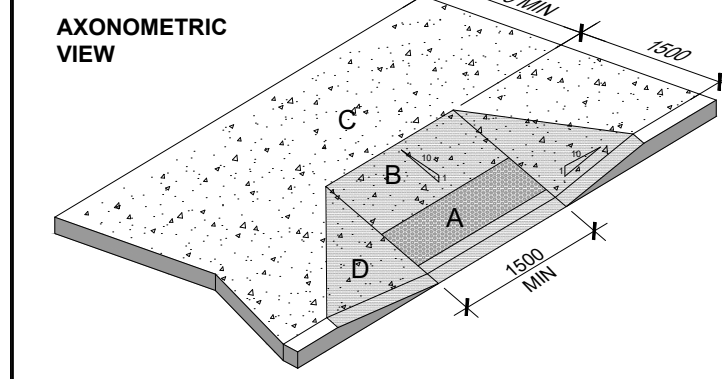
DATE: MAR. 2022 DRAWN BY: MM CHECKED: MB SCALE: 1:600  
PROJECT No. DRAWING No.

21-49 **A-1.0**

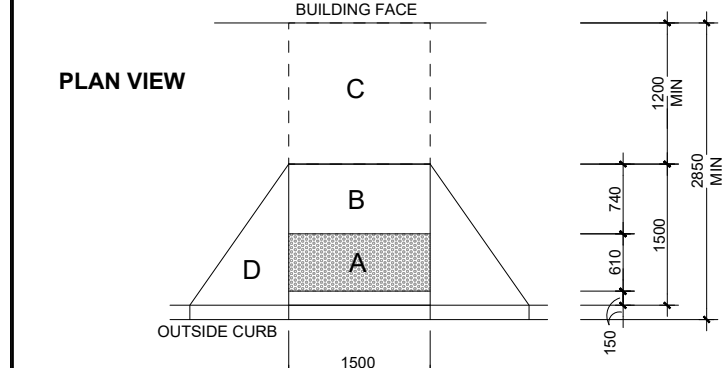




**CURB RAMP DETAIL**



- CURB RAMP MUST HAVE A MINIMUM CLEAR WIDTH OF 1500mm. EXCLUSION OF ANY FLARED SIDES.
- THE RUNNING SLOPE OF THE CURB MUST:
  - BE A MAX OF 1:8, WHERE ELEVATION IS LESS THAN 75mm, AND
  - BE A MAX OF 1:10, WHERE ELEVATION IS LESS THAN 75mm OR GREATER AND 200mm OR LESS.
- THE MAX SLOPE ON THE FLARED SIDE OF THE CURB RAMP MUST BE NO MORE THAN 1:10.
- CURB RAMP MUST HAVE A TACTILE WALKING SURFACE INDICATOR THAT:
  - HAVE RAISED TACTILE PROFILES COMPOSED OF TRUNCATED DOMES.
  - HAVE A HIGH TONAL CONTRAST WITH THE ADJACENT SURFACE.
  - ARE LOCATED AT THE BOTTOM OF THE CURB RAMP.
  - ARE SET BACK BETWEEN 150mm AND 200mm FROM THE CURB EDGE.
  - EXTEND THE FULL WIDTH OF THE CURB RAMP.
  - ARE A MIN OF 610mm IN DEPTH, AND
  - BE SURF-RESISTANT.



- A** TACTILE SURFACE / DETECTABLE HAZARD INDICATOR 150mm FROM EDGE OF CURB AND 610mm IN DEPTH
- B** SLOPE SURFACE @ 1:10 (max)
- C** LANDING / UNINTERRUPTED SPACE OF NOT LESS THAN 1100mm
- D** FLARED SIDES WITH MAX SLOPE OF 1:10

THE INFORMATION PROVIDED HERE WAS ASSEMBLED FROM CBC 3.3.3.2 AND O. REG. 191/11. INTEGRATED ACCESSIBILITY STANDARDS under the ACCESSIBILITY FOR ONTARIANS WITH DISABILITIES ACT, 2005 UPDATED JUL 2018.

**TREE PROTECTION LEGEND (REFER TO ARBORIST DWGS)**

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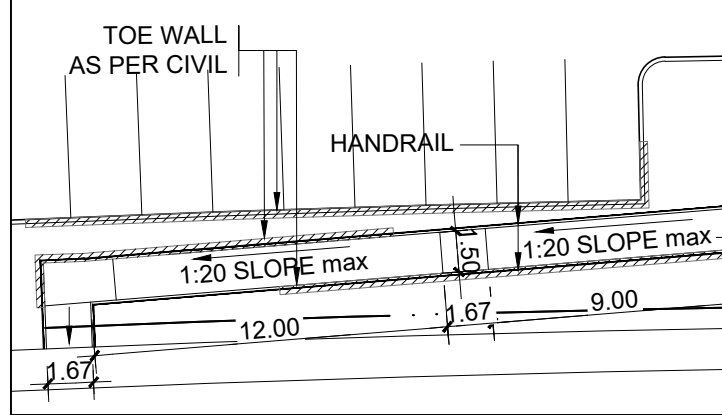
**TRAFFIC SIGNS SCHEDULE**

SIGN	COLOURS
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	FR (300x450) BLACK LEGEND & BORDER. RED REFL. ANNULAR BAND AND INTERDICTIONY STROKE. WHITE REFL. BACKGROUND.
	Rb-25 (600x750) BLACK SYMBOL & BORDER. WHITE REFL. BACKGROUND.

**TRAFFIC SIGNS LEGEND**

- POST-MOUNTED SIGN
- POST-MOUNTED SIGN/BACK TO BACK

**BARRIER FREE RAMP DETAIL**

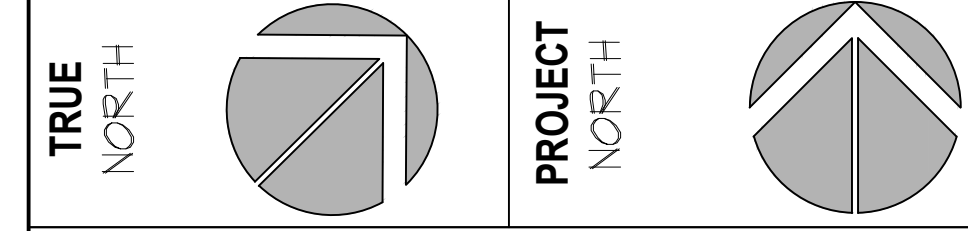


**KEY PLAN CITY OF OAKVILLE**



**LEGAL DESCRIPTION**

PLAN OF SUBDIVISION OF PART OF LOTS 14 AND 15, CONCERNA-1ION 2 NORTH OF DUNDAS STREET (GEOGRAPHIC TOWNSHIP OF TRAFALGAR) TOWN OF OAKVILLE REGIONAL MUNICIPALITY OF HALTON



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TOTAL BUILDING G.F.A.	33,624.30 m <sup>2</sup>	or	361,929 sq.ft.
SITE COVERAGE	33,624.30 m <sup>2</sup>	or	43.28%
LANDSCAPED AREA (MIN 10%)	8,201.66 m <sup>2</sup>	or	10.56%
PAVED AREA	35,856.79 m <sup>2</sup>	or	46.16%
SNOW STORAGE AREA	SNOW TO BE REMOVED OFF SITE		
PARKING	REQUIRED		PROVIDED
WAREHOUSING LEASABLE AREA			
BLDG A: 16,327.31 m <sup>2</sup>			
BLDG B: 16,864.71 m <sup>2</sup>			
TOTAL LEASABLE AREA > 5000m <sup>2</sup>	166 spaces		
1 space / 200m <sup>2</sup> = 33,192.02 / 200 = 166			
TOTAL	166 spaces		504 spaces
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No.	ISSUED	DATE
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2	ISSUED FOR SPA	MAR. 14, 2022
3	SUBMITTED FOR SPA	APR. 29, 2022
4	RE-ISSUED FOR SPA	JAN. 18, 2023
5	RE-ISSUED FOR SPA	MAY 18, 2023

No.	REVISION	DATE
6	RE-ISSUED FOR SPA	JULY 13, 2023

No.	REVISION	DATE

**BALDASSARRA**  
Architects Inc.

30 Great Gulf Drive, Unit 20 | Concord ON | L4K 0K7  
T. 905.660.0722 | www.baldassarra.ca

OWNERS INFORMATION:



**North Oakville Block 6**

45 & 55 WILLIAM HALTON PARKWAY E.  
Oakville, ON

**Site Plan Overall**

DATE: MAR 2022 DRAWN BY: MM CHECKED: MB SCALE: 1:750

PROJECT No. DRAWING No.

21-49 **A-1.1**