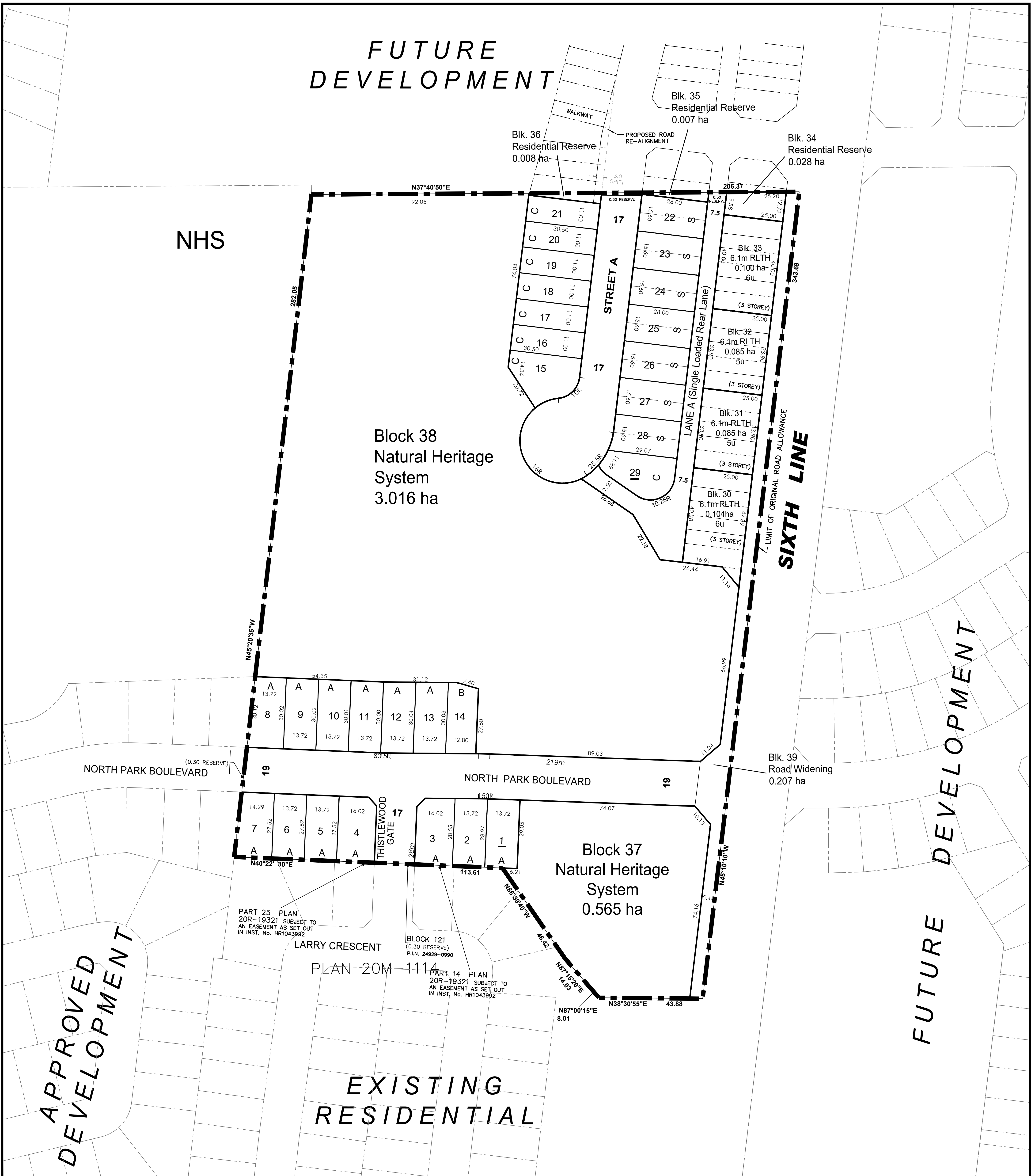


FUTURE DEVELOPMENT



APPROVED DEVELOPMENT

FUTURE DEVELOPMENT

| Date | Revision |
|----------------|--|
| Dec. 15 2014 | Resubmission of Phase 2 |
| April 20, 2015 | Resubmission of Phase 2, Sixth Line widening revised |
| Feb. 6, 2020 | Relotting of North East Quadrant |
| Jan. 7, 2021 | Lane A reconfiguration and relotting |
| Nov. 2, 2021 | Reconfiguration and relotting of RLTH |

| AREA TABLE | | 9544-6A-27dp | November 9, 2021 | Phase 2 |
|---------------------------|---------------|--------------|------------------|-----------------|
| Residential Singles | Lots 1-29 | | | 0.870 |
| Residential Semi-Detached | | | | 0.306 |
| Lane Townhouse | Blocks 30-33 | | | 0.374 |
| Residential Reserve | Blocks 34-36 | | | 0.043 |
| Natural Heritage System | Blocks 37, 38 | | | 3.581 |
| Road Widening | Block 39 | | | 0.207 |
| Roads | | | | 0.843 |
| Total | | | | 6.224 ha |

| ROADS | | |
|--------------|--------------|-----------------|
| 19m R.O.W. | 219 m | 0.363 |
| 17m R.O.W. | 158 m | 0.316 |
| 7.5m Lane | 186 m | 0.164 |
| Total | 563 m | 0.843 ha |

| UNIT COUNT | | |
|------------------------|---|-------------|
| 13.72m Single Detached | A | 13 |
| 12.5m Single Detached | B | 1 |
| 11.0m Single Detached | C | 8 |
| 7.8m Semi-Detached | S | 14 |
| 6.1m Lane Townhouse | | 22 |
| Total Units | | 58 u |

LEGEND
 Boundary of Subdivision

NOTES
 All dimensions are in metres.
 All area measurements are computer generated.
 All elevations refer to Geodetic Datum.
 All existing buildings to be demolished.

ADDITIONAL INFORMATION REQUIRED UNDER SECTION 51(17) OF THE PLANNING ACT

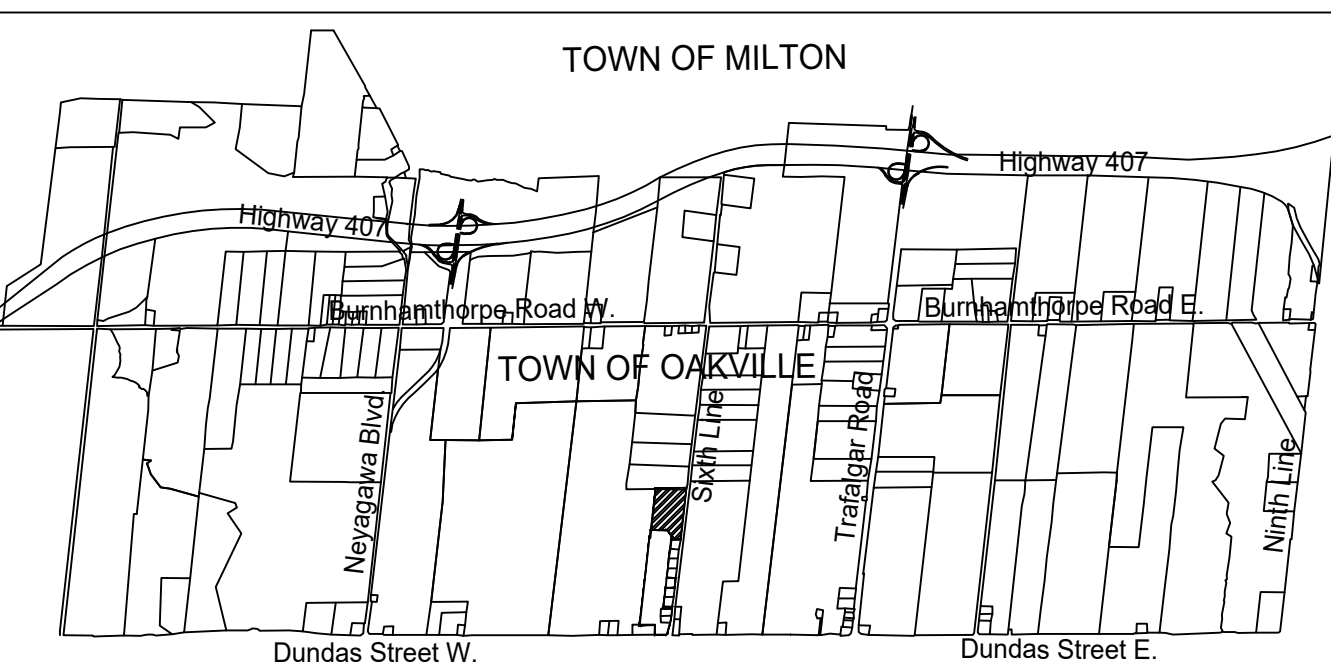
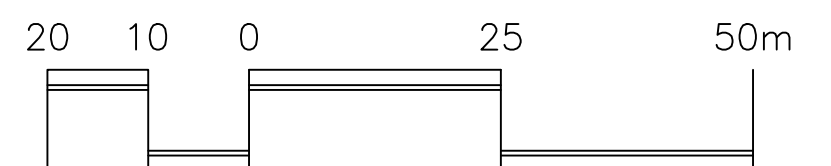
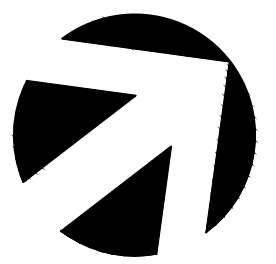
- C. This represents the applicant's entire holding of undeveloped land in this vicinity.
- D. Residential singles, semi-detached, Lane Towns, Natural Heritage System, road widening, lay-by lane, roads.
- H. Piped water to be provided.
- I. Clay loam soil.
- K. Sanitary & storm sewers to be provided.

OWNER'S AUTHORIZATION

I/we, **Timsin Holding Corp.**, being the registered owner(s) of the subject lands hereby authorize **Bousfields Inc.**, to prepare and submit a draft plan of subdivision for approval.
SEE ORIGINAL SUBMISSION
 _____ Signature
 Day Month Year
SEE ORIGINAL SUBMISSION
 _____ Signature
 Day Month Year

SURVEYOR'S CERTIFICATE

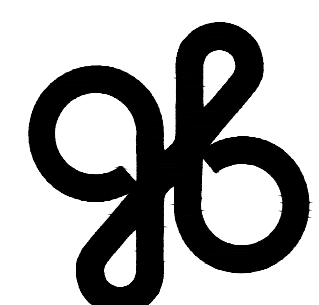
I hereby certify that the boundaries of the land to be subdivided as shown on this plan, and their relationship to the adjacent land are accurately and correctly shown.
SEE ORIGINAL SUBMISSION
 _____ Signature
 Day Month Year



KEY PLAN
 Subject Property

24T-05025 / O PHASE 2

REVISED DRAFT PLAN OF SUBDIVISION
 PART OF LOT 16, CON.1
 NORTH OF DUNDAS STREET
 (Geographic Township of Trafalgar)
 TOWN OF OAKVILLE
 REGIONAL MUNICIPALITY OF HALTON



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