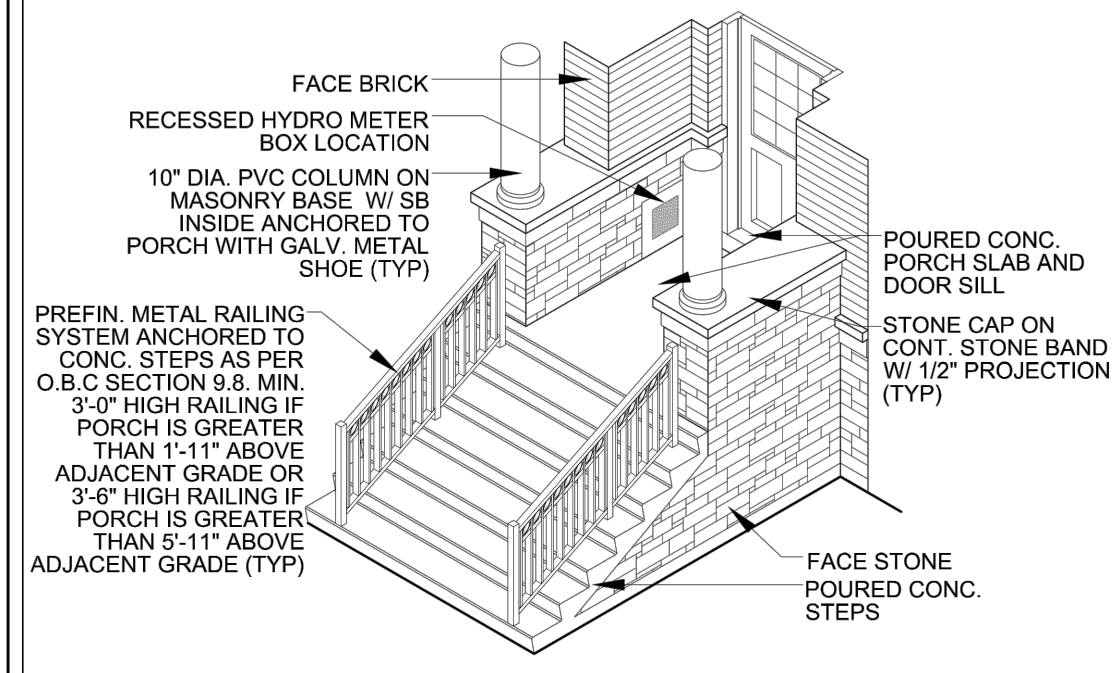
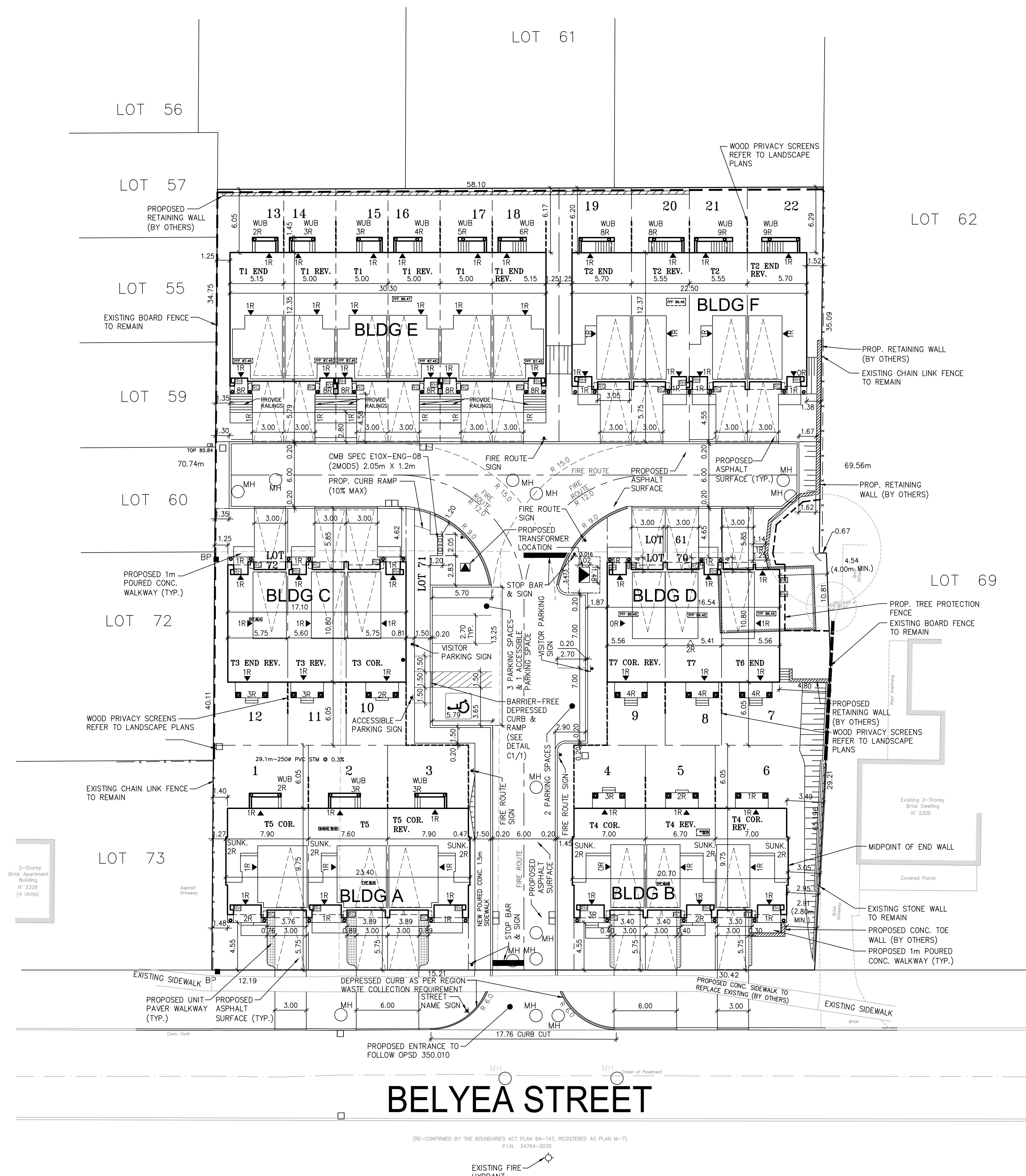


(DIAGRAM 39.G - CURB RAMP AT NARROW SIDEWALK FROM OAKVILLE UNIVERSAL DESIGN STANDARD V2.1)

C1 CURB RAMP DETAIL
1 N.T.S.



P1 PORCH DETAIL
1 N.T.S.



SITE PLAN
SCALE 1:250

GENERAL SITE STATISTICS

SITE AREA:	4372 m ² (0.437 ha)
TOTAL UNITS PROPOSED:	22
DENSITY:	50.34 units / ha
MIN. LANDSCAPING COVERAGE:	REQ'D 437.10 m ² (10%)
MAX. COVERAGE OF DWELLING ON LOT: (INCLUDING PORCH)	PROPOSED 1568.44 m ² (36%) 1540.08 m ²
PARKING REQUIREMENTS	REQ'D PROPOSED
MAX. NUMBER OF UNITS =	22 22
RESIDENT PARKING 2 PER UNIT X 22 =	44 44
VISITOR PARKING 0.25 PER UNIT (INCLUDING DESIGNATED PARKING)	6 6
DESIGNATED PARKING (3 - 25 SPACES = 1)	1 1
(REQ'D BY-LAW 2014-014, BASED ON PROVIDED VISITOR PARKING)	

UNIT BREAKDOWN

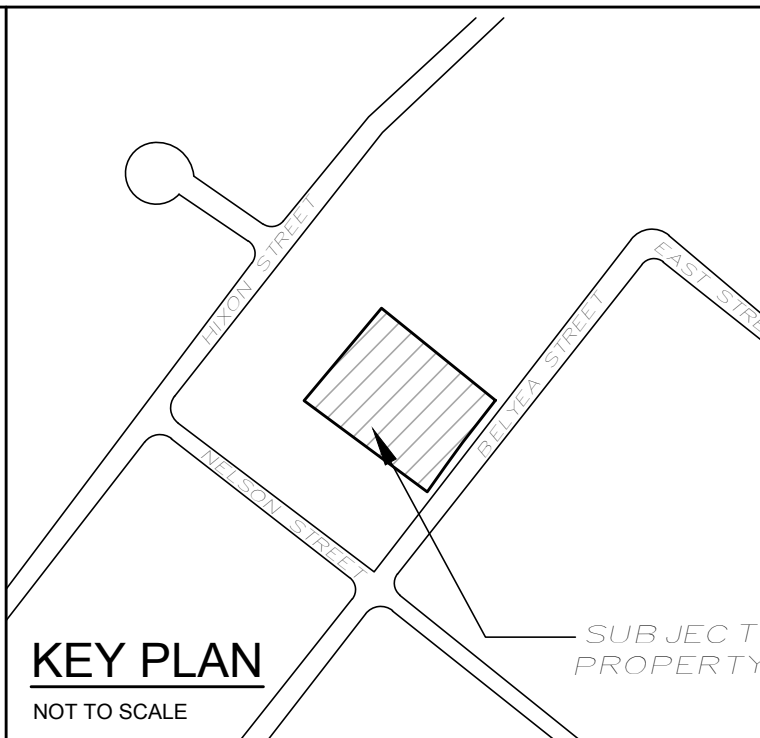
T1	6 UNITS
T2	4 UNITS
T3	3 UNITS
T4	3 UNITS
T5	3 UNITS
T6	1 UNIT
T7	2 UNITS
TOTAL UNIT COUNT =	22 UNITS

LEGEND

■	AIR CONDITIONING UNIT	▨	EMBANKMENT 3:1 SLOPE MAX
■	RECESSED HYDRO METER	▨	FINISHED FLOOR ELEVATION
■	HYDRO METER	▨	TOP OF FOUNDATION WALL @ GARAGE
■	GAS METER	▨	TOP OF FOUNDATION WALL @ SIDE
○	BELL POLE	▨	TOP OF FOUNDATION WALL
○	GAS MARKER	▨	BASEMENT FLOOR ELEVATION
○	HYDRO POLE	▨	UNDERSIDE OF FOOTING
○	STREET LIGHT	▨	UNDERSIDE OF FTG-GARAGE
○	TRAFFIC SIGNAL	▨	UNDERSIDE OF FTG-SIDE
○	FIRE HYDRANT	▨	UNDERSIDE OF FTG-REAR
○	TRANSFORMER	▨	UNDERSIDE OF FTG-PORCH
○	HANDWELL	▨	DROP BRICK FACE
○	SIW	▨	WALK OUT DECK
○	VALVE CHAMBER	▨	WALK OUT BASEMENT
○	WATER SERVICE	▨	SEM WALK OUT
○	WATER VALVE	▨	BOTTOM OF WALL
○	SPRINKLER VALVE	▨	TOP OF WALL
○	CATCH BASIN	▨	REVERSE PLANS
○	STORM & SANITARY CONNECT	▨	NUMBER OF RISERS
○	SINGLE STORM & SANITARY	▨	PROPOSED ELEVATION
○	SWALE DIRECTION	▨	EXISTING ELEVATION TO BE MAINTAINED
○	ACCESSIBLE PARKING	▨	EXISTING ELEVATION
○	CABLE TV PEDESTAL	▨	1.8 m HIGH NOISE FENCE
○	TELEPHONE PEDISTAL	▨	WOOD PRIVACY FENCE
○	SUPER MAIL BOX	▨	PERIMETER WOOD FENCE
○	EXTERIOR DOOR LOCATION	▨	DECORATIVE FENCE
○	DOOR LOCATION	▨	
○	OPTIONAL DOOR LOCATION	▨	
○	DROPPED GARAGE SLAB	▨	
○	SIDE WINDOW LOCATION	▨	
○	DOWNSPOUT LOCATION	▨	

GENERAL NOTES

1. PRIVACY SCREENING WILL BE INSTALLED FOR THE THIRD STOREY BALCONY ON POTLS 6 & 7 TO PROVIDE NEIGHBOURING LOT 69 WITH PRIVACY.
2. ALL LIGHTING DEVICES WILL BE FULL CUT OFF AND NIGHT SKY FRIENDLY, AND ARE TO BE MITIGATED AT THE SOURCE SO THAT NO LIGHT (0.0 LUX) WILL BE DIRECTLY PROJECTED ONTO ADJACENT PROPERTIES.
3. SNOW REMOVAL SERVICE WILL BE PROVIDED & ALL SNOW WILL BE TRUCKED & STORED OFF-SITE.
4. DEPRESSED CURBS FOR WASTE COLLECTION ARE NOTED ON SITE PLAN.



No.	Description	Date	Rev.
16	ISSUED TO MHBC FOR SPA.	JULY 6, 2022	KG
15	UPDATED BLDG D FOOTPRINT, PROVIDED 1.8 TO PARALLEL PARKING. ISSUED TO KLM, VALDOR, 7 OAKS & CLIENT FOR COORDINATION.	MAY 09, 2022	KG
14	UPDATE FINISHED FLOORS. ISSUED TO KLM, VALDOR, & CLIENT FOR COORDINATION.	APR. 26, 2022	KG
13	UPDATED RETAINING WALL AT BUILDING D. ISSUED TO KLM FOR COORDINATION.	APR. 07, 2022	KG
12	REVISED DRIVEWAY TREATMENT FOR BUILDINGS A & B. ISSUED TO CONSULTANTS FOR COORDINATION.	JUNE 11 2021	CN
11	REISSUED TO CLIENT FOR SPA.	JAN. 28 2021	CN
10	RELOCATED SIDEWALK & ENTRANCE. REDUCE DRIVEWAY WIDTHS ALONG BELVEA. ADJUSTED PARKING, COMMUNITY MAILBOX, TRANSFORMER & SIGNAGE. REMOVED TACTILE STRIPS. ISSUED TO CLIENT & CONSULTANTS FOR DISCUSSION.	OCT. 6, 2020	CT
9	ISSUED TO CLIENT FOR SPA.	MARCH 27, 2019	CV
8	ADDED PRIVACY FENCES, AND COORDINATED SITE PLAN WITH GRADING PLAN AND SITE SERVING PLAN. ADJUSTED REAR DECK & WALK-UPS LOCATIONS BASED ON UPDATED SITING TEMPLATE. COMPLETED SITE STATISTICS. ISSUED TO CONSULTANTS FOR COORDINATION.	MARCH 25, 2019	CV
7	ISSUED SITE PLAN TO LANDSCAPE ARCHITECT FOR COORDINATION.	JAN. 21, 2019	CV
6	ISSUED SCHEME 4 TO CANADA POST FOR COORDINATION.	JAN. 10, 2019	CV
5	ADDED SMALL SPACE PARKING SIGN TO RENTAL SUITE PARKING SPACE ON UNITS 7 & 15. INCREASED SIDE YARD SETBACK FOR VISITOR'S PARKING. SHIFTED ACCESS ROAD TO INCREASE FRONT YARD DEPTH ON LOTS 16-20. ISSUED SCHEME 3 TO MHBC FOR COORDINATION.	NOV. 7, 2017	CV
4	REMOVED ON STREET VISITOR PARKING SPACE. ISSUED SCHEME 3 TO MHBC FOR COORDINATION.	OCT. 10, 2017	CV
3	ISSUED PRELIMINARY SITE PLAN SCHEME 3 TO BELVEA DEV. FOR DISCUSSION.	SEPT. 21, 2017	CV
2	ISSUED PRELIMINARY SITE PLAN SCHEME 2 TO BELVEA DEV. FOR DISCUSSION.	AUGUST 24, 2017	CV
1	ISSUED PRELIMINARY SITE PLAN TO BELVEA DEVELOPMENT INC.	AUGUST 23, 2017	CV

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Client: **BELVEA DEVELOPMENT INC.**

Project Name: **3 STOREY CONDOMINIUM & FREEHOLD TOWNHOUSE DEVELOPMENT LOT 70, 72 & PART OF LOT 61 TOWN OF OAKVILLE REGIONAL MUNICIPALITY OF HALTON**

Sheet Title: **SITE PLAN SPA SUBMISSION #3**

Drawn by: **CV / CN** Checked by: **PK** Date: **MAY 2022**

Scale: **1 : 250** Drawing No. **1 OF 16**

Project No. **2017-32**