



Quadrangle Architects Limited
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BRONTE VILLAGE MALL REDEVELOPMENT

2441 Lakeshore Road West
Oakville, Ontario

for
Prince Developments

Project No. 16063
Date 27 APRIL 2018
Issued for Site Plan Application - West (Including Block 1A, Block 1B, Block 2 & O1 Zones)

ARCHITECTURAL DRAWINGS

Sheet
Number Sheet Name

- A001.S.W. Masterplan - Potential Future Development (2018/04/27)
A100.S.W. Context Plan and Project Statistics (2018/04/27)
A101.S.W. Site Plan (2018/04/27)
A103.S.W. Height and Setbacks Map (2018/04/27)
A151.S.W. P3 Underground (2018/04/27)
A152.S.W. P2 Underground (2018/04/27)
A153.S.W. P1 Underground (2018/04/27)
- A201.S.W. Ground Floor Plan (2018/04/27)
A202.S.W. Second Floor Plan (2018/01/19)
A203.S.W. Third to Fourth Floor Plan (2018/01/19)
A204.S.W. Fifth Floor Plan (2018/01/19)
A205.S.W. Sixth to Seventh Floor Plan (2018/01/19)
A206.S.W. Eighth to Tenth Floor Plan (2018/01/19)
A207.S.W. Building 'A' Eleventh to Fourteenth Floor Plan, Building 'B' Mechanical Penthouse Plan (2018/01/19)
A208.S.W. Building 'A' Mechanical Penthouse Plan, Building 'B' Roof Plan (2018/01/19)
A209.S.W. Building 'A' and 'B' Roof Plan (2018/04/27)
- A401.S.W. East & West Elevations (2018/04/27)
A402.S.W. North & South Elevations (2018/04/27)
A403.S.W. Elevation Along "Central Driveway" (2018/04/27)
A404.S.W. Elevation Along "Central Driveway" (2018/04/27)
A405.S.W. Elevation Along "Central Driveway" (2018/04/27)
A406.S.W. Rendered Elevation - Entrance at Bronte Road (2018/01/19)
A407.S.W. Rendered Elevation - Market Square (2018/01/19)
A451.S.W. Building Sections (2018/04/27)

STRUCTURAL ENGINEER

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MECHANICAL & ELECTRICAL ENGINEER

Smith + Andersen Consulting Engineering
4211 Yonge Street
Toronto, ON M2P 2A9

PLANNING CONSULTANT & LANDSCAPE ARCHITECT

MHCB Planning, Urban Design
& Landscape Architecture
7050 Weston Road, Suite 230
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INTERIOR DESIGN

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SITE SERVICING ENGINEER

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8 Market Street, Suite 660
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SURVEYOR

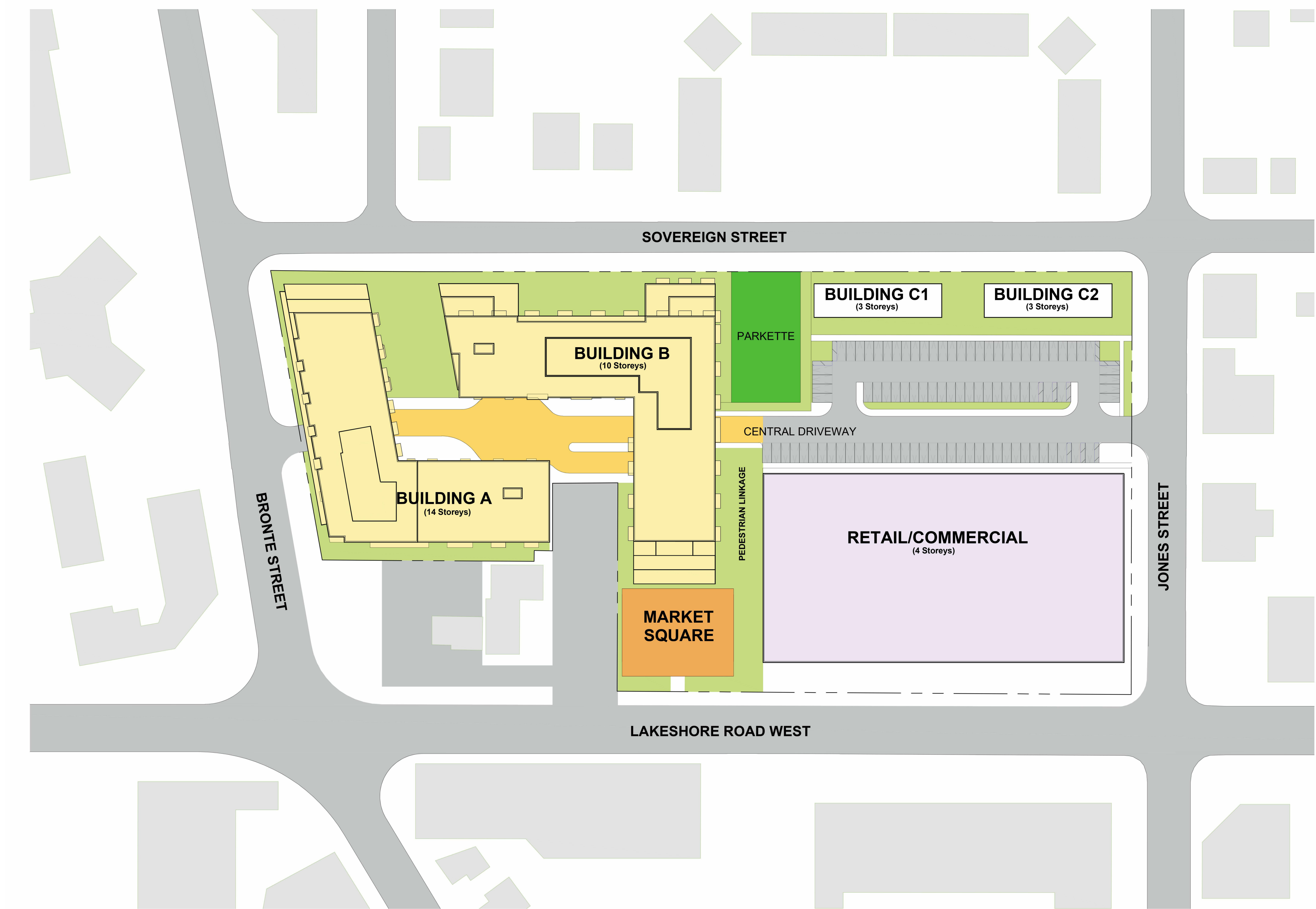
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401 Wheelabrator Way, Suite A
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GEOTECHNICAL ENGINEER

Isherwood Geotechnical Engineers
3100 Ridgeway Drive Unit 3
Mississauga, ON L5L 5M5
T 905 820 3480 x 164

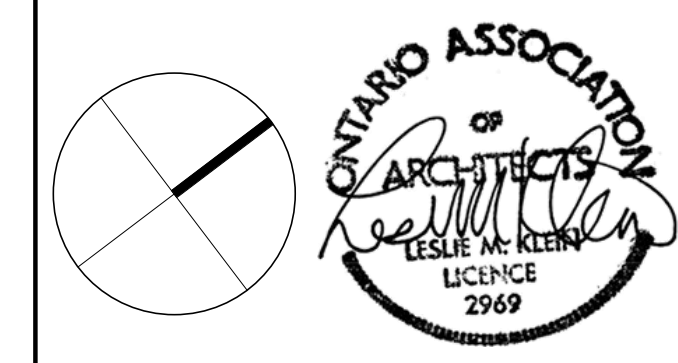


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1
A001.S.W. Masterplan

Date	No.	Description
REVISION RECORD		
2018-04-27		ISSUED FOR SPA RESUBMISSION
2018-01-19		ISSUED FOR SPA RESUBMISSION
2017-08-03		SITE PLAN APPLICATION
ISSUE RECORD		



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**BRONTE VILLAGE MALL
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2441 Lakeshore Road West
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Prince Developments

16063 1:500 CQ

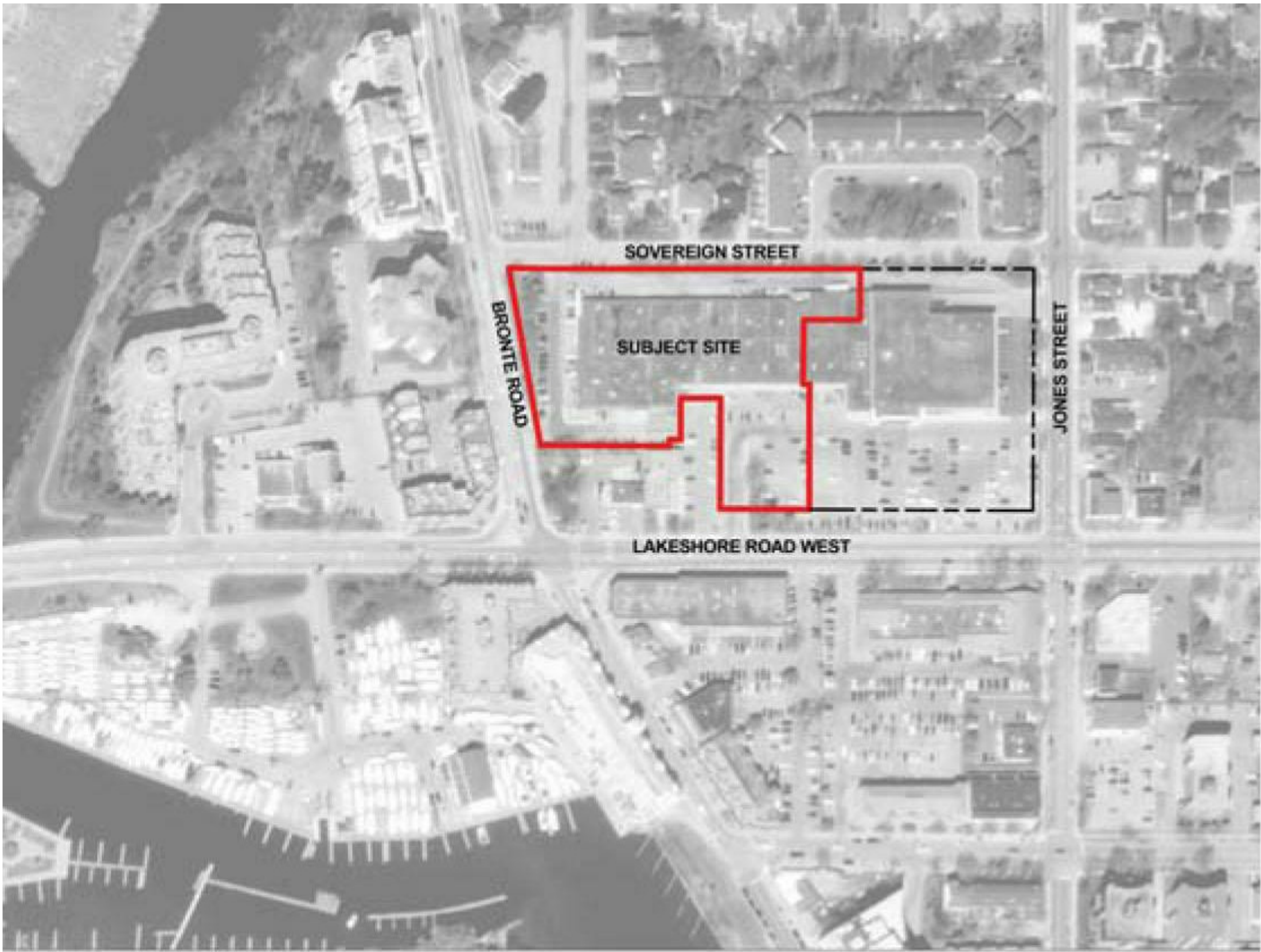
PROJECT SCALE DRAWN

LP/IK

REVIEWED

Masterplan - Potential Future
Development (2018/04/27)

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CONTEXT PLAN - WEST SITE BOUNDARY

SUMMARY			
Municipal Address 2441 Lakeshore Road West, Oakville, Ontario			
TOTAL Lot Area		11,964.25 sm	
	Block 1A	2,888.56 sm	
	Block 1B	830.80 sm	
	Block 2	6,075.37 sm	
	O1 Zone (incl. Parkette)	941.27 sm	
	O1 Zone (incl. Market Square)	1,228.25 sm	
Building Height (Storeys): (excl. Mech Penthouse)			
Building A (Block 1A)		14 storeys	14 storeys
Building A (Block 1B)		4 storeys	4 storeys
Building B:		10 storeys	10 storeys
*Per Special Provision 14 - to the town of Oakville By-Law 2014-014			
Building Height above Grade: (excl. Mech Penthouse)			
Building A (Block 1A)		46.20 m	48 m
Building A (Block 1B)		16.15 m	16.15 m
Building B:		33.65 m	35 m
*Per Special Provision 14 - to the town of Oakville By-Law 2014-014			
Site Statistics			
Established Grade*:		84.17 m	
*Based on definition in Town of Oakville By-Law 2014-014			
Site Area		11,964.25 sm	2.96 acres
Area for FSI Calculation		46,319 sm	
FSI =		3.87	By-Law As-of-Right.*
Lot Coverage		41 %	55 %
Leasable + Rentable Area		44,633 sm	480,430 sf
Total Parking Required		573 spaces	
Total Parking Provided		622 spaces	
(3 levels of underground parking)			
*Per Special Provision 14 - to the town of Oakville By-Law 2014-014			
*Per Committee of Adjustment final decision CAV A/031/2018 variance to permit a maximum height of 16.15m (Block 1B)			
Retail Statistics			
Total GFA		1,118 sm	12,034 sf
Total GLA		1,118 sm	12,034 sf
Total Parking Required		28 spaces	
Total Parking Provided		28 spaces	
Residential Statistics			
Total Number of Residential Suites		483	604
			By-Law As-of-Right.*
Residential GFA		468,395 sm	5,041,809 sf
Residential GLA		43,515 sm	468,395 sf
Total Parking Required		573 spaces	1.19 / unit
Total Parking Provided		622 spaces	1.29 / unit
(3 levels of underground parking)			
*Per Special Provision 14 - to the town of Oakville By-Law 2014-014			
*Per Committee of Adjustment final decision CAV A/031/2018 variance to permit the minimum number of parking spaces for uses permitted in the MU4 Zone to be established and calculated in accordance with the ratios set out in Table 5.2.2 of the By-Law			
NOTES:			
Net Floor Area as defined per By-Law Town of Oakville 2014-014:			
The total area of all floors of a building measured from the interior faces of the exterior walls or demising walls, but does not include the area of stair wells, elevators, escalators, ventilating shafts, attics, concourses, washrooms, attached enclosed and covered loading docks and related enclosed corridors used for loading purposes, above and below grade parking structures, storage rooms, rooms for garbage containment, and mechanical rooms.			
Floor Area as defined per By-Law Town of Oakville 2014-014:			
The aggregate area of a residential building containing a dwelling measured from the exterior of the outside walls, but shall not include a private garage, basement, or attic unless otherwise specified by the By-Law.			
Floor Space Index (FSI) as defined per By-Law Town of Oakville 2014-014:			
Means the net floor area of all buildings on a lot divided by the lot area.			
Grade as defined per By-Law Town of Oakville 2014-014:			
Means the average level of proposed or finished ground adjoining a building or structure at all exterior walls.			
Established Grade as defined per By-Law Town of Oakville 2014-014:			
Means the grade elevation measured at the centre point of the front lot line for interior lots, and the average of the centre points of each lot line abutting a road for corner lots, through lots, and through corner lots.			
Height as defined per By-Law Town of Oakville 2014-014 - Special Provisions - Part 15:			
Height shall be measured from the finished floor level at grade.			

AREA CALCULATION (Per Oakville Zoning By-Law 2014-014)

Building A	14 Storey Building			RETAIL		RESIDENTIAL			
	No. of Floors	GBA/Floor Area	Non-Residential GFA	Leasable Area (Retail)		Net Floor Area	Residential GLA	Estimated No. of Suites	GLA/Gross
GF*	1	2,288 sm	475 sm	475 sm		1,518 sm	917 sm	13 *	61%
Level 2*	1	2,359 sm	0 sm	0 sm		2,117 sm	2,179 sm	23 *	92%
Level 3-4	2	5,272 sm	0 sm	0 sm		4,586 sm	4,764 sm	54	90%
Level 5*	1	1,667 sm	0 sm	0 sm		1,470 sm	1,466 sm	16	88%
Level 6-7	2	3,334 sm	0 sm	0 sm		2,948 sm	2,946 sm	32	88%
Level 8-10	3	5,001 sm	0 sm	0 sm		4,422 sm	4,419 sm	48	88%
Level 11-14	4	6,264 sm	0 sm	0 sm		5,516 sm	5,492 sm	56	88%
TOTAL	26,185 sm		475 sm	475 sm		22,577 sm	22,183 sm	242	87%
	281,855 sf		5,113 sf	5,113 sf		243,019 sf	238,778 sf		

*Includes Amenity Area

Building B	10 Storey Building			RETAIL		RESIDENTIAL			
	No. of Floors	GBA/Floor Area	Non-Residential GFA	Leaseable Area (Retail)		Net Floor Area	Residential GLA	Estimated No. of Suites	GLA/Gross
GF*	1	2,667 sm	643 sm	643 sm		1,520 sm	598 sm	7 *	47%
Level 2*	1	1,925 sm	0 sm	0 sm		1,631 sm	1,419 sm	17 *	74%
Level 3-4	2	5,848 sm	0 sm	0 sm		5,268 sm	5,215 sm	61 *	89%
Level 5	1	2,692 sm	0 sm	0 sm		2,427 sm	2,407 sm	26	89%
Level 6-7	2	5,384 sm	0 sm	0 sm		4,854 sm	4,814 sm	52	89%
Level 8-10	3	7,728 sm	0 sm	0 sm		6,924 sm	6,879 sm	78	89%
TOTAL	26,244 sm		643 sm	643 sm		22,624 sm	21,332 sm	241	84%
	282,487 sf		6,921 sf	6,921 sf		243,525 sf	229,618 sf		

*Includes Amenity Area

TOTAL DEVELOPMENT

		GBA/Floor Area	Non-Residential GFA	Leaseable Area (Retail)		Net Floor Area	Residential GLA	No. of Suites	GLA/Gross
Building A		26,185 sm	475 sm	475 sm		22,577 sm	22,183 sm	242	87%
Building B		26,244 sm	643 sm	643 sm		22,624 sm	21,332 sm	241	84%
TOTAL	52,429 sm		1,118 sm	1,118 sm		45,201 sm	43,515 sm	483	85%
	564,343 sf		12,034 sf	12,034 sf		486,544 sf	468,395 sf		

AMENITY PROVIDED

PROVIDED		Interior Amenity		Exterior Amenity
Building A		404 sm		716 sm
Building B		830 sm		0 sm
TOTAL	427 sm		716 sm	
	4,596 sf		7,797 sf	

RESIDENTIAL UNIT MIX

Building A	No. of Floors	1B	1B+D	2B	2B+D	2B Townhouse	2B +D Townhouse	3B	3B Townhouse	Total
GF	1	0	12	0	0	0	0	1	0	13
Level 2	1	0	8	6	9	0	0	0	0	23
Level 3-4	2	0	20	6	28	0	0	0	0	54
Level 5	1	1	2	2	11	0	0	0	0	16
Level 6-7	2	2	4	6	20	0	0	0	0	32
Level 8-10	3	3	6	9	30	0	0	0	0	48
Level 11-14	4	0	0	16	40	0	0	0	0	56
Building A Total	6		52	45	138	0	0	1	0	242
			24%				76%		0%	

Building B	No. of Floors	1B	1B+D	2B	2B+D	2B Townhouse	2B +D Townhouse	3B	3B Townhouse	Total
GF	1	0	3	0	4	0	0	0	0	7
Level 2	1	0	9	2	6	0	0	0	0	17
Level 3-4	2	1	28	6	26	0	0	0	0	61
Level 5	1	0	6	2	18	0	0	0	0	26
Level 6-7	2	0	12	6	34	0	0	0	0	52
Level 8-10	3	0	24	24	30	0	0	0	0	78
Building B Total	1		82	40	118	0	0	0	0	241
			34%				66%		0%	

TOTAL RESIDENTIAL UNIT MIX

		1B	1B+D	2B	2B+D	2B Townhouse	2B +D Townhouse	3B	3B Townhouse	Total
Building A		6	52	45	138	0	0	1	0	242
Building B		1	82	40	118	0	0	0	0	241
TOTAL	7		134	85	256	0	0	1	0	483
			29%				71%		0%	

BARRIER-FREE PARKING CALCULATIONS (Per Oakville By-Law 2014-014)

REQUIRED:	Total Number of Parking Spaces*	Barrier-Free Type A (Visitor) Required:	Barrier-Free Type B (Visitor) Required	Barrier-Free Type A (Res) Required:	Barrier-Free Type B (Res) Required
P1-P3	17	2	2	6	7
TOTAL	17	2	2	6	7

*In all Parking Areas on the Lot as per By-Law 2014-014

PROVIDED:	Standard Parking Spaces (Visitor)	Barrier-Free Type A (Visitor)	Barrier-Free Type B (Visitor)	Total	Standard Parking Spaces (Residential)	Barrier-Free Type A (Residential)	Barrier-Free Type B (Residential)	Total
P1	111	2	2	115	83	1	1	200
P2	0	0	0	0	205	3	3	211
P3	0	0	0	0	205	3	3	211
TOTAL		2	2			7	7	622

BIKE SPACES AND LOCKERS

	Bike Spaces (Required)	Bike Spaces (Provided)	Lockers
GF	30*	20**	
P1		5	60
P2		0	84
P3		0	102
TOTAL	30*	30	246

* Per Town of Oakville Zoning By-Law 2014-014, "In no circumstance shall the

number of minimum bicycle parking spaces required on a lot be greater than 30."

** Includes 8 Visitor Bike Parking Spaces (0.25 of the bicycle parking spaces required)

PROPOSED PARKING PROVISIONS (Town of Oakville Zoning By-law 2014-014, Part 5, Table 5.2.2.)

Residential (Units)	By-law 2014-014, Table 5.2.2	Parking Required
125 units	1.0 per dwelling where the unit has less than 75 m2 net floor area	125 spaces
358 units	1.25 per dwelling for all other units	448 spaces
Subtotal:		573 spaces
Visitor Parking	0.2 of the parking spaces required per dwelling unit shall be designated for visitor parking spaces (2015-018). Therefore, 115 spaces will be designated for visitors	
Subtotal:		
Residential Parking		458 spaces
Non-Residential Uses		115 spaces
Retail	1118 sm 1 per 40 sm net floor area	28 spaces
TOTAL		573 spaces

PARKING PROVIDED

	Retail	Office	Residential	Visitor	Total
Surface Parking					
P1	23*		85	115 *	200
P2			211		211
P3			211		211
TOTAL	23*	0	507	115 *	622

*Retail Parking shared with Residential Visitor Parking

Retail Use = 1 space/25sm (3.7 spaces / 1,000 S)

Date	No.	Description
REVISION RECORD		

2018-04-27	ISSUED FOR SPA RESUBMISSION
2018-01-19	ISSUED FOR SPA RESUBMISSION
2017-08-03	SITE PLAN APPLICATION

ISSUE RECORD



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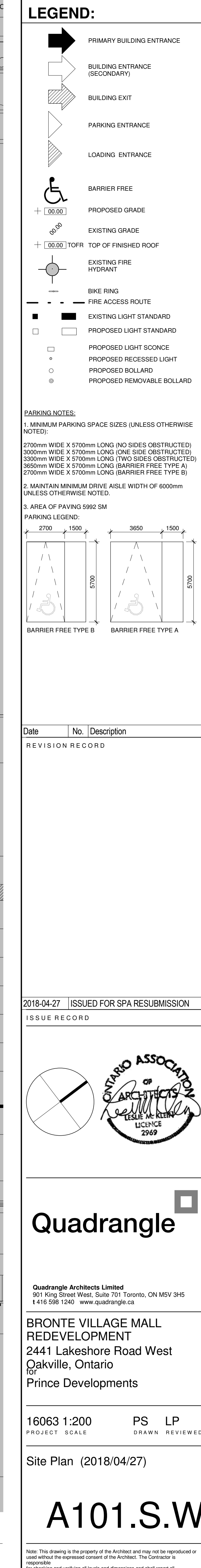
BRONTE VILLAGE MALL
REDEVELOPMENT
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Prince Developments

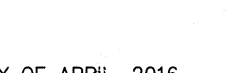
16063 N/A TN/AA LP/IK
PROJECT SCALE DRAWN REVIEWED

Context Plan and Project
Statistics (2018/04/27)

A100.S.W.

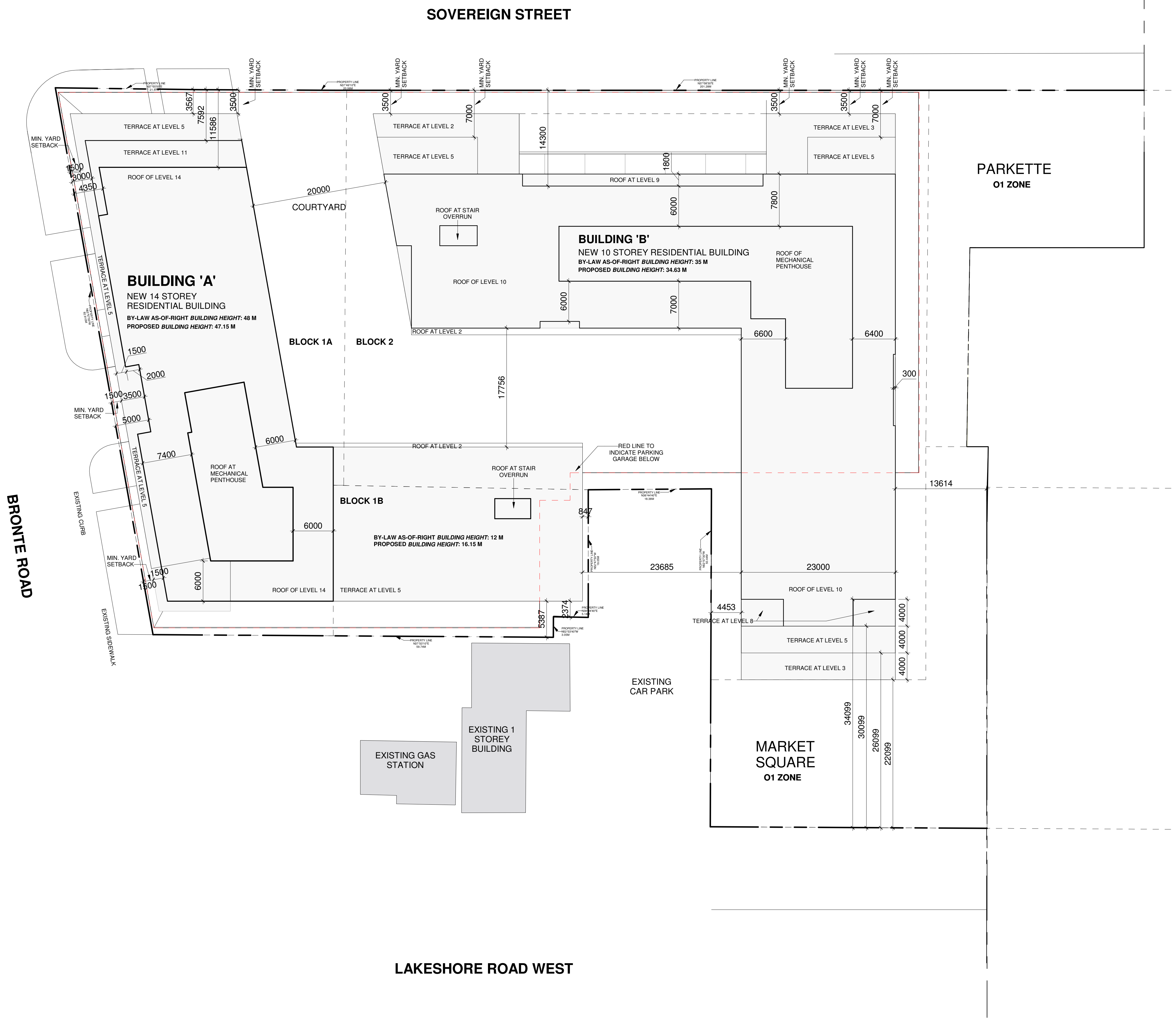
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	J.D. BARNES LIMITED		WAIVING WRAPPING GIS
	LAND INFORMATION SPECIALISTS 400 WEST ARLINGTON WAY, SUITE A, MELTON, ON L1Y 3T1 T: (905) 875-9955 T: (905) 875-9956 www.jdbarnes.com		
DRAWN BY:	AP:	CHECKED BY:	REFERENCE NO.:
		Sp.	
FILE: C:\18-30-895\00\maping\18-30-895-00_526.dwg			18-30-895-00-TOPO
PLOTTED:			8/3/2017
SURVEY LEGEND SURVEYOR'S CERTIFICATE I CERTIFY THAT:			
THE SURVEY WAS COMPLETED ON THE 11th DAY OF APRIL, 2016			
Aug-3-2017 DATE		 SUNIL PERERA ONTARIO LAND SURVEYOR	

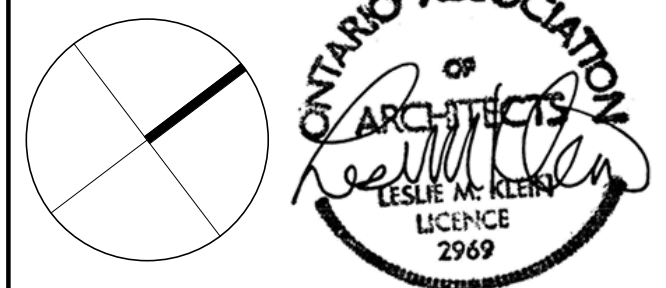
A101.S.W

PROPOSED DEVELOPMENT- SITE PLAN APPLICATION - WEST



Date	No.	Description
2018-04-27	1	ISSUED FOR SPA RESUBMISSION
2018-01-19	2	ISSUED FOR SPA RESUBMISSION
2017-08-03	3	SITE PLAN APPLICATION

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2017-08-03	SITE PLAN APPLICATION



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L7T 4P1
Prince Developments

16063 1:300 CQ LP/IK
PROJECT SCALE DRAWN REVIEWED

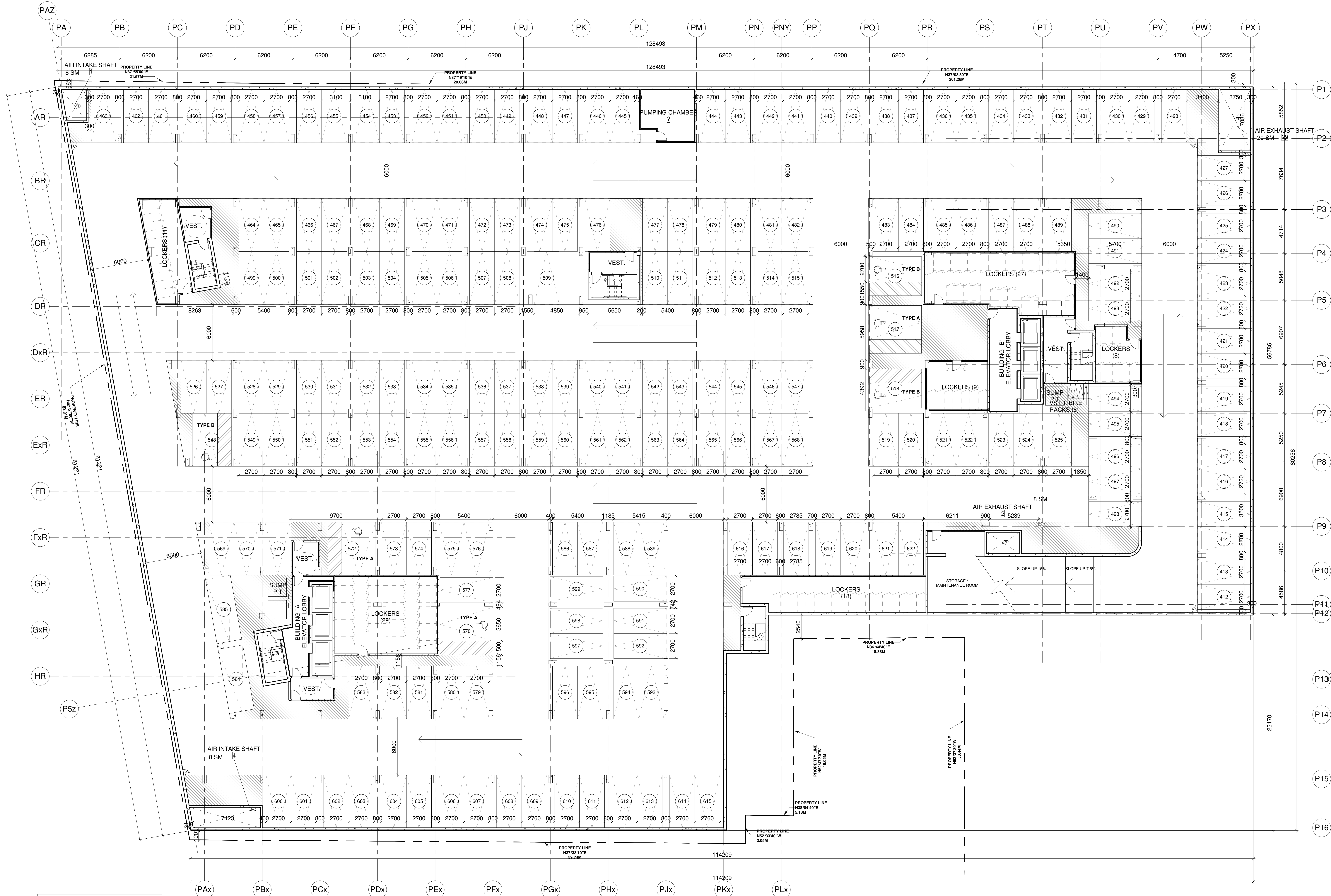
Height and Setbacks Map
(2018/04/27)

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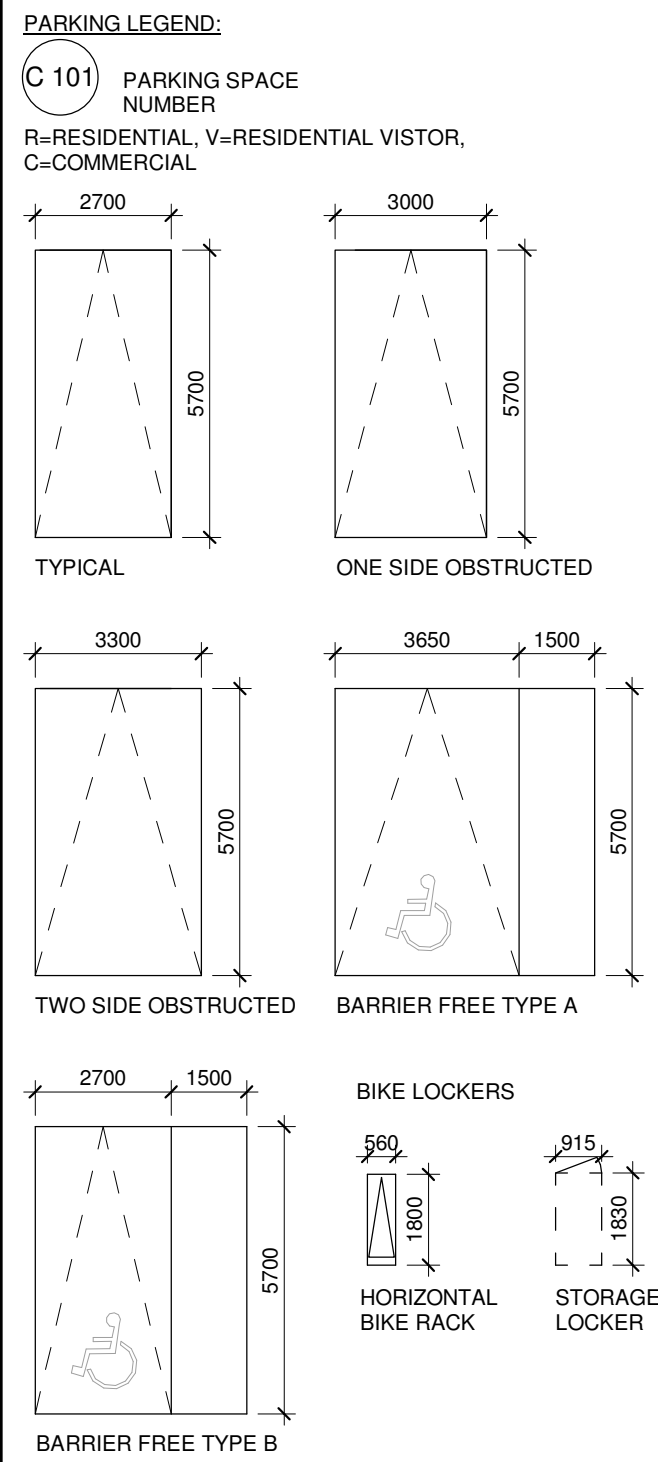
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Client: Project: 16063 Bronte Village, 2017_588a.rvt

PARKING SCHEDULE - LEVEL P3	
RESIDENTIAL PARKING SPACES	205
STANDARD PARKING SPACE	3
BARRIER-FREE TYPE A	3
BARRIER-FREE TYPE B	2
TOTAL	211
P3 GRAND TOTAL	
211	
VISITOR BIKE RACKS	
0	
LOCKERS	
102	
GROSS CONSTRUCTION AREA P1-P3	
P1	8,409 sqm / 90,514 sq ft
P2	8,409 sqm / 90,514 sq ft
P3	8,409 sqm / 90,514 sq ft
TOTAL	25,227 sqm / 271,541 sq ft
P1 - P3 TOTAL = 622 PARKING SPACES	
* 23 SHARED WITH RETAIL	



- PARKING NOTES:**
1. MINIMUM PARKING SPACE SIZES (UNLESS OTHERWISE NOTED):
 - 2700mm WIDE X 5700mm LONG (NO SIDES OBSTRUCTED)
 - 3300mm WIDE X 5700mm LONG (ONE SIDE OBSTRUCTED)
 - 3300mm WIDE X 5700mm LONG (TWO SIDES OBSTRUCTED)
 - 3600mm WIDE X 5700mm LONG (BARRIER FREE TYPE A)
 - 2700mm WIDE X 5700mm LONG (BARRIER FREE TYPE B)
 2. MAINTAIN MINIMUM DRIVE AISLE WIDTH OF 6000mm UNLESS OTHERWISE NOTED.
 3. MAINTAIN MIN. 2100MM CLEAR HEADROOM IN ALL LOCKERS.
 4. THE SLOPE OF ALL DRIVE AISLES (EXCEPT RAMPS WITH NOTED SLOPES) DOES NOT EXCEED THE MAXIMUM OF 5%.
 5. MIRRORS AND TRAFFIC CONTROL SIGNS ARE TO BE MOUNTED SO THAT THE BOTTOM OF THE SIGNS AND/OR MIRRORS ARE 2.10 METRES ABOVE CURB OR GRADE EXCEPT WHERE RESTRICTED BY OVERHEAD STRUCTURE UTILITIES IN WHICH CASE THE DISTANCE BETWEEN BOTTOM OF SIGN AND FLOOR SHALL BE MAINTAINED. SIGNS RUNNING PARALLEL TO AND PERPENDICULAR TO THE CURB FACE SHOULD BE PLACED SUCH THAT THE OUTER EDGE OF THE SIGN WILL NOT PROJECT BEYOND THE CURB INTO THE TRAFFIC LANE.



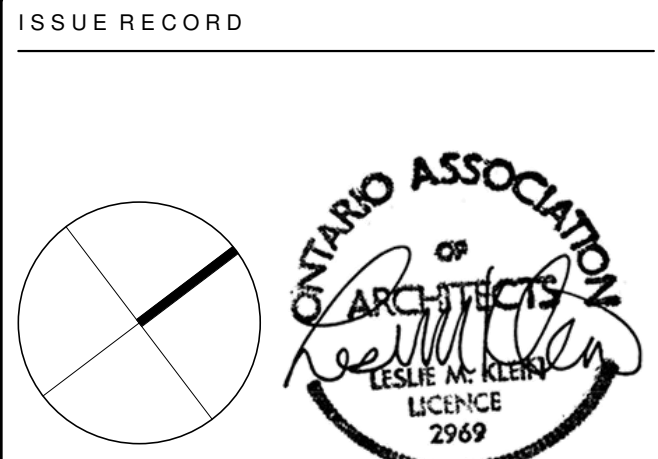
CONVEX MIRROR
INSTALL CONVEX MIRROR TO OFFER VISUAL ASSISTANCE TO MOTORIST

Date	No.	Description
2018-04-27	1	ISSUED FOR SPA RESUBMISSION
2018-01-19	2	ISSUED FOR SPA RESUBMISSION
2017-08-03	3	SITE PLAN APPLICATION

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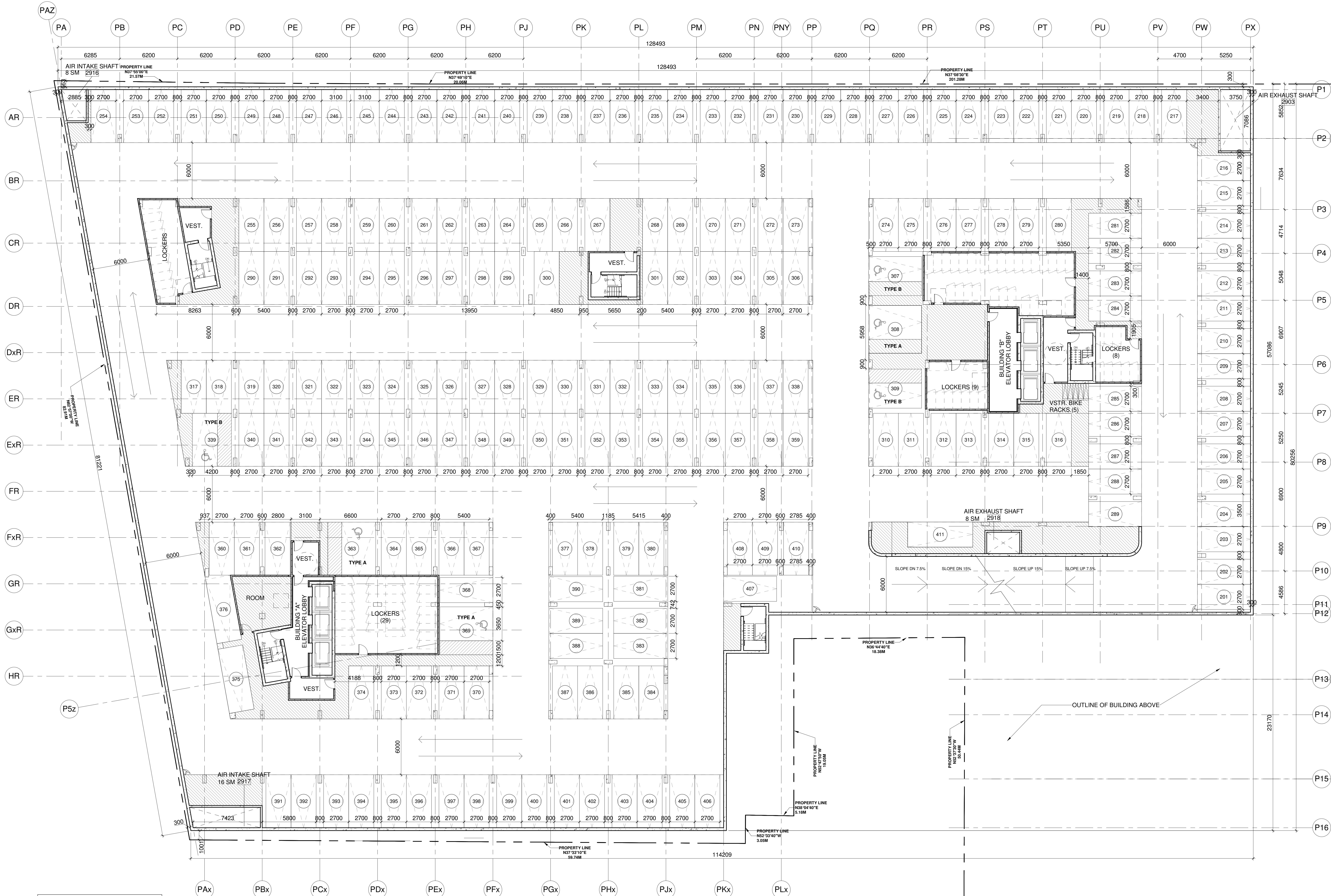
16063 1 : 150 CQ/TB.LP/I/K
PROJECT SCALE DRAWN REVIEWED

P3 Underground (2018/04/27)

A151.S.W

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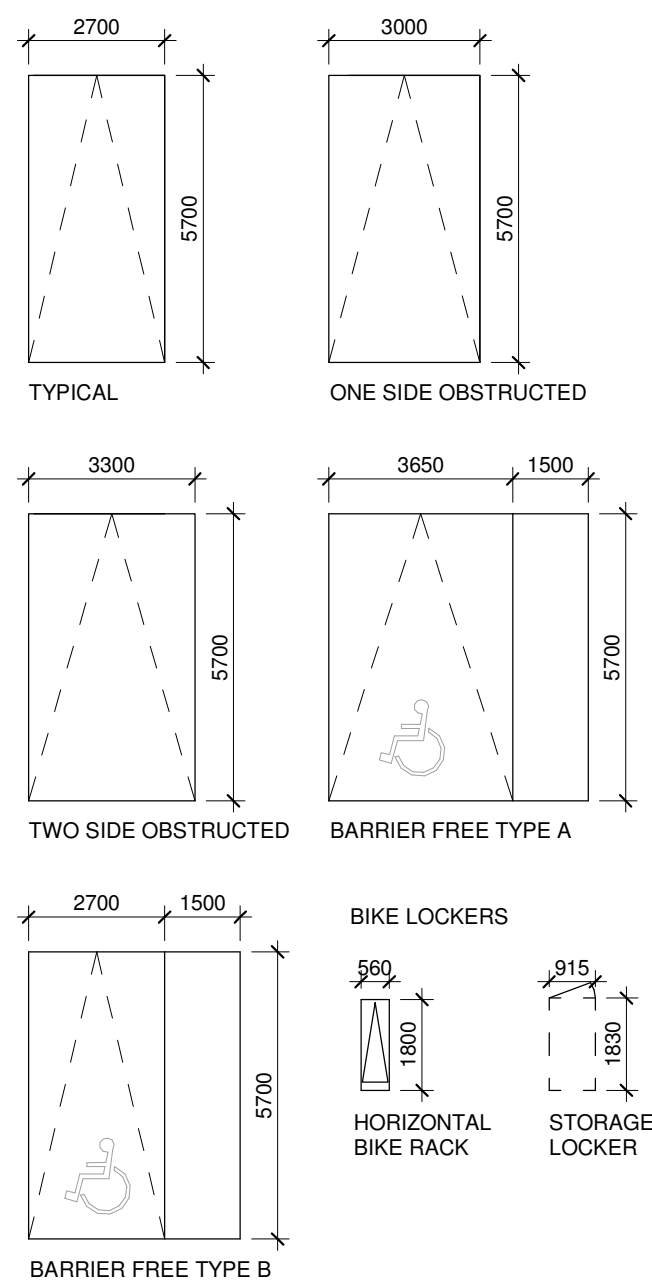


PARKING SCHEDULE - LEVEL P2	
RESIDENTIAL PARKING SPACES	205
STANDARD PARKING SPACE	3
BARRIER-FREE TYPE A	3
BARRIER-FREE TYPE B	3
TOTAL	211
P2 GRAND TOTAL	211
VISITOR BIKE RACKS	5
LOCKERS	84
GROSS CONSTRUCTION AREA P1-P3	
P1	8,409 sqm / 90,514 sq ft
P2	8,409 sqm / 90,514 sq ft
P3	8,409 sqm / 90,514 sq ft
TOTAL	25,227 sqm / 271,541 sq ft
P1 - P3 TOTAL = 622 PARKING SPACES	
*23 SHARED WITH RETAIL	

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1. MINIMUM PARKING SPACE SIZES (UNLESS OTHERWISE NOTED):
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2700mm WIDE X 5700mm LONG (BARRIER FREE TYPE B)
2. MAINTAIN MINIMUM DRIVE AISLE WIDTH OF 6000mm UNLESS OTHERWISE NOTED.

3. MAINTAIN MIN. 2100MM CLEAR HEADROOM IN ALL LOCKERS.
4. THE SLOPE OF ALL DRIVE AISLES (EXCEPT RAMPS WITH NOTED SLOPES) DOES NOT EXCEED THE MAXIMUM OF 5%.
5. MIRRORS AND TRAFFIC CONTROL SIGNS ARE TO BE MOUNTED SO THAT THE BOTTOM OF THE SIGNS AND/OR MIRRORS ARE 2-10 METRES ABOVE CURB OR GRADE EXCEPT WHERE RESTRICTED BY OVERHEAD STRUCTURE UTILITIES IN WHICH CASE THE DISTANCE BETWEEN BOTTOM OF SIGN AND FLOOR SHALL BE MAXIMIZED. SIGNS RUNNING PARALLEL AND PERPENDICULAR TO THE CURB FACE SHOULD BE PLACED SUCH THAT THE OUTER EDGE OF THE SIGN WILL NOT PROJECT BEYOND THE CURB INTO THE TRAFFIC LANE.

PARKING LEGEND:
C 101 PARKING SPACE NUMBER
R-RESIDENTIAL V-RESIDENTIAL VISITOR
C-COMMERCIAL



CONVEX MIRROR
INSTALL CONVEX MIRROR TO OFFER VISUAL ASSISTANCE TO MOTORIST

Date No. Description
REVISION RECORD

2018-04-27 ISSUED FOR SPA RESUBMISSION
2018-01-19 ISSUED FOR SPA RESUBMISSION
2017-08-03 SITE PLAN APPLICATION
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Prince Developments

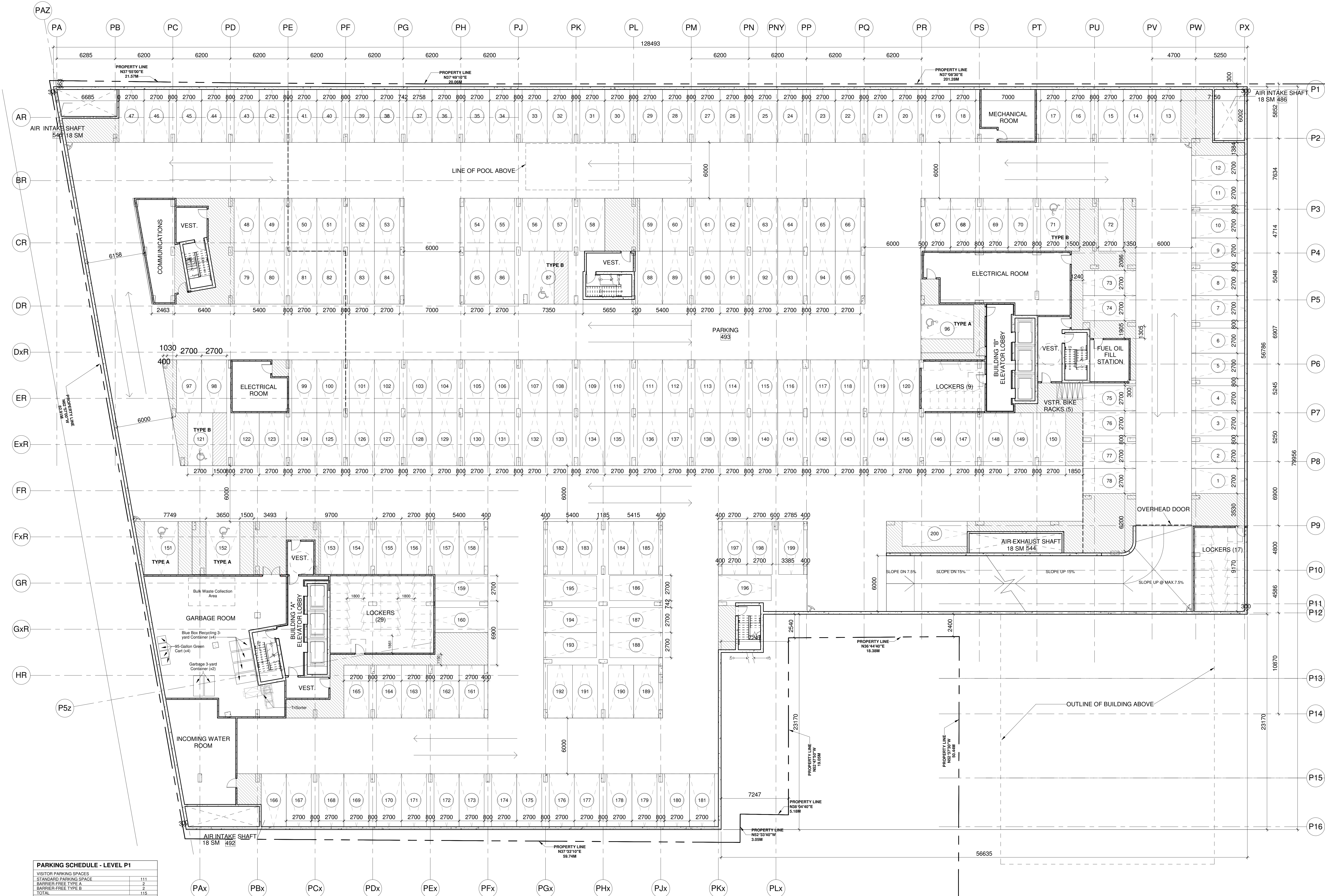
16063 1 : 150 AA/TBLP/IK
PROJECT SCALE DRAWN REVIEWED

P2 Underground (2018/04/27)

A152.S.W

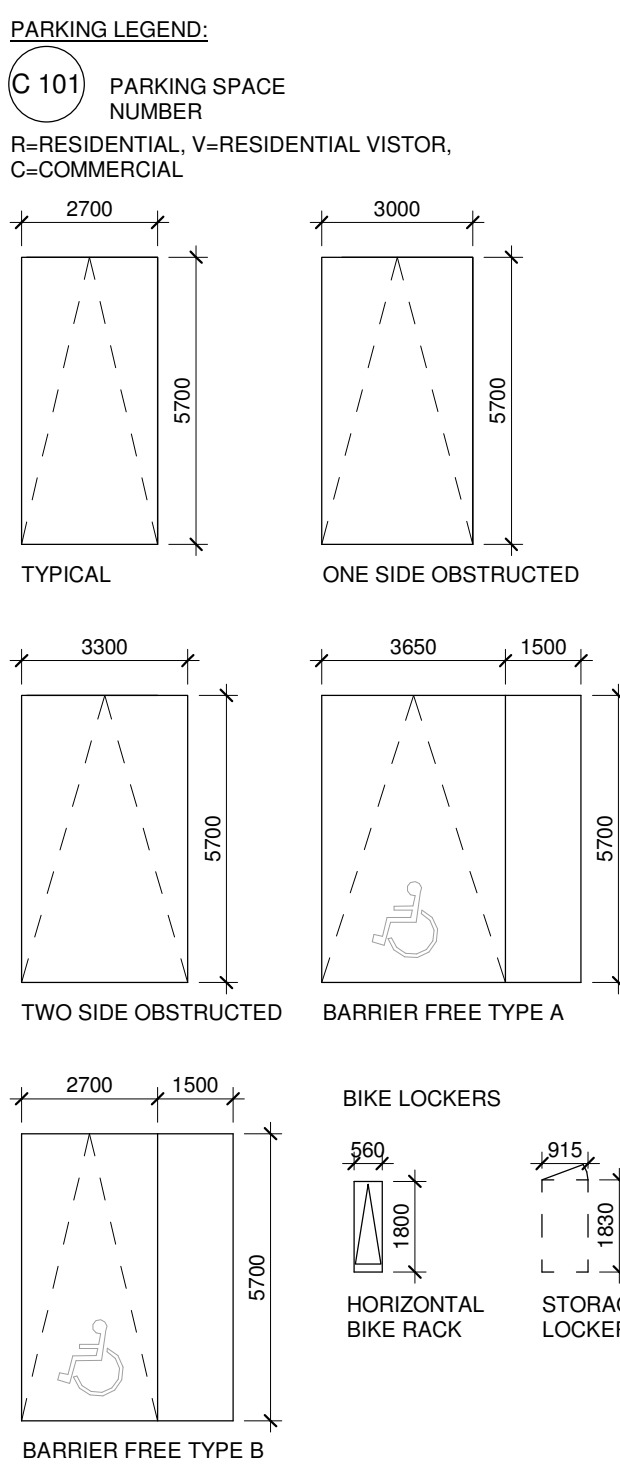
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Client: Project: BRONTE VILLAGE MALL REDEVELOPMENT, 2017, 5/18/2017



PARKING SCHEDULE - LEVEL P1	
VISITOR PARKING SPACES	111
STANDARD PARKING SPACE	2
BARRIER-FREE TYPE A	2
BARRIER-FREE TYPE B	1
TOTAL	116
RESIDENTIAL PARKING SPACES	
STANDARD PARKING SPACE	83
BARRIER-FREE TYPE A	1
BARRIER-FREE TYPE B	1
TOTAL	85
P1 GRAND TOTAL	200
VISITOR BIKE RACKS	5
LOCKERS	80
GROSS CONSTRUCTION AREA P1-P3	
P1	8,409 sqm / 90,514 sq ft
P2	8,409 sqm / 90,514 sq ft
P3	8,409 sqm / 90,514 sq ft
TOTAL	25,227 sqm / 271,541 sq ft
P1 - P3 TOTAL = 622 PARKING SPACES	
*23 SHARED WITH RETAIL	

- PARKING NOTES:
1. MINIMUM PARKING SPACE SIZES (UNLESS OTHERWISE NOTED):
 - 2700mm WIDE X 5700mm LONG (NO SIDES OBSTRUCTED)
 - 3000mm WIDE X 5700mm LONG (ONE SIDE OBSTRUCTED)
 - 3300mm WIDE X 5700mm LONG (TWO SIDES OBSTRUCTED)
 - 3600mm WIDE X 5700mm LONG (BARRIER FREE TYPE A)
 - 2700mm WIDE X 5700mm LONG (BARRIER FREE TYPE B)
 2. MAINTAIN MINIMUM DRIVE AISLE WIDTH OF 6000mm UNLESS OTHERWISE NOTED.
 3. MAINTAIN MIN. 2100MM CLEAR HEADROOM IN ALL LOCKERS.
 4. THE SLOPE OF ALL DRIVE AISLES (EXCEPT RAMPS WITH NOTED SLOPES) DOES NOT EXCEED THE MAXIMUM OF 3%.
 5. MIRRORS AND TRAFFIC CONTROL SIGNS ARE TO BE MOUNTED SO THAT THE BOTTOM OF THE SIGNS AND/OR MIRRORS ARE 2.10 METRES ABOVE CURB OR GRADE EXCEPT WHERE RESTRICTED BY OVERHEAD STRUCTURES UTILITIES IN WHICH CASE THE DISTANCE BETWEEN BOTTOM OF SIGN AND FLOOR SHALL BE MAXIMIZED. SIGNS RUNNING PARALLEL AND PERPENDICULAR TO THE CURB FACE SHOULD BE PLACED SUCH THAT THE OUTER EDGE OF THE SIGN WILL NOT PROJECT BEYOND THE CURB INTO THE TRAFFIC LANE.



Date	No.	Description
2018-04-27	1	ISSUED FOR SPA RESUBMISSION
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2017-08-03	3	SITE PLAN APPLICATION

REVISION RECORD

2018-04-27 ISSUED FOR SPA RESUBMISSION
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2017-08-03 SITE PLAN APPLICATION

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REDEVELOPMENT
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Oakville, Ontario
Prince Developments

16063 1:150 AA/TB/LP/K
PROJECT SCALE DRAWN REVIEWED

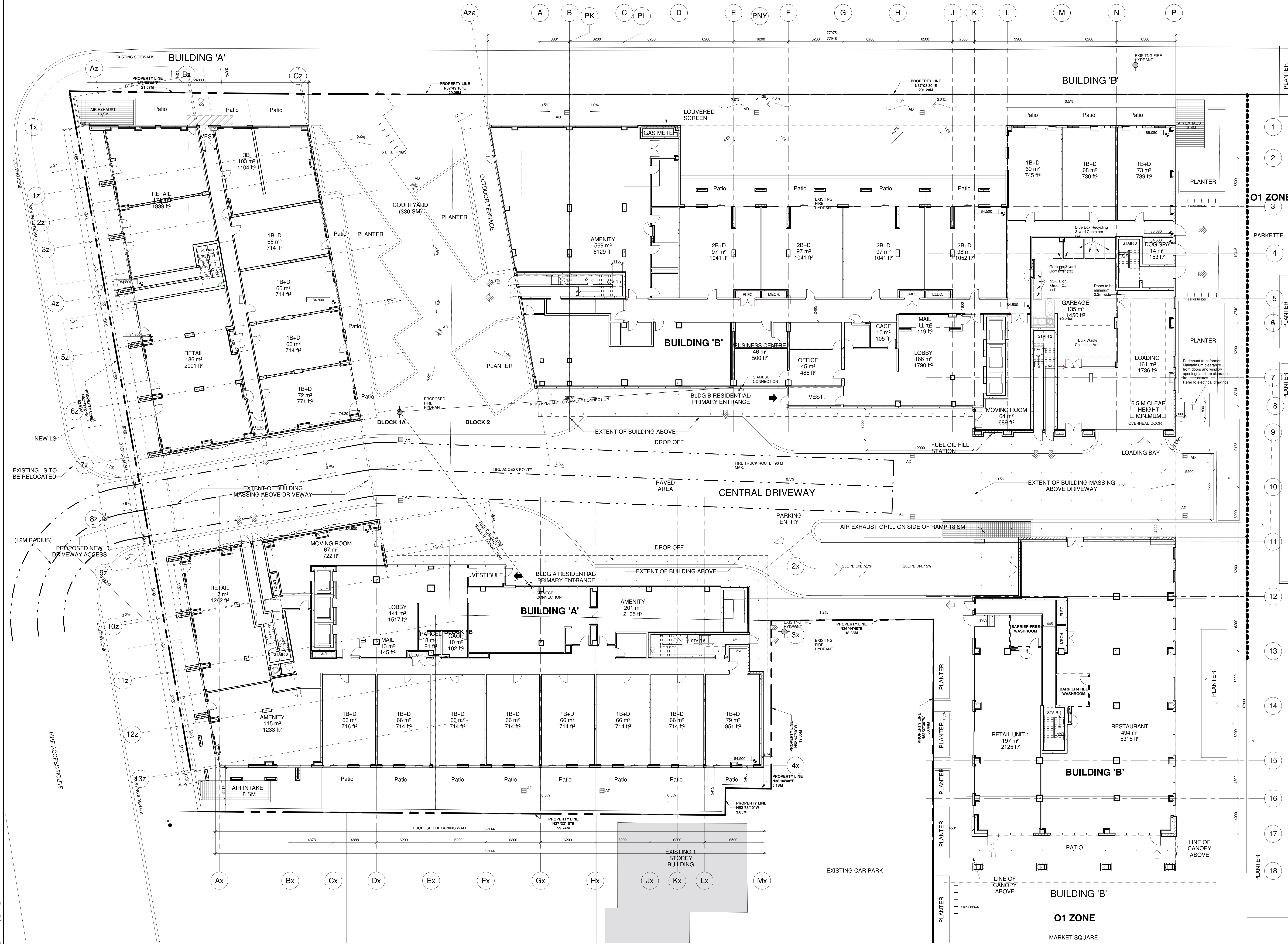
P1 Underground (2018/04/27)

A153.S.W

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2018-04-26 13:27 PM

SOVEREIGN STREET



LEGEND:

- PRIMARY BUILDING ENTRANCE
- BUILDING ENTRANCE (SECONDARY)
- BUILDING EXIT
- PARKING ENTRANCE
- LOADING ENTRANCE
- PROPOSED GRADE
- EXISTING GRADE
- PROPOSED TOP OF FINISHED ROOF
- FIRE HYDRANT
- BIKE RING
- FIRE ACCESS ROUTE
- PROPOSED LIGHT SCONCE
- PROPOSED RECESSED LIGHT
- PROPOSED ROLLBAR
- PROPOSED REMOVABLE ROLLBAR

- NOTES:**
- A TRAINED ON-SITE STAFF MEMBER WILL BE AVAILABLE TO MANUEVER BINS FOR THE COLLECTION DRIVER AND ALSO ACT AS A FLAGMAN WHEN TRUCK IS REVERSING. IN THE EVENT THE ON-SITE STAFF IS UNAVAILABLE AT THE TIME OF THE CITY COLLECTION VEHICLE ARRIVES AT THE SITE, THE COLLECTION VEHICLE WILL LEAVE THE SITE AND NOT RETURN UNTIL THE NEXT SCHEDULED COLLECTION DAY.
 - TYPE 'G' LOADING SPACE IS LEVEL AT (42%) AND CONSTRUCTED OF A MINIMUM OF 200mm REINFORCED CONCRETE.
 - THE STAGING AREA ABUTTING AT THE FRONT OF THE TYPE 'G' LOADING SPACE WILL HAVE A VERTICAL CLEARANCE OF 6.1m. BE CONSTRUCTED OF 300mm REINFORCED CONCRETE AND HAVE A GRADE OF NO MORE THAN 2%.
 - TENANTS/OCCUPANTS OF THE BUILDING ARE NOT PERMITTED TO ENTER THE CENTRAL RESIDENTIAL/RECYCLING STORAGE FOR SAFETY REASONS. DOORS MUST BE EQUIPPED WITH LOCKABLE DEVICE AND ACCESSIBLE ONLY BY TRAINED MAINTENANCE STAFF.
 - ALL UNCOMPACTED RESIDENTIAL REFUSE MUST BE MANUALLY COMPACTED BY TRAINED MAINTENANCE STAFF.
 - ALL DRIVEWAYS AND PASSAGEWAYS PROVIDING ACCESS TO THE TYPE 'G' LOADING SPACE TO BE CONSTRUCTED TO THE REQUIREMENTS OF THE ONTARIO BUILDING CODE, INCLUDING ALLOWANCE FOR THE CITY OF TORONTO BULK LIFT AND REAR BIN VEHICLE LOADING WITH IMPACT FACTORS WHERE THEY ARE TO BE BUILT AS SUPPORTED STRUCTURES. THE PUBLIC RIGHTS-OF-WAY MUST NOT BE USED TO TRANSPORT REFUSE TO THE COLLECTION AREA OR FOR THE STORAGE OF SUCH DURING NON-COLLECTION DAYS.

Date	No.	Description
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2017-08-03	SITE PLAN APPLICATION	
REVISION RECORD		

2018-04-27 ISSUED FOR SPA RESUBMISSION
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2017-08-03 SITE PLAN APPLICATION

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ARCHITECTS
LICENCE
2599

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**BRONTE VILLAGE MALL
REDEVELOPMENT**
2441 Lakeshore Road West
Oakville, Ontario
Prince Developments

16063 1:150 TB/CQ/AA LP/IK
PROJECT SCALE DRAWN REVIEWED

Ground Floor Plan (2018/04/27)

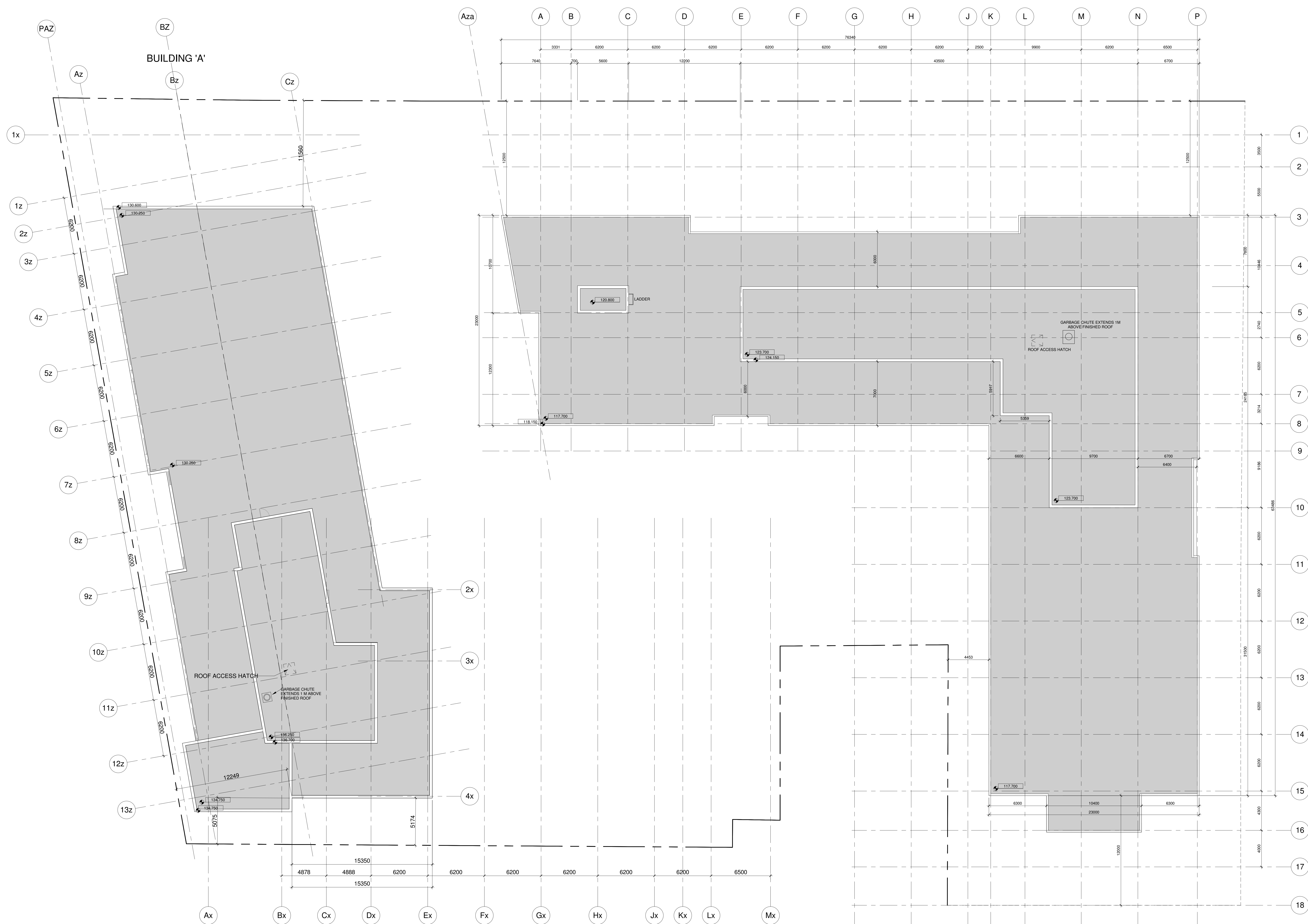
A201.S.W.

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1 Ground Floor Plan
A201.S.W. SCALE: 1 : 150

Client: Project: A201.S.W. Bronte Village Mall Redevelopment, 2441 Lakeshore Road West, Oakville, Ontario, Canada. Date: 2017-08-03. Drawn by: A201.S.W. Scale: 1:150.

C:\Users\Project\A209\A209_Bronte Village_Mall\A209_Bronte Village_Mall.dwg



1 Building 'A' Roof Plan
A209.S.W. SCALE: 1 : 150

Date	No.	Description
2018-04-27	1	ISSUED FOR SPA RESUBMISSION
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REVISION RECORD

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2017-08-03	SITE PLAN APPLICATION

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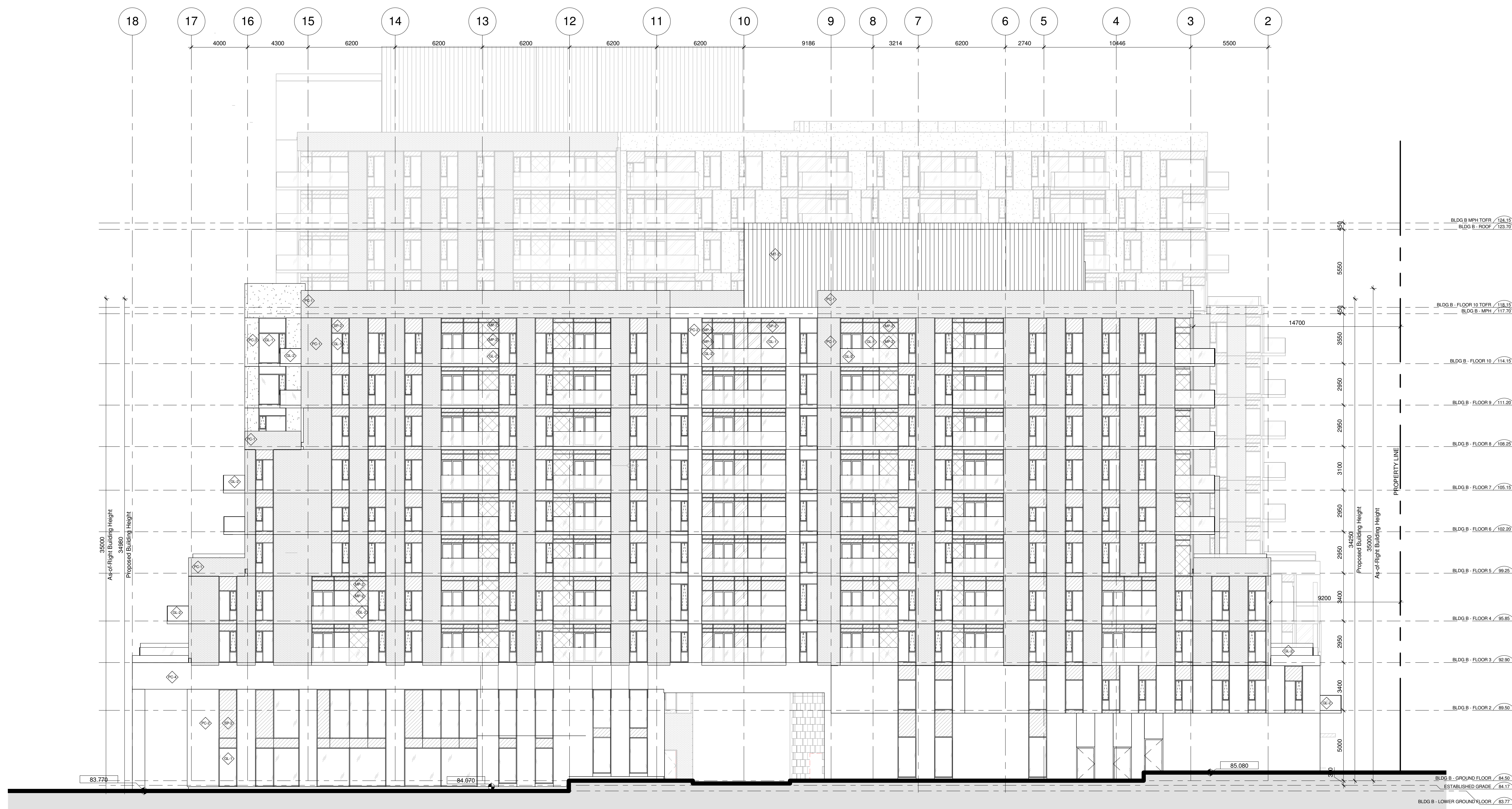
16063 1 : 150 TB/CQ/AA LP/IK
PROJECT SCALE DRAWN REVIEWED

Building 'A' and 'B' Roof Plan
(2018/04/27)

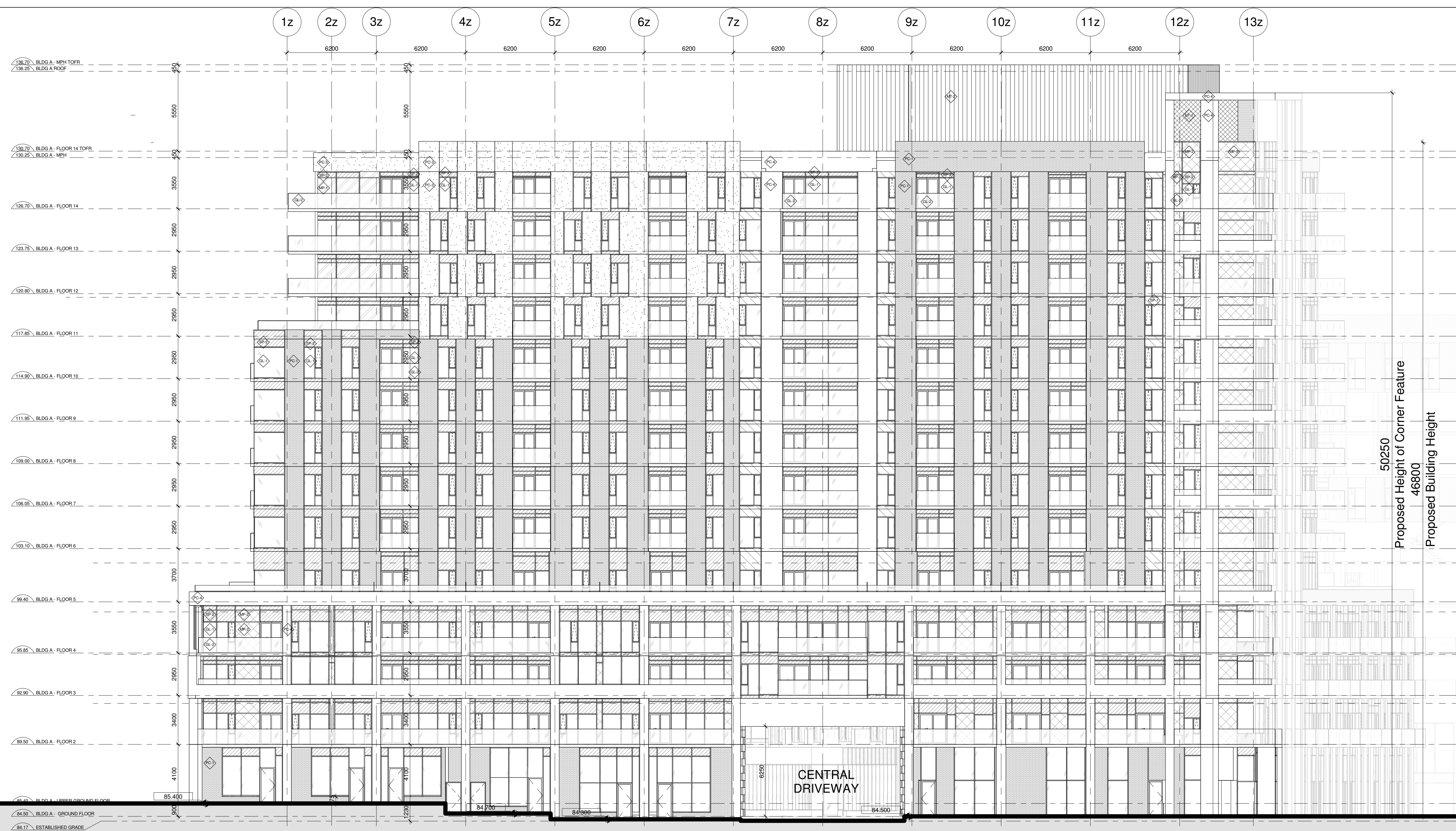
A209.S.W.

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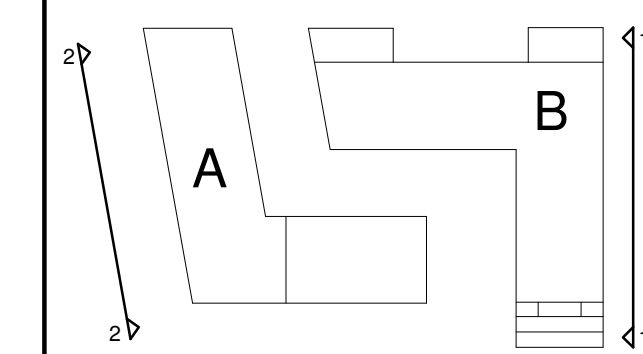
2018-04-26 4:23:17 PM



1 EAST ELEVATION
A401.S.W.



2 WEST ELEVATION
A401.S.W.



LEGEND:

- EF-1 EFS - FEATURE COLOUR
- GL-1 VISION GLASS
- GL-2 GLASS BALCONY GUARD
- PC-1 PRECAST CONCRETE PANEL - BLACK BRICK PATTERN
- PC-2 PRECAST CONCRETE PANEL - WHITE TEXTURED FINISH
- PC-3 PRECAST CONCRETE PANEL - WHITE SMOOTH FINISH
- PC-4 PRECAST CONCRETE PANEL - WHITE EXPOSED AGGREGATE FINISH
- MT-1 METAL PANEL SYSTEM - WHITE
- MT-2 METAL PANEL SYSTEM - BLACK
- SP-1 SPANDREL GLASS - DARK GRAY
- SP-2 SPANDREL GLASS - LIGHT GRAY
- WD-1 WOOD VENEER ALUMINUM

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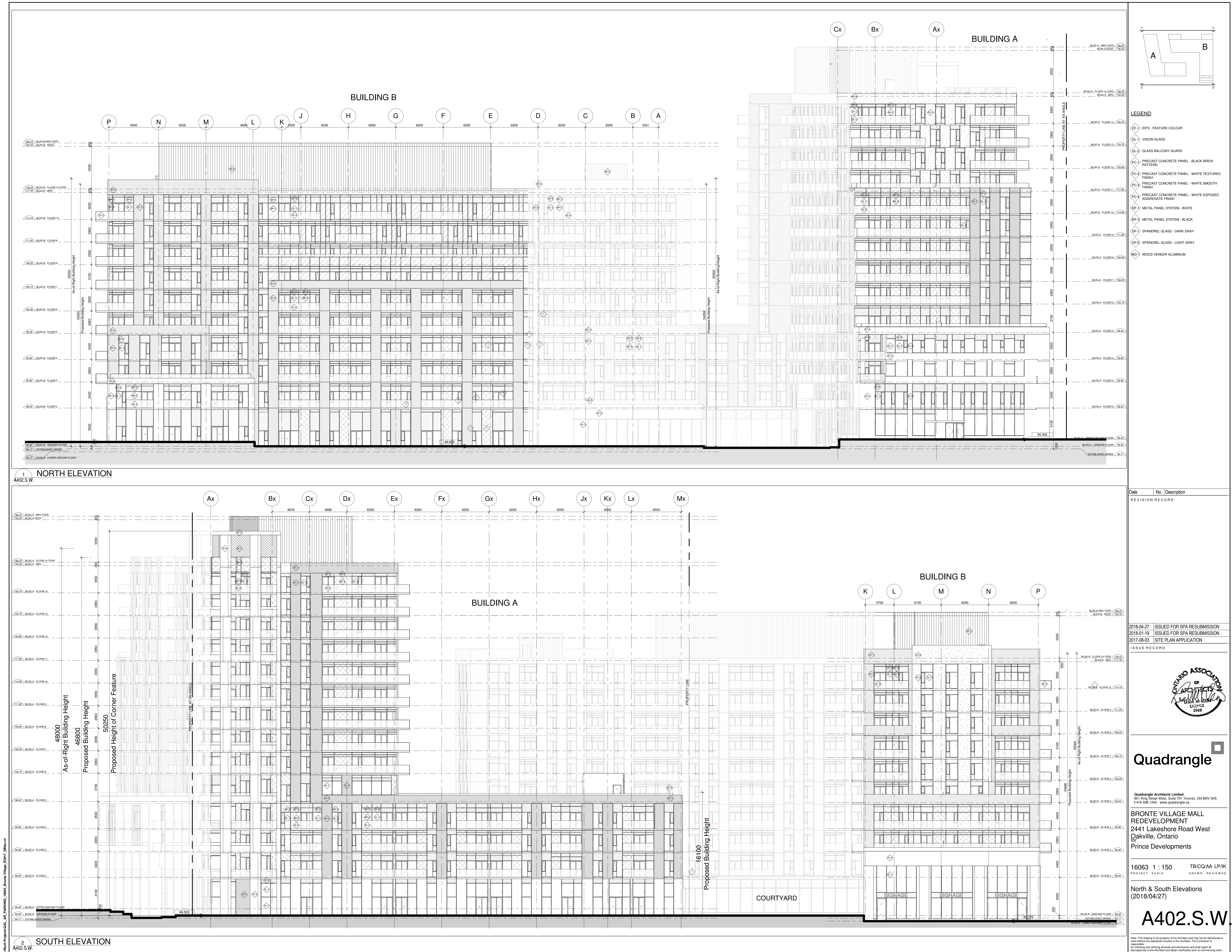
BRONTE VILLAGE MALL
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2441 Lakeshore Road West
Oakville, Ontario
L6T 1G1
Prince Developments

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PROJECT SCALE DRAWN REVIEWED

East & West Elevations
(2018/04/27)

A401.S.W.

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- LEGEND:
- EF-1 EIFS - FEATURE COLOUR
 - GL-1 GLASS
 - GL-2 GLASS BALCONY GUARD
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REVISION RECORD

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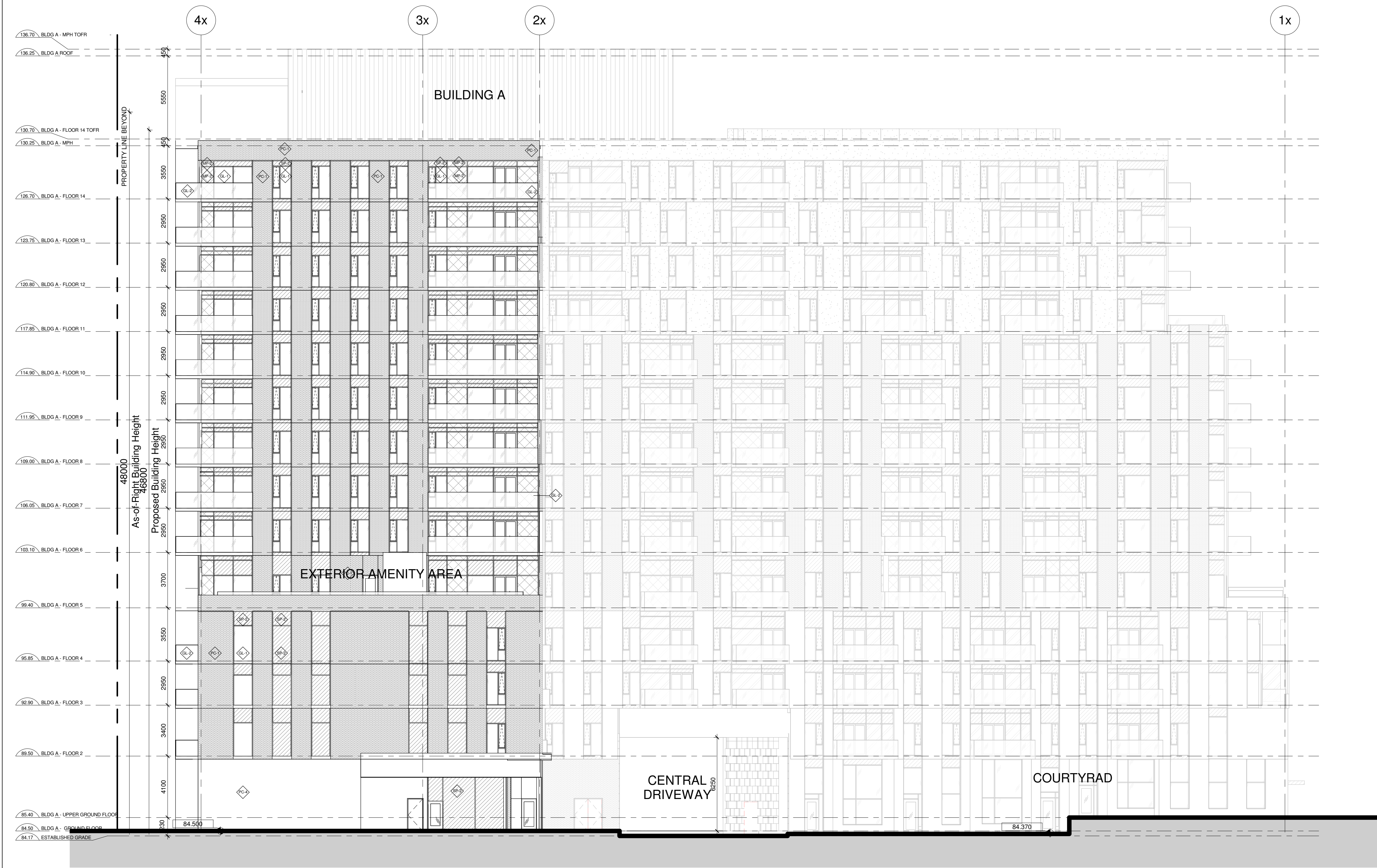
**BRONTE VILLAGE MALL
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2441 Lakeshore Road West
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16063 1 : 150 TB/CO/AA LP/K
PROJECT SCALE DRAWN REVIEWED

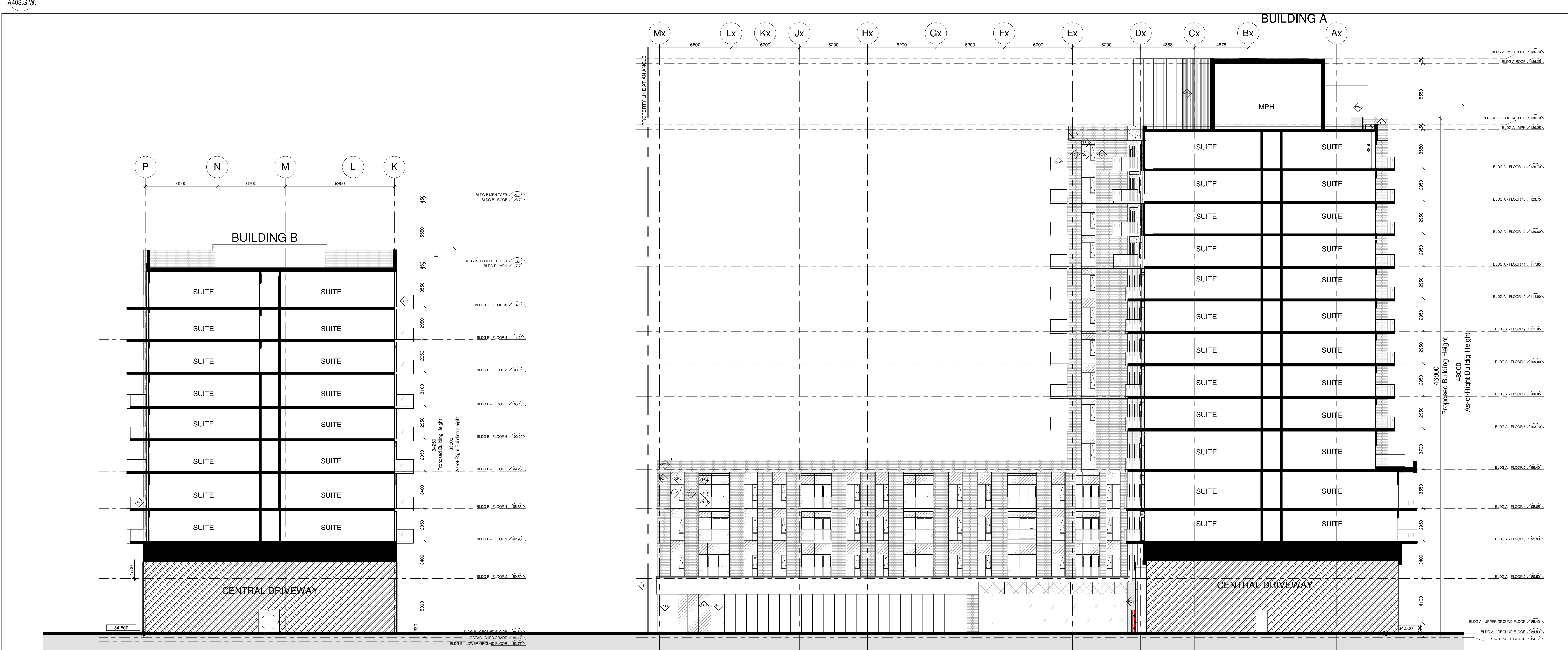
North & South Elevations
(2018/04/27)

A402.S.W

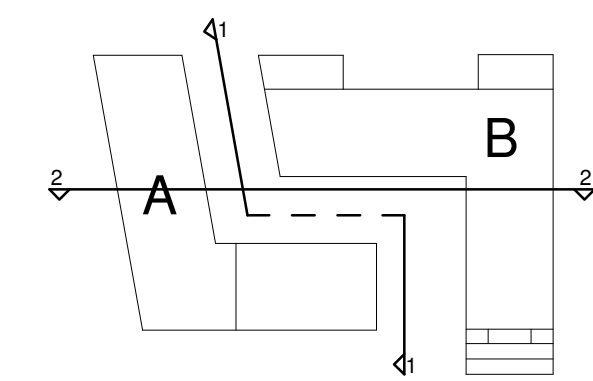
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1 COURT YARD ELEVATION LOWER EAST



9 COURT YARD ELEVATION NORTH



- LEGEND:
- EF-1 EIFS - FEATURE COLOUR
 - GL-1 GLASS BALCONY GUARD
 - GL-2 GLASS BALCONY GUARD
 - PC-1 PRECAST CONCRETE PANEL - BLACK BRICK PATTERN
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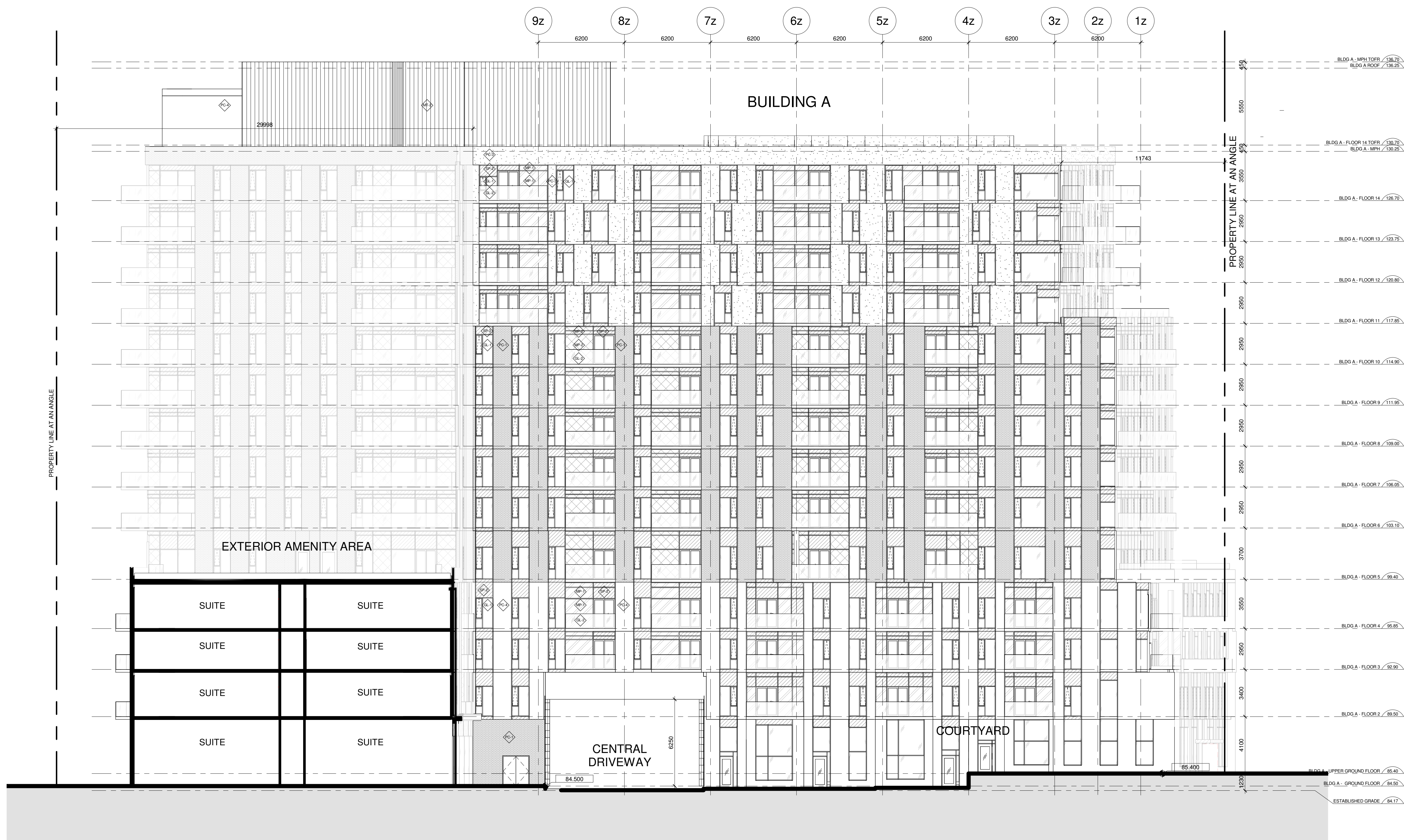
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16063 1: 150 TB/CO/AA LP/K
PROJECT SCALE DRAWN REVIEWED

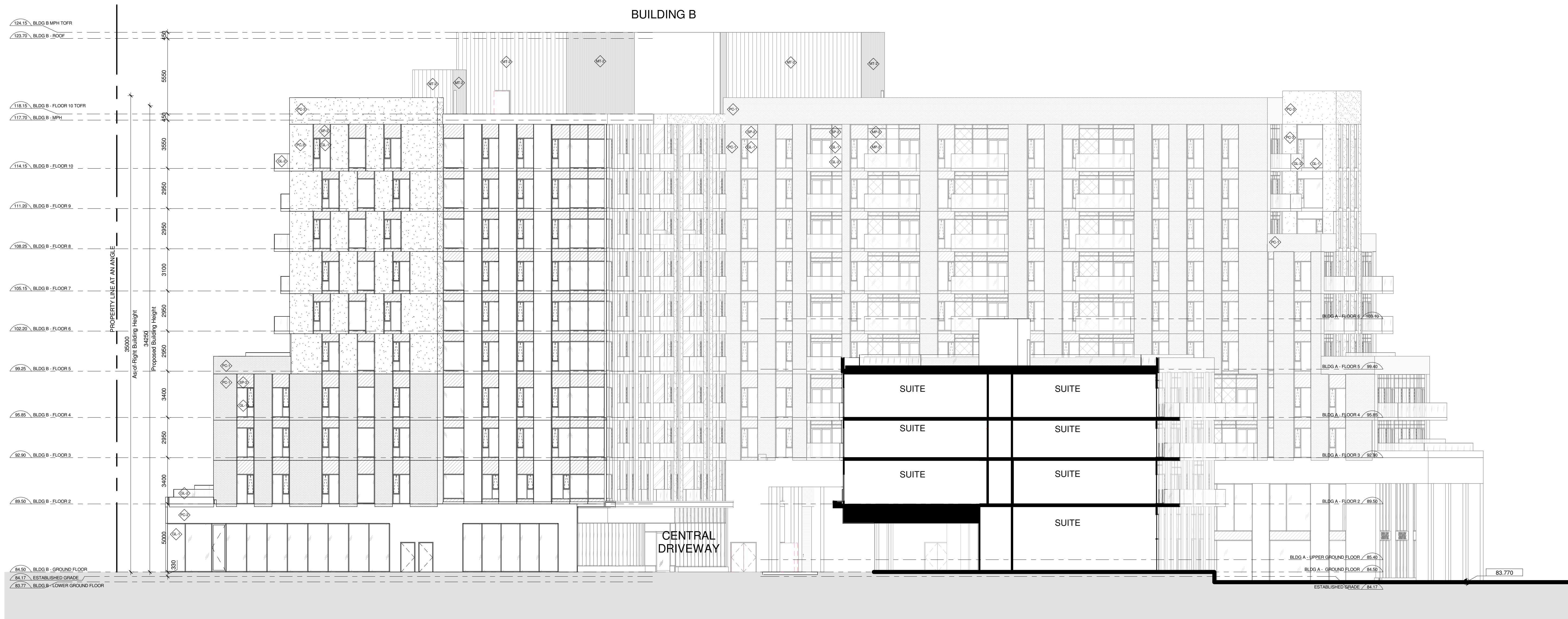
Elevation Along "Central
Driveway" (2018/04/27)

A403.S.W

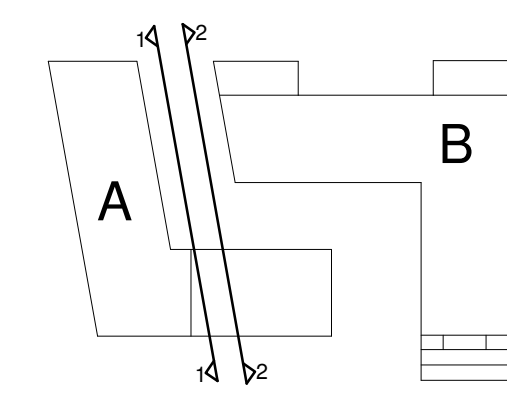
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1
A404.S.W. COURTYARD ELEVATION_UPPER EAST



2
A404.S.W. COURTYARD ELEVATION_UPPER WEST



LEGEND:

- EF-1 EFS - FEATURE COLOUR
- GL-1 VISION GLASS
- GL-2 GLASS BALCONY GUARD
- PC-1 PRECAST CONCRETE PANEL - BLACK BRICK PATTERN
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Date	No.	Description
REVISION RECORD		

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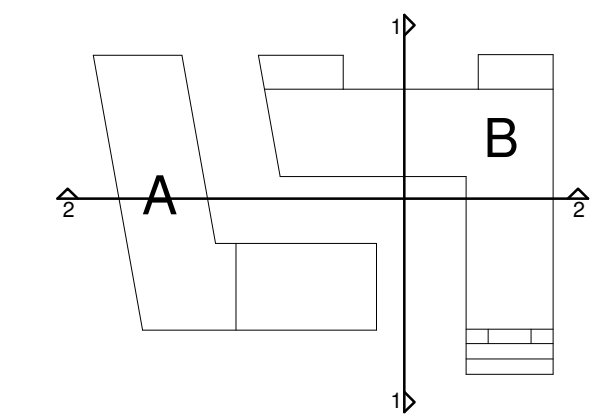
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PROJECT SCALE DRAWN REVIEWED

Elevation Along "Central
Driveway" (2018/04/27)

A404.S.W

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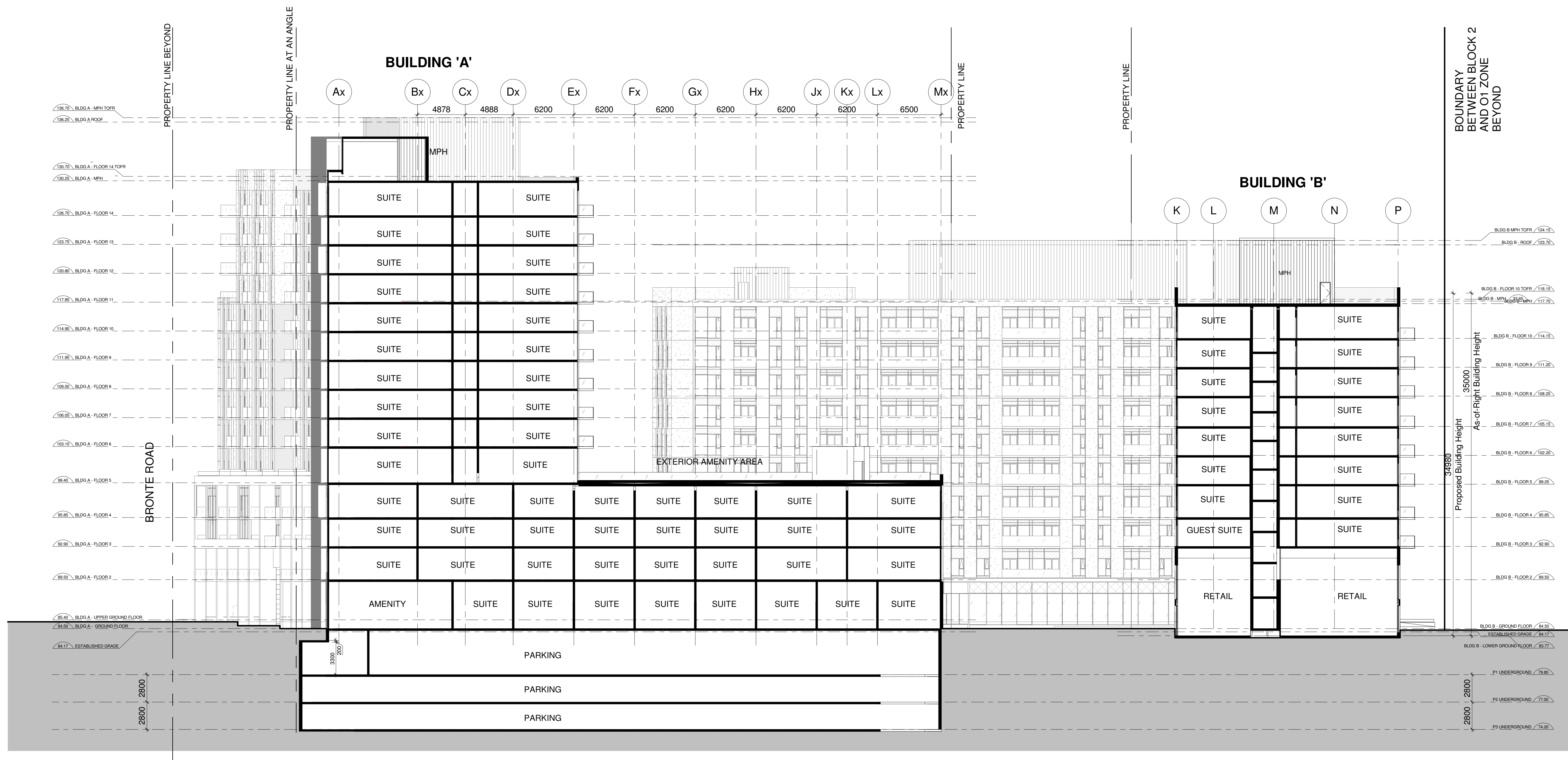
- 1 COURTYARD ELEVATION_LOWER WEST
A405.S.W.



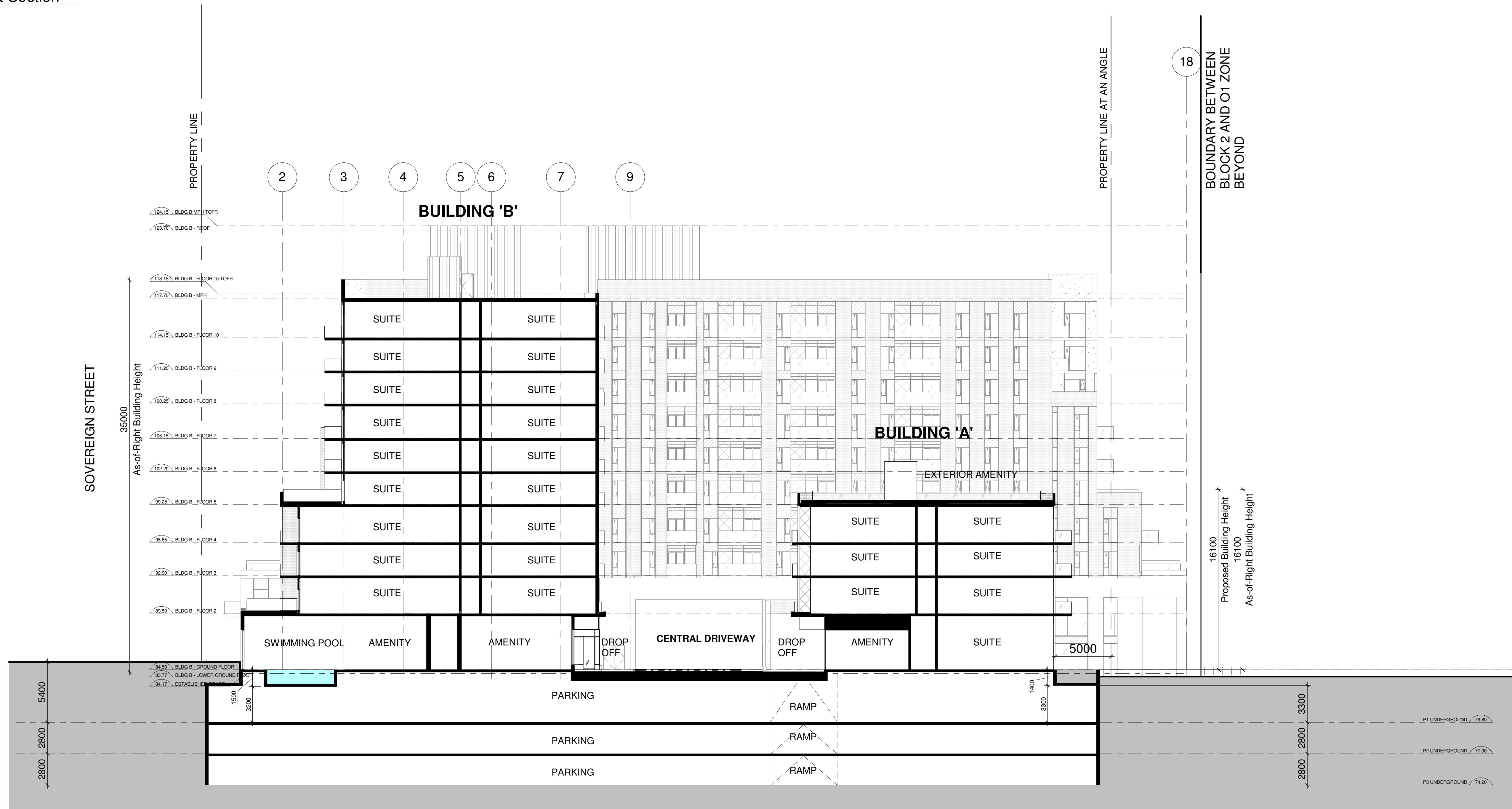
ONTARIO ASSOCIATION
OF
ARCHITECTS
LESLIE M. KLEIN
LICENCE
2969

A405.S.V

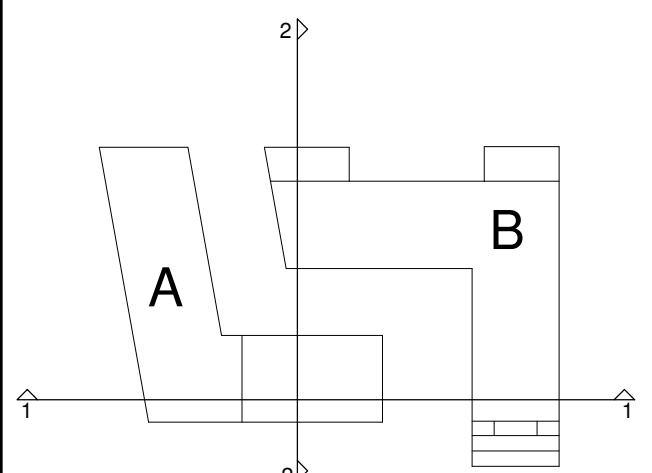
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1 East/West Section
A451.S.W. SCALE: 1:200



2 North/South Section
A451.S.W.



LEGEND:

- EF-1 EIFS - FEATURE COLOUR
- GL-1 VISION GLASS
- GL-2 GLASS BALCONY GUARD
- PC-1 PRECAST CONCRETE PANEL - BLACK BRICK PATTERN
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Date	No.	Description
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2017-08-03	SITE PLAN APPLICATION	

2018-04-27	ISSUED FOR SPA RESUBMISSION
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2017-08-03	SITE PLAN APPLICATION

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16063 As indicated LP/IK
PROJECT SCALE DRAWN REVIEWED

Building Sections (2018/04/27)

A451.S.W.

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