

OLD BRONTE ROAD (REGION ROAD 25)

(RENAMED BY BY-LAW 2008-120, INST. HR727340)
ORIGINAL ROAD ALLOWANCE BETWEEN LOTS 30 AND 31,
CONCESSION 1, SOUTH OF DUNDAS STREET - BRONTE ROAD
PART 2, PLAN 20R-17819
PIN 25071-0657(LT)

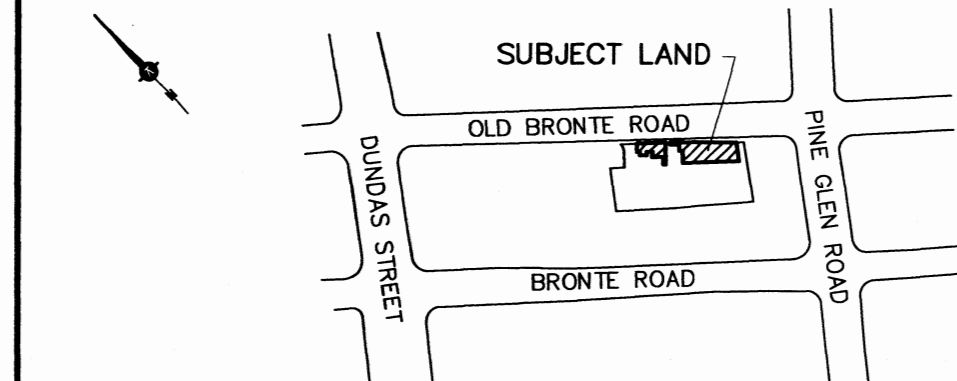
CONDOMINIUM TYPE:
STANDARD

DRAFT PLAN OF CONDOMINIUM OF
PART OF LOT 31
CONCESSION 1
SOUTH OF DUNDAS STREET
(GEOGRAPHIC TOWNSHIP OF TRAFALGAR, COUNTY OF HALTON)
TOWN OF OAKVILLE
REGIONAL MUNICIPALITY OF HALTON

SCALE 1:200

KRCMAR SURVEYORS LTD. 2023

METRIC: DISTANCES SHOWN HEREON ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048



ADDITIONAL INFORMATION REQUIRED UNDER SECTION 51(7) OF THE PLANNING ACT

- (A) AS SHOWN ON DRAFT PLAN
- (B) AS SHOWN ON DRAFT PLAN
- (C) AS SHOWN ON DRAFT PLAN
- (D) MIXED USE
- (E) AS SHOWN ON DRAFT PLAN
- (F) AS SHOWN ON DRAFT PLAN
- (G) AS SHOWN ON DRAFT PLAN
- (H) SPIRED WATER
- (I) SILTY CLAY TILL
- (J) AS SHOWN ON DRAFT PLAN
- (K) FULLY SERVICED
- (L) AS SHOWN ON DRAFT PLAN

SITE DATA
MUNICIPAL ADDRESS: No. 2450 OLD BRONTE ROAD, OAKVILLE
OF RETAIL UNITS = 6
OF RETAIL PARKING UNITS = 10
OF COMMERCIAL PARKING SPACES = 23 (Includes 3 Accessible Parking)

NOTES AND LEGEND

- DENOTES CONDOMINIUM BOUNDARIES
- DENOTES BOUNDARIES OF UNITS AND/OR EXCLUSIVE USE PORTIONS
- DENOTES FACE OF COMMON ELEMENTS
- UP DENOTES STAIRS UP
- DN DENOTES STAIRS DOWN
- CACF DENOTES CENTRAL ALARM AND CONTROL FACILITY
- FHC DENOTES FIRE HOSE CABINET
- GC DENOTES GARBAGE CHUTE
- PCH DENOTES PORCH
- PF DENOTES PIERCE FOUNDATION
- TT DENOTES TERRACE
- DENOTES PART OF THE COMMON ELEMENTS NOT INCLUDED IN UNIT
- NP DENOTES NOT PART OF THIS PLAN

BEARING

BEARINGS SHOWN HEREON ARE GRID (UTM NAD83 (CGRS(2011))) AND ARE REFERRED TO THE SOUTHERLY LIMIT OF OLD BRONTE ROAD, AS SHOWN ON PLAN 20R-20816, HAVING A BEARING OF N46°16'05" W.

ELEVATION

ALL EXISTING GRADE ELEVATIONS SHOWN HEREON ARE TAKEN FROM TOPOGRAPHIC SURVEYS BY KRCMAR SURVEYORS O.L.S. LTD., DATED JANUARY 24, 2018. ELEVATIONS SHOWN HEREON ARE GEODETIC AND ARE RELATED TO TOWN OF OAKVILLE BENCH MARK No. 273, HAVING AN ELEVATION OF 154.275 METRES.

OWNER'S CERTIFICATE

I HEREBY AUTHORIZE THE PREPARATION AND SUBMISSION OF THIS CONDOMINIUM DRAFT PLAN FOR APPROVAL.
DECLARANT: ZANCOR OAKVILLE LTD.

DATE: AUGUST 10, 2023

DATE: AUGUST 10, 2023

FABRIZIO CONTEGROSSI
I HAVE AUTHORITY TO SIGN THE COOPERATION

EDUARDO LINARES
ONTARIO LAND SURVEYOR

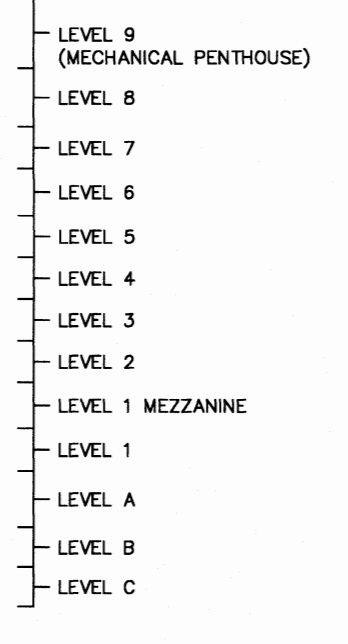
MUNICIPAL ADDRESS: No. 2450 OLD BRONTE ROAD, OAKVILLE
FIELD: N/A | DRAWN: SC/MZ | CHECKED: M.K. | JOB NO: 17-034
DWG NAME: 17-034/002 | PLOT INFO: 13/31/AUG/2023 | WORK ORDER NO: 32299
1137 Centre Street, Thornhill, ON L4J 3M6 | 905.738.0053 | F 905.738.9221 | www.krcmar.ca
PLAN AVAILABLE AT www.ProtectYourBoundaries.ca



Table with 4 columns: Required, Provided, Required, Provided. Rows include Residential, Visitor, Non-Res Retail, and various parking metrics.

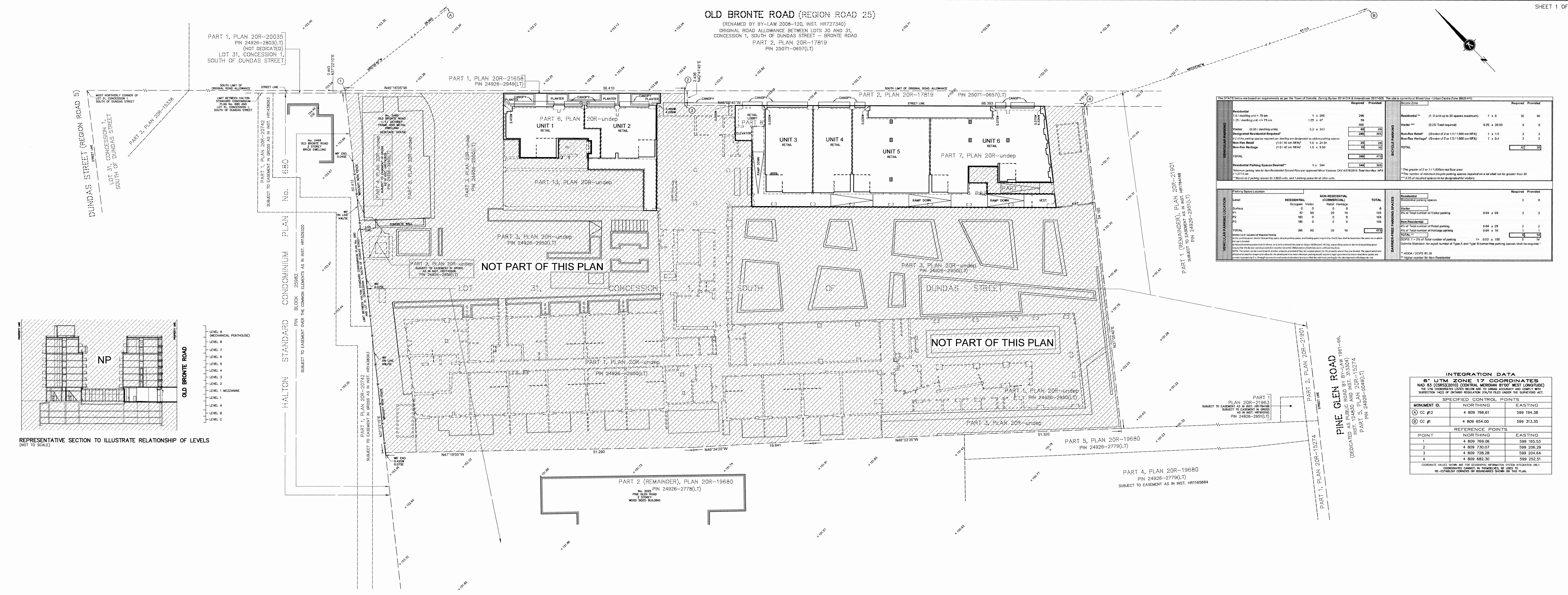
Table with 4 columns: Required, Provided, Required, Provided. Rows include Residential, Visitor, Non-Residential, and various parking metrics.

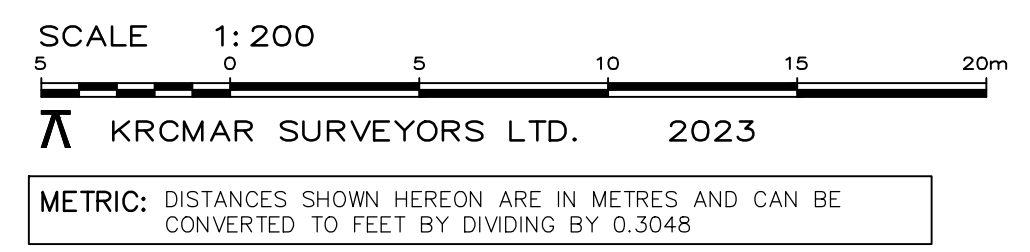
INTEGRATION DATA table showing SPECIFIED CONTROL POINTS and REFERENCE POINTS with columns for MONUMENT ID, NORTHING, and EASTING.



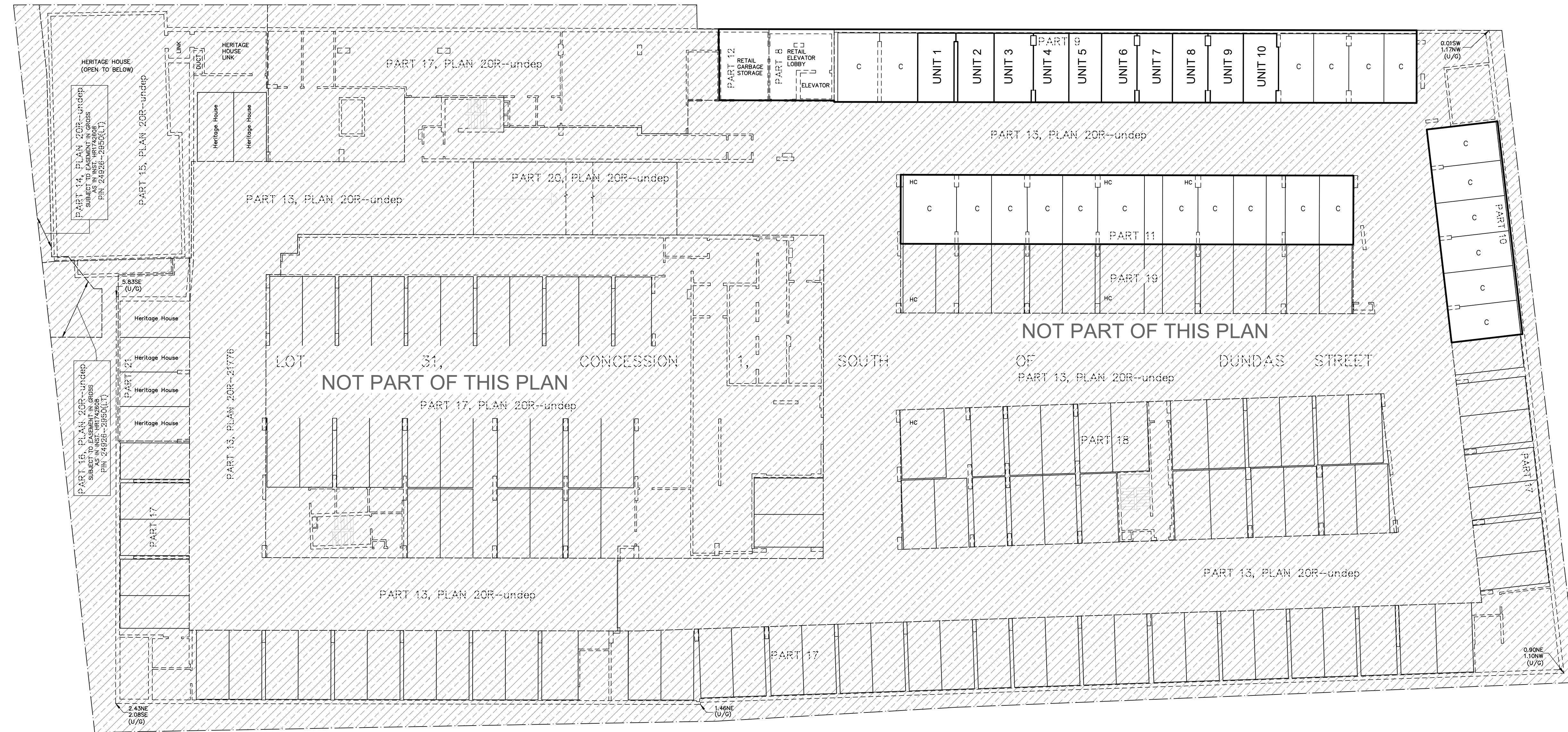
REPRESENTATIVE SECTION TO ILLUSTRATE RELATIONSHIP OF LEVELS (NOT TO SCALE)

PLAN VIEW - ILLUSTRATING UNITS 1 TO 6 INCLUSIVE (Retail) LEVEL 1



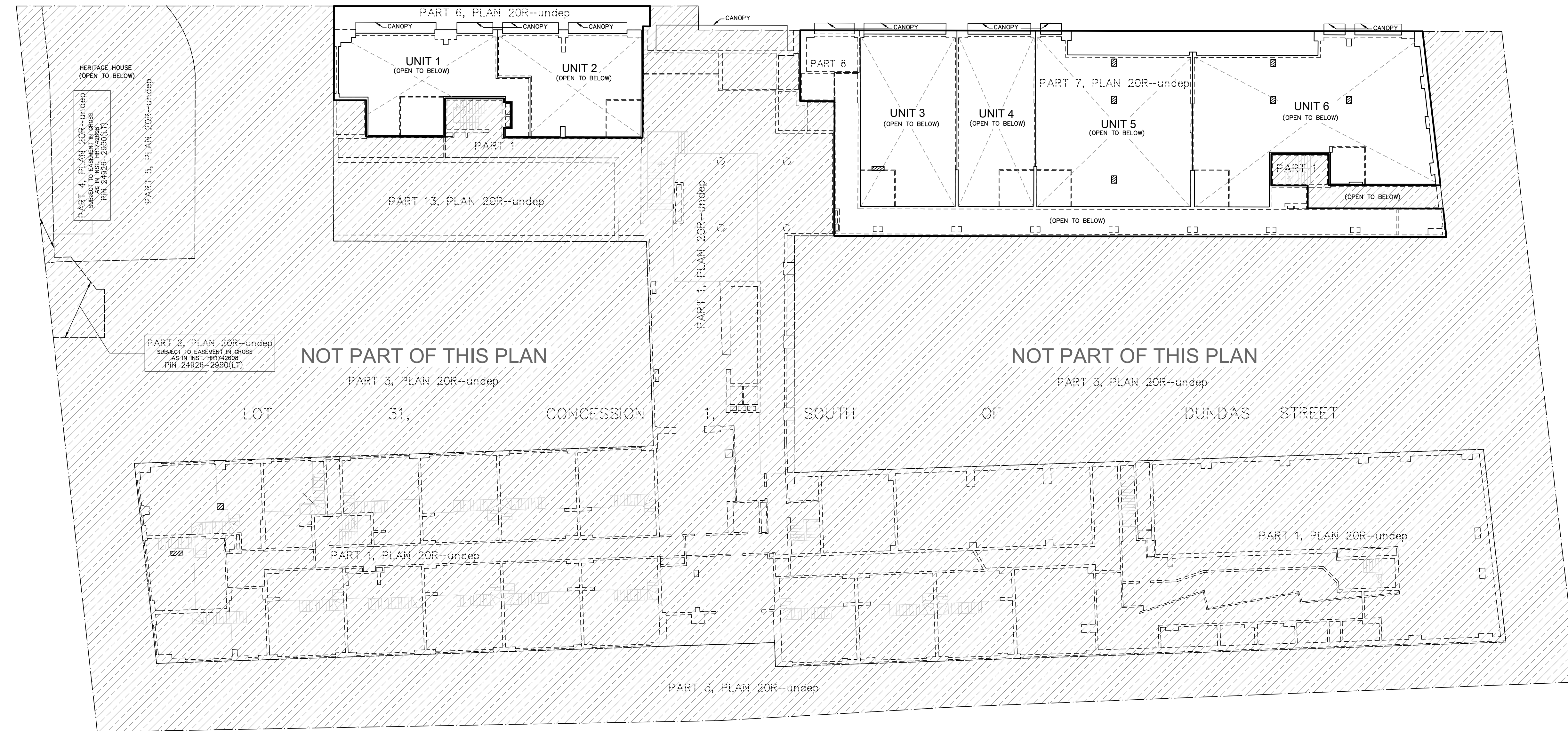


OLD BRONTE ROAD (REGION ROAD 25)



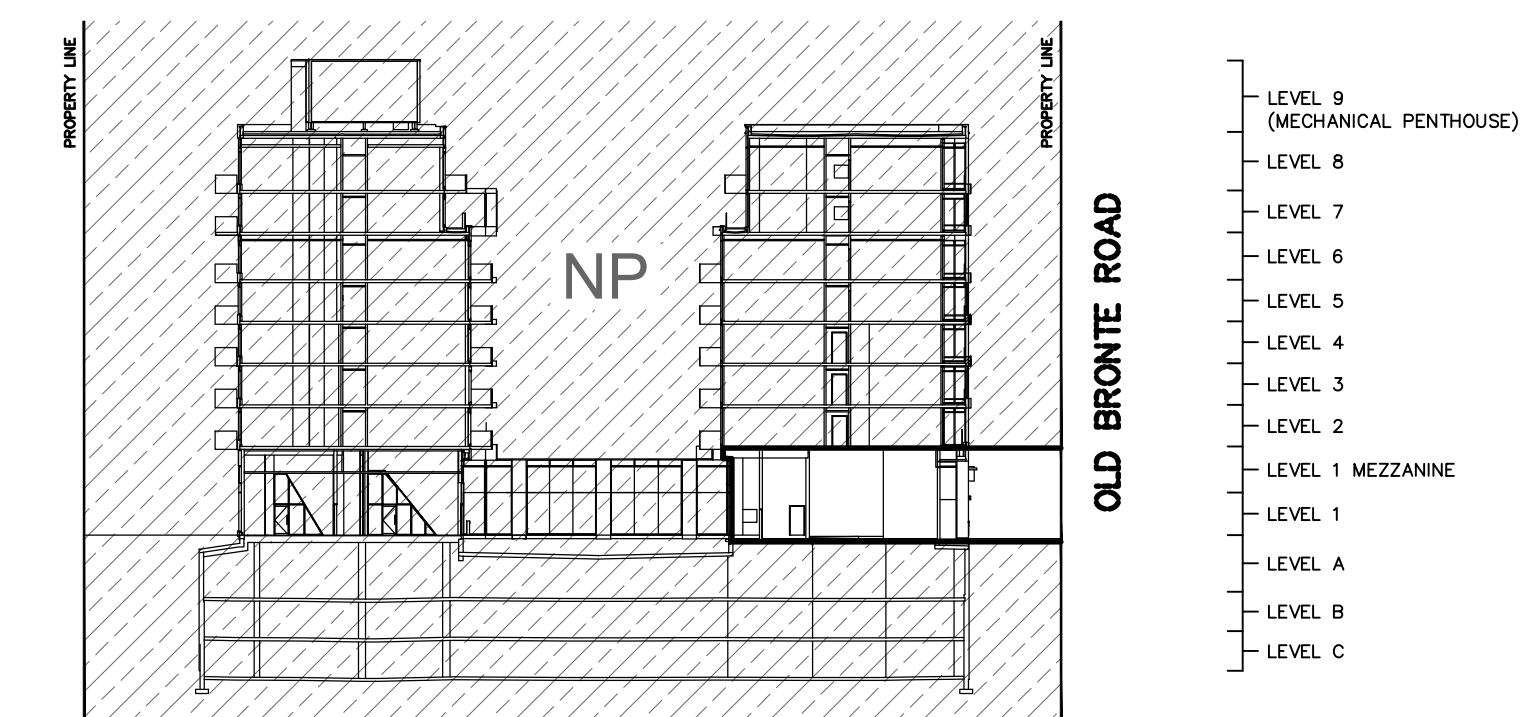
PLAN VIEW – ILLUSTRATING UNITS 1 TO 10 INCLUSIVE (Retail Parking)
 23 Commercial Parking Spaces, (Including 3 Accessible Parking)
LEVEL A

OLD BRONTE ROAD (REGION ROAD 25)



PLAN VIEW – ILLUSTRATING NO UNITS
LEVEL 1 MEZZANINE

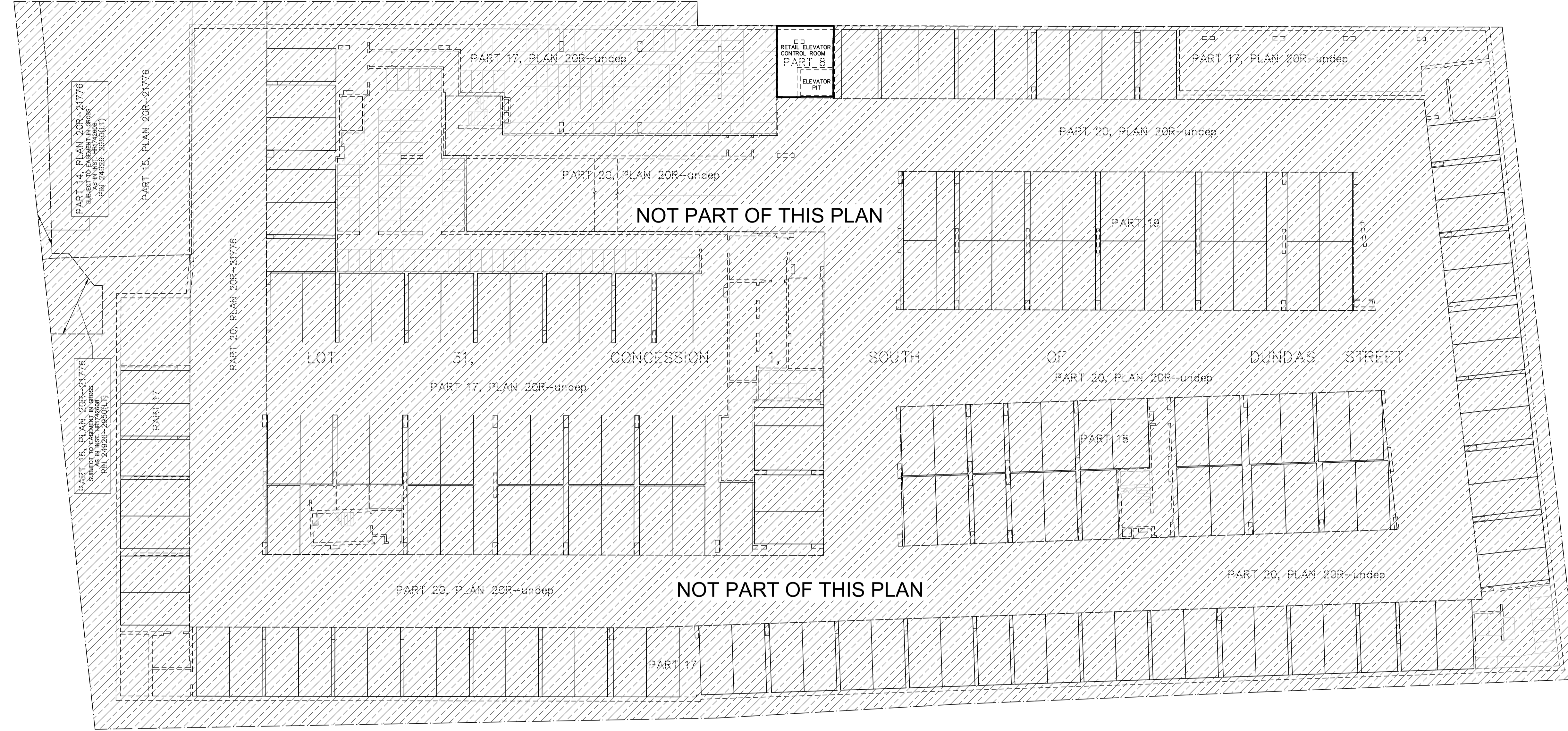
- NOTES AND LEGEND**
- DENOTES CONDOMINIUM BOUNDARIES
 - - - DENOTES BOUNDARIES OF UNITS AND/OR EXCLUSIVE USE PORTIONS OF THE COMMON ELEMENTS
 - - - DENOTES FACE OF STRUCTURE
 - UP DENOTES STAIRS UP
 - DN DENOTES STAIRS DOWN
 - FHC DENOTES FIRE HOSE CABINET
 - SH DENOTES SHIRT
 - GC DENOTES GARBAGE CHUTE
 - EC DENOTES ELECTRICAL CLOSET
 - HC DENOTES ACCESSIBLE PARKING
 - C DENOTES COMMERCIAL PARKING SPACE
 - NP DENOTES PART OF THE COMMON ELEMENTS NOT INCLUDED IN UNIT
 - NP DENOTES NOT PART OF THIS PLAN



REPRESENTATIVE SECTION TO ILLUSTRATE RELATIONSHIP OF LEVELS
 (NOT TO SCALE)

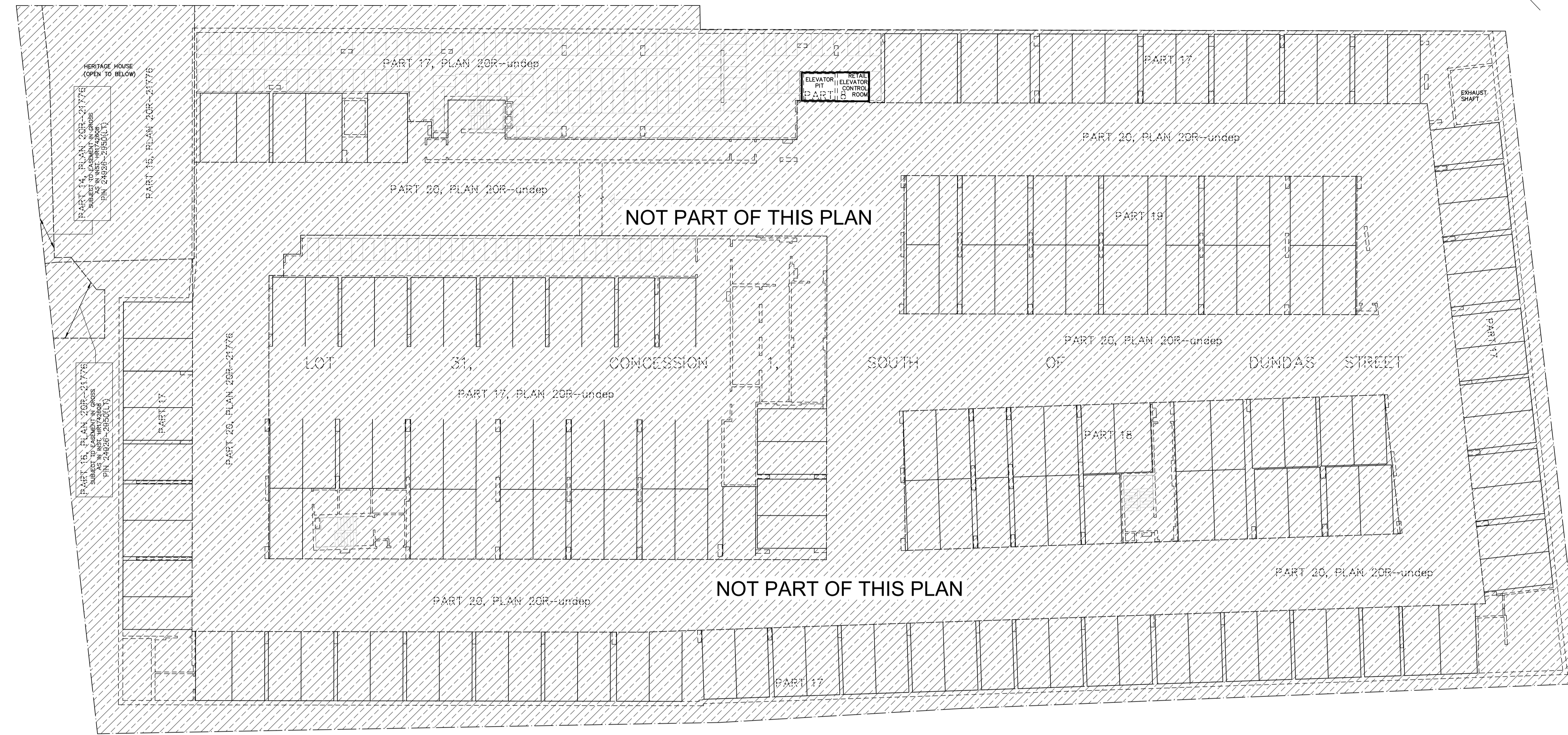
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|--|
| MUNICIPAL ADDRESS: 16 2450 OLD BRONTE ROAD, OAKVILLE |
| FILED: N/A DRAWING: SSMZ CHECKED: MK JOB NO: 17-024 |
| DWG NAME: 17-0340C02 PLOT INFO: 13.57 31.04.2023 WORK ORDER NO: 32299 |
| 1137 Centre Street, Thornhill, ON L4J 3M6 905.738.0053 F 905.738.9221 www.krcmar.ca |
| PLAN AVAILABLE AT www.ProtectYourBoundaries.ca |

OLD BRONTE ROAD (REGION ROAD 25)



PLAN VIEW - ILLUSTRATING NO UNITS LEVEL C

OLD BRONTE ROAD (REGION ROAD 25)



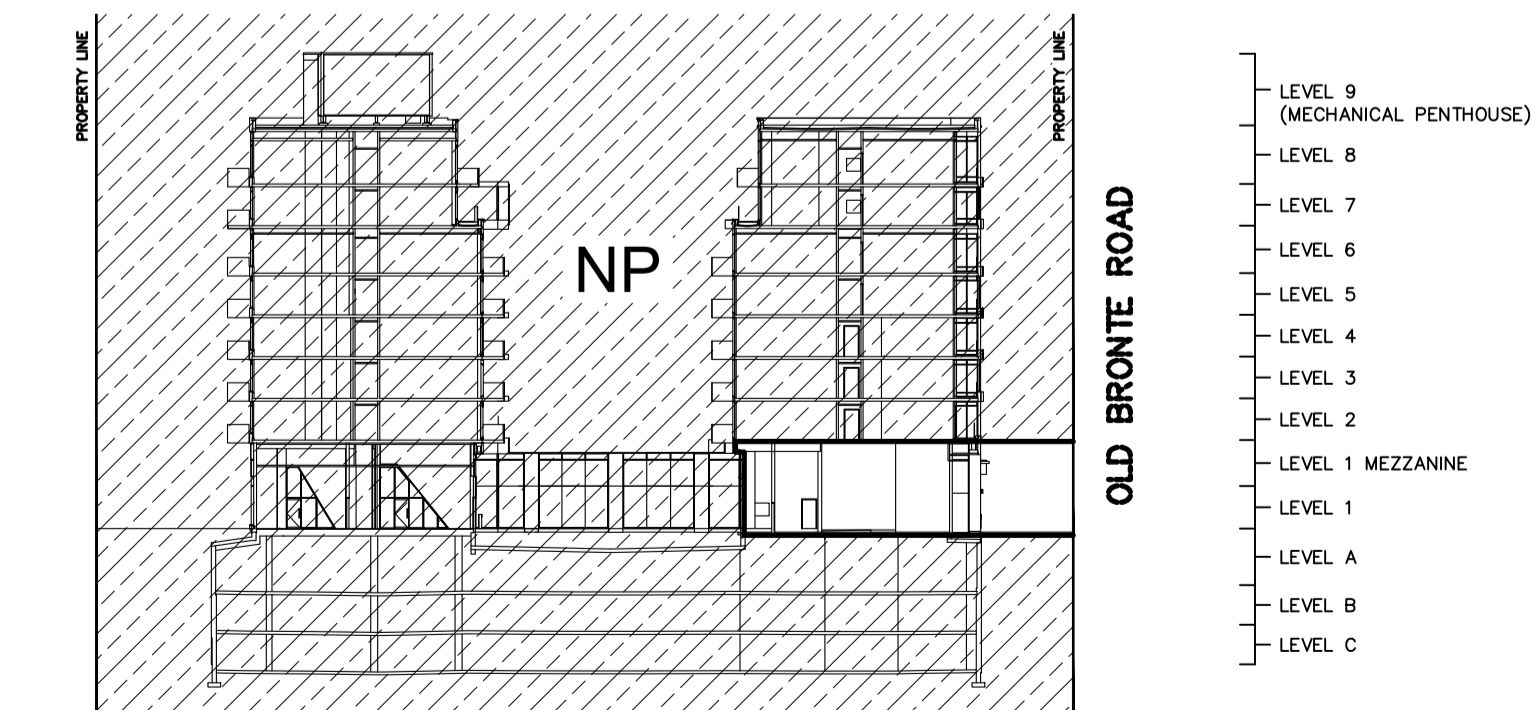
PLAN VIEW - ILLUSTRATING NO UNITS LEVEL B

SCALE 1:200

KRCMAR SURVEYORS LTD. 2023

METRIC: DISTANCES SHOWN HEREON ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048

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REPRESENTATIVE SECTION TO ILLUSTRATE RELATIONSHIP OF LEVELS (NOT TO SCALE)

| | | | |
|---|------------|--|----------------|
| MUNICIPAL ADDRESS: No. 2450 OLD BRONTE ROAD, OAKVILLE | | | |
| FIELD: | N/A | DRAWN: | SS/MZ |
| DWG NAME: | 17-0342022 | PLOT INFO: | 13-57-314/0223 |
| 1137 Gables Street, Thornhill ON L4J 3M5 | | 905.738.0053 F: 905.738.3021 www.krcmar.ca | |
| PLAN AVAILABLE AT: www.ProtectYourBoundaries.ca | | | |