

Northbridge Investment Management
1220 Yonge St., Suite 400
Toronto, ON M4T 1W1
Phone Number: 416-306-8728
Email: info@northbridgecapital.com

PROPOSED MIXED-USE DEVELOPMENT

2172 Wyecroft Road, Oakville, ON

23.230P01



**TURNER
FLEISCHER**
67 Lesmill Rd
Toronto, ON, M3B 2T8
Contact Name: Calvin Fung
Phone Number: 416-425-2222 ext 281
Email: calvin.fung@turnerfleischer.com

ISSUED FOR OPA, ZBA, DPoS
June 30, 2025

RWDI

Wind
600 Southgate Drive
Guelph, ON N1G 4P6
Contact Name: Dan Bacon
Phone Number: 519-823-1311
Email: dan.bacon@rwdi.com

Pinchin

Geotechnical
2360 Meadowpine Blvd, Unit 2
Mississauga, ON L5N 6S2
Contact Name: Mohamed Bournas
Phone Number: 905-363-0678
Email: mbournas@pinchin.com

Dillon Consulting

Transportation
235 Yorkland Boulevard Suite 700
Toronto, ON M2J 4Y8
Contact Name: Mike Walters
Phone Number: 416-229-4647
Email: mwalters@dillon.ca

Valdor Engineering

Civil
571 Chrislea Road, Unit 4, 2nd Floor
Woodbridge, ON L4L 8A2
Contact Name: David Giugovaz
Phone Number: 905-264-0054
Email: dgiugovaz@valdor-engineering.com

O2 Design

Landscape
437, 366 Adelaide Street East
Toronto, ON M5A 3X9
Contact Name: Sibylle Von Knobloch
Phone Number: 416-340-8100
Email: sibylle.vonknobloch@o2design.com

Bousfields

Planning
3 Church Street, Suite 200
Toronto, ON M5E 1M2
Contact Name: Emma West
Phone Number: 416-947-9744
Email: ewest@bousfields.ca

PROJECT NET SITE AREA			
BLDG	SITE AREA	m²	ft²
BLDG A+B+C+D	TOTAL NET SITE AREA (BLOCK A + BLOCK B)	17,494.5	188,308.9
	TOTAL PROPOSED GFA	143,113.2	1,540,458.0
	F.S.I OF PROPOSED DEVELOPMENT	8.18 x SITE AREA	

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GROSS FLOOR AREA SUMMARY					
BLDG	USE	GFA		FSI*	FSI**
BLDG A+B	NON-RESIDENTIAL	m²	ft²		
	RETAIL	1,379.3	14,847	0.08	0.06
	INSTITUTIONAL	1,014.8	10,923	0.06	0.04
	SUBTOTAL NON-RESIDENTIAL	2,394.1	25,770	0.14	0.10
	RESIDENTIAL				
	RESIDENTIAL 892 UNITS	76,122.2	819,373	4.35	3.22
	TOTAL	78,516.3	845,143	4.49	3.32

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GROSS FLOOR AREA BREAKDOWN

	FLOOR	# OF UNITS	RESIDENTIAL						TOTAL RESIDENTIAL		RETAIL				TOTAL RETAIL		INSTITUTIONAL		TOTAL GFA (TFA - EXCLUSIONS)	
			SALEABLE		COMMON		INDOOR AMENITY		m²	ft²	RETAIL		RETAIL SERVICE		m²	ft²	DAYCARE		m²	ft²
			m²	ft²	m²	ft²	m²	ft²			m²	ft²	m²	ft²			m²	ft²		
BLDG A	U/G 4																			
	U/G 3																			
	U/G 2																			
	U/G 1																			
	FLOOR 01	4	226.6	2,439	994.1	10,700	281.9	3,035	1,502.6	16,174	453.1	4,877	58.1	625	511.2	5,503	1,014.8	10,923	3,028.6	32,600
	MEZZANINE				1,725.3	18,571			1,725.3	18,571									1,725.3	18,571
	FLOOR 02	29	2,124.0	22,862	389.9	4,197			2,513.9	27,059									2,513.9	27,059
	FLOOR 03	29	2,124.1	22,863	389.9	4,197			2,513.9	27,060									2,513.9	27,060
	FLOOR 04	29	2,124.1	22,863	389.9	4,197			2,513.9	27,060									2,513.9	27,060
	FLOOR 05	29	2,124.1	22,863	389.9	4,197			2,513.9	27,060									2,513.9	27,060
	FLOOR 06	29	2,124.1	22,863	389.9	4,197			2,513.9	27,060									2,513.9	27,060
	FLOOR 07	5	316.4	3,406	118.5	1,275	350.8	3,776	785.8	8,458									785.8	8,458
	FLOOR 08	10	675.6	7,273	108.7	1,170			784.4	8,443									784.4	8,443
	FLOOR 09	10	675.6	7,273	108.7	1,170			784.4	8,443									784.4	8,443
	FLOOR 10	10	675.6	7,273	108.7	1,170			784.4	8,443									784.4	8,443
	FLOOR 11	10	675.6	7,273	108.7	1,170			784.4	8,443									784.4	8,443
	FLOOR 12	10	675.6	7,273	108.7	1,170			784.4	8,443									784.4	8,443
	FLOOR 13	10	675.6	7,273	108.7	1,170			784.4	8,443									784.4	8,443
	FLOOR 14	10	675.6	7,273	108.7	1,170			784.4	8,443									784.4	8,443
	FLOOR 15	10	675.6	7,273	108.7	1,170			784.4	8,443									784.4	8,443
	FLOOR 16	10	675.6	7,273	108.7	1,170			784.4	8,443									784.4	8,443
	FLOOR 17	10	675.6	7,273	108.7	1,170			784.4	8,443									784.4	8,443
	FLOOR 18	10	675.6	7,273	108.7	1,170			784.4	8,443									784.4	8,443
	FLOOR 19	10	675.6	7,273	108.7	1,170			784.4	8,443									784.4	8,443
	FLOOR 20	10	675.6	7,273	108.7	1,170			784.4	8,443									784.4	8,443
	FLOOR 21	10	675.6	7,273	108.7	1,170			784.4	8,443									784.4	8,443
	FLOOR 22	10	675.6	7,273	108.7	1,170			784.4	8,443									784.4	8,443
	FLOOR 23	10	675.6	7,273	108.7	1,170			784.4	8,443									784.4	8,443
	FLOOR 24	10	675.6	7,273	108.7	1,170			784.4	8,443									784.4	8,443
	FLOOR 25	10	675.6	7,273	108.7	1,170			784.4	8,443									784.4	8,443
	FLOOR 26	10	675.6	7,273	108.7	1,170			784.4	8,443									784.4	8,443
	FLOOR 27	10	675.6	7,273	108.7	1,170			784.4	8,443									784.4	8,443
	FLOOR 28	10	675.6	7,273	108.7	1,170			784.4	8,443									784.4	8,443
	FLOOR 29	10	675.6	7,273	108.7	1,170			784.4	8,443									784.4	8,443
	FLOOR 30	10	675.6	7,273	108.7	1,170			784.4	8,443									784.4	8,443
	FLOOR 31	10	675.6	7,273	108.7	1,170			784.4	8,443									784.4	8,443
	FLOOR 32	10	675.6	7,273	108.7	1,170			784.4	8,443									784.4	8,443
	FLOOR 33	10	675.6	7,273	108.7	1,170			784.4	8,443									784.4	8,443
	FLOOR 34	10	675.6	7,273	108.7	1,170			784.4	8,443									784.4	8,443
	FLOOR 35	10	675.6	7,273	108.7	1,170			784.4	8,443									784.4	8,443
	MPH (BLDG A)																			
	TOTAL	434	30,081.389	323,793.511	7,831.387	84,296.385	632.772	6,811.108	38,545.548	414,901.004	453.131	4,877.459	58.081	625.174	511.211	5,502.633	1,014.791	10,923.128	40,071.550	431,326.765
	TOTAL (ROUNDED)	434	30,081.4	323,794	7,831.4	84,296	632.8	6,811	38,545.5	414,901	453.1	4,877	58.1	625	511.2	5,503	1,014.8	10,923	40,071.6	431,327

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GROSS FLOOR AREA BREAKDOWN

	FLOOR	# OF UNITS	RESIDENTIAL						TOTAL RESIDENTIAL		RETAIL				TOTAL RETAIL		TOTAL GFA (TFA - EXCLUSIONS)	
			SALEABLE		COMMON		INDOOR AMENITY				RETAIL		RETAIL SERVICE					
			m²	ft²	m²	ft²	m²	ft²	m²	ft²	m²	ft²	m²	ft²	m²	ft²		
	U/G 4																	
U/G 3																		
U/G 2																		
U/G 1																		
FLOOR 01	14	962.7	10,362	726.1	7,816	605.1	6,514	2,294.0	24,692	845.7	9,103	22.4	241	868.1	9,344	3,162.1	34,036	
MEZZANINE		694.1	7,471	71.3	768			765.4	8,239							765.4	8,239	
FLOOR 02	33	2,154.7	23,193	633.4	6,818			2,788.1	30,011							2,788.1	30,011	
FLOOR 03	33	2,154.8	23,194	633.4	6,818			2,788.1	30,011							2,788.1	30,011	
FLOOR 04	33	2,154.8	23,194	633.4	6,818			2,788.1	30,011							2,788.1	30,011	
FLOOR 05	33	2,154.8	23,194	633.4	6,818			2,788.1	30,011							2,788.1	30,011	
FLOOR 06	33	2,154.8	23,194	633.4	6,818			2,788.1	30,011							2,788.1	30,011	
FLOOR 07	4	266.9	2,873	103.3	1,112	421.3	4,534	791.5	8,519							791.5	8,519	
FLOOR 08	11	688.1	7,407	103.3	1,112			791.4	8,519							791.4	8,519	
FLOOR 09	11	688.1	7,407	103.3	1,112			791.4	8,519							791.4	8,519	
FLOOR 10	11	688.1	7,407	103.3	1,112			791.4	8,519							791.4	8,519	
FLOOR 11	11	688.1	7,407	103.3	1,112			791.4	8,519							791.4	8,519	
FLOOR 12	11	688.1	7,407	103.3	1,112			791.4	8,519							791.4	8,519	
FLOOR 13	11	688.1	7,407	103.3	1,112			791.4	8,519							791.4	8,519	
FLOOR 14	11	688.1	7,407	103.3	1,112			791.4	8,519							791.4	8,519	
FLOOR 15	11	688.1	7,407	103.3	1,112			791.4	8,519							791.4	8,519	
FLOOR 16	11	688.1	7,407	103.3	1,112			791.4	8,519							791.4	8,519	
FLOOR 17	11	688.1	7,407	103.3	1,112			791.4	8,519							791.4	8,519	
FLOOR 18	11	688.1	7,407	103.3	1,112			791.4	8,519							791.4	8,519	
FLOOR 19	11	688.1	7,407	103.3	1,112			791.4	8,519							791.4	8,519	
FLOOR 20	11	688.1	7,407	103.3	1,112			791.4	8,519							791.4	8,519	
FLOOR 21	11	688.1	7,407	103.3	1,112			791.4	8,519							791.4	8,519	
FLOOR 22	11	688.1	7,407	103.3	1,112			791.4	8,519							791.4	8,519	
FLOOR 23	11	688.1	7,407	103.3	1,112			791.4	8,519							791.4	8,519	
FLOOR 24	11	688.1	7,407	103.3	1,112			791.4	8,519							791.4	8,519	
FLOOR 25	11	688.1	7,407	103.3	1,112			791.4	8,519							791.4	8,519	
FLOOR 26	11	688.1	7,407	103.3	1,112			791.4	8,519							791.4	8,519	
FLOOR 27	11	688.1	7,407	103.3	1,112			791.4	8,519							791.4	8,519	
FLOOR 28	11	688.1	7,407	103.3	1,112			791.4	8,519							791.4	8,519	
FLOOR 29	11	688.1	7,407	103.3	1,112			791.4	8,519							791.4	8,519	
FLOOR 30	11	688.1	7,407	103.3	1,112			791.4	8,519							791.4	8,519	
FLOOR 31	11	688.1	7,407	103.3	1,112			791.4	8,519							791.4	8,519	
FLOOR 32	11	688.1	7,407	103.3	1,112			791.4	8,519							791.4	8,519	
MPH (BLDG B)																		
TOTAL	458	29,900.466	321,846.081	6,649.758	71,577.433	1,026.393	11,048.012	37,576.618	404,471.526	845.711	9,103.166	22.408	241.196	868.119	9,344.362	38,444.737	413,815.888	
TOTAL (ROUNDED)	458	29,900.5	321,846	6,649.8	71,577	1,026.4	11,048	37,576.6	404,472	845.7	9,103	22.4	241	868.1	9,344	38,444.7	413,816	

GROSS FLOOR AREA SUMMARY						* Based on Net Site Area
BLDG	USE	GFA		FSI*	FSI**	** Based on Gross Site Area
		m ²	ft ²			
BLDG C+D	NON-RESIDENTIAL					
	RETAIL	967.4	10,413	0.06	0.04	
	SUBTOTAL NON-RESIDENTIAL	967.4	10,413	0.06	0.04	
	RESIDENTIAL					
	RESIDENTIAL 724 UNITS	63,629.5	684,903	3.64	2.70	
	TOTAL	64,596.9	695,315	3.69	2.74	

AMENITY AREAS REQUIRED & PROVIDED							
BLDG C+D	TYPE	REQUIRED			PROVIDED		
		RATIO	m ²	ft ²	RATIO	m ²	ft ²
	INDOOR AMENITY	2.00 m ² /UNIT	1,448.0	15,586	1.92 m ² /UNIT	1,393.6	15,000
	OUTDOOR AMENITY	2.00 m ² /UNIT	1,448.0	15,586	3.47 m ² /UNIT	2,518.0	27,104
	TOTAL AMENITY	4.00 m ² /UNIT	2,896.0	31,172	5.40 m ² /UNIT	3,911.6	42,104

GROSS FLOOR AREA BREAKDOWN																		
	FLOOR	# OF UNITS	RESIDENTIAL						TOTAL RESIDENTIAL		RETAIL				TOTAL RETAIL		TOTAL GFA (TFA - EXCLUSIONS)	
			SALEABLE		COMMON		INDOOR AMENITY				RETAIL		RETAIL SERVICE					
			m²	ft²	m²	ft²	m²	ft²	m²	ft²	m²	ft²	m²	ft²	m²	ft²	m²	ft²
BLDG C	U/G 4				9.2	99			9.2	99							9.2	99
	U/G 3																	
	U/G 2																	
	U/G 1				9.2	99			9.2	99							9.2	99
	FLOOR 01	13	837.7	9,017	939.3	10,111	387.2	4,168	2,164.2	23,296	931.5	10,027	35.9	386	967.4	10,413	3,131.6	33,708
	MEZZANINE		772.9	8,319	106.9	1,151			879.8	9,471							879.8	9,471
	FLOOR 02	29	2,044.1	22,002	879.1	9,463			2,923.2	31,465							2,923.2	31,465
	FLOOR 03	29	2,044.1	22,002	879.1	9,463			2,923.2	31,465							2,923.2	31,465
	FLOOR 04	29	2,044.1	22,002	879.1	9,463			2,923.2	31,465							2,923.2	31,465
	FLOOR 05	29	2,044.1	22,002	879.1	9,463			2,923.2	31,465							2,923.2	31,465
	FLOOR 06	29	2,044.1	22,002	879.1	9,463			2,923.2	31,465							2,923.2	31,465
	FLOOR 07	4	266.9	2,873	103.3	1,112	421.3	4,534	791.5	8,519							791.5	8,519
	FLOOR 08	11	688.1	7,407	103.3	1,112			791.4	8,519							791.4	8,519
	FLOOR 09	11	688.1	7,407	103.3	1,112			791.4	8,519							791.4	8,519
	FLOOR 10	11	688.1	7,407	103.3	1,112			791.4	8,519							791.4	8,519
	FLOOR 11	11	688.1	7,407	103.3	1,112			791.4	8,519							791.4	8,519
	FLOOR 12	11	688.1	7,407	103.3	1,112			791.4	8,519							791.4	8,519
	FLOOR 13	11	688.1	7,407	103.3	1,112			791.4	8,519							791.4	8,519
	FLOOR 14	11	688.1	7,407	103.3	1,112			791.4	8,519							791.4	8,519
	FLOOR 15	11	688.1	7,407	103.3	1,112			791.4	8,519							791.4	8,519
	FLOOR 16	11	688.1	7,407	103.3	1,112			791.4	8,519							791.4	8,519
	FLOOR 17	11	688.1	7,407	103.3	1,112			791.4	8,519							791.4	8,519
	FLOOR 18	11	688.1	7,407	103.3	1,112			791.4	8,519							791.4	8,519
	FLOOR 19	11	688.1	7,407	103.3	1,112			791.4	8,519							791.4	8,519
	FLOOR 20	11	688.1	7,407	103.3	1,112			791.4	8,519							791.4	8,519
	FLOOR 21	11	688.1	7,407	103.3	1,112			791.4	8,519							791.4	8,519
	FLOOR 22	11	688.1	7,407	103.3	1,112			791.4	8,519							791.4	8,519
	FLOOR 23	11	688.1	7,407	103.3	1,112			791.4	8,519							791.4	8,519
	FLOOR 24	11	688.1	7,407	103.3	1,112			791.4	8,519							791.4	8,519
	FLOOR 25	11	688.1	7,407	103.3	1,112			791.4	8,519							791.4	8,519
	FLOOR 26	11	688.1	7,407	103.3	1,112			791.4	8,519							791.4	8,519
	FLOOR 27	11	688.1	7,407	103.3	1,112			791.4	8,519							791.4	8,519
	FLOOR 28	11	688.1	7,407	103.3	1,112			791.4	8,519							791.4	8,519
TOTAL	393	26,548.393	285,764.643	7,732.499	83,231.967	808.471	8,702.314	35,089.363	377,698.925	931.517	10,026.774	35.859	385.982	967.376	10,412.756	36,056.739	388,111.681	
TOTAL (ROUNDED)	393	26,548.4	285,765	7,732.5	83,232	808.5	8,702	35,089.4	377,699	931.5	10,027	35.9	386	967.4	10,413	36,056.7	388,112	
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GROSS FLOOR AREA BREAKDOWN										
BLDG D	FLOOR	# OF UNITS	RESIDENTIAL						TOTAL GFA (TFA - EXCLUSIONS)	
			SALEABLE		COMMON		INDOOR AMENITY		m²	ft²
			m²	ft²	m²	ft²	m²	ft²		
	U/G 4									
	U/G 3									
	U/G 2									
	U/G 1									
	FLOOR 01	14	809.4	8,712	825.6	8,887	163.8	1,764	1,798.8	19,363
	MEZZANINE		368.5	3,967	1,374.5	14,795			1,743.0	18,762
	FLOOR 02	23	1,422.0	15,306	570.3	6,139			1,992.3	21,445
	FLOOR 03	23	1,422.0	15,306	570.3	6,139			1,992.3	21,445
	FLOOR 04	23	1,422.0	15,306	570.3	6,139			1,992.3	21,445
	FLOOR 05	23	1,422.0	15,306	570.3	6,139			1,992.3	21,445
	FLOOR 06	23	1,422.0	15,306	570.3	6,139			1,992.3	21,445
	FLOOR 07	4	266.9	2,873	103.3	1,112	421.3	4,534	791.5	8,519
	FLOOR 08	11	688.1	7,407	103.3	1,112			791.4	8,519
	FLOOR 09	11	688.1	7,407	103.3	1,112			791.4	8,519
	FLOOR 10	11	688.1	7,407	103.3	1,112			791.4	8,519
	FLOOR 11	11	688.1	7,407	103.3	1,112			791.4	8,519
	FLOOR 12	11	688.1	7,407	103.3	1,112			791.4	8,519
	FLOOR 13	11	688.1	7,407	103.3	1,112			791.4	8,519
	FLOOR 14	11	688.1	7,407	103.3	1,112			791.4	8,519
	FLOOR 15	11	688.1	7,407	103.3	1,112			791.4	8,519
	FLOOR 16	11	688.1	7,407	103.3	1,112			791.4	8,519
	FLOOR 17	11	688.1	7,407	103.3	1,112			791.4	8,519
	FLOOR 18	11	688.1	7,407	103.3	1,112			791.4	8,519
	FLOOR 19	11	688.1	7,407	103.3	1,112			791.4	8,519
	FLOOR 20	11	688.1	7,407	103.3	1,112			791.4	8,519
	FLOOR 21	11	688.1	7,407	103.3	1,112			791.4	8,519
	FLOOR 22	11	688.1	7,407	103.3	1,112			791.4	8,519
	FLOOR 23	11	688.1	7,407	103.3	1,112			791.4	8,519
	FLOOR 24	11	688.1	7,407	103.3	1,112			791.4	8,519
	FLOOR 25	11	688.1	7,407	103.3	1,112			791.4	8,519
	TOTAL	331	20,940.890	225,405.963	7,014.137	75,499.578	585.113	6,298.112	28,540.141	307,203.654
	TOTAL (ROUNDED)	331	20,940.9	225,406	7,014.1	75,500	585.1	6,298	28,540.1	307,204

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UNIT MIX									
BLDG	FLOOR	SALEABLE						AVG. UNIT SIZE	
		1B	1B+D	2B	2B+D	3B	3B+D	TOTAL	
BLDG A+B	FLOOR 01	9			1	1	7	18	104.6
	FLOOR 02	23	18	9	8	4		62	69.0
	FLOOR 03	23	18	9	8	4		62	69.0
	FLOOR 04	23	18	9	8	4		62	69.0
	FLOOR 05	23	18	9	8	4		62	69.0
	FLOOR 06	23	18	9	8	4		62	69.0
	FLOOR 07	4	2	3				9	64.8
	FLOOR 08	8	3	8	2			21	64.9
	FLOOR 09	8	3	8	2			21	64.9
	FLOOR 10	8	3	8	2			21	64.9
	FLOOR 11	8	3	8	2			21	64.9
	FLOOR 12	8	3	8	2			21	64.9
	FLOOR 13	8	3	8	2			21	64.9
	FLOOR 14	8	3	8	2			21	64.9
	FLOOR 15	8	3	8	2			21	64.9
	FLOOR 16	8	3	8	2			21	64.9
	FLOOR 17	8	3	8	2			21	64.9
	FLOOR 18	8	3	8	2			21	64.9
	FLOOR 19	8	3	8	2			21	64.9
	FLOOR 20	8	3	8	2			21	64.9
	FLOOR 21	8	3	8	2			21	64.9
	FLOOR 22	8	3	8	2			21	64.9
	FLOOR 23	8	3	8	2			21	64.9
	FLOOR 24	8	3	8	2			21	64.9
	FLOOR 25	8	3	8	2			21	64.9
	FLOOR 26	8	3	8	2			21	64.9
	FLOOR 27	8	3	8	2			21	64.9
	FLOOR 28	8	3	8	2			21	64.9
	FLOOR 29	8	3	8	2			21	64.9
	FLOOR 30	8	3	8	2			21	64.9
	FLOOR 31	8	3	8	2			21	64.9
	FLOOR 32	8	3	8	2			21	64.9
	FLOOR 33	3	1	4	2			10	67.6
	FLOOR 34	3	1	4	2			10	67.6
	FLOOR 35	3	1	4	2			10	67.6
	SUBTOTAL	337	170	260	97	21	7	892	
	TOTAL UNITS	507		357		28		892	
	UNIT MIX	37.8%	19.1%	29.1%	10.9%	2.4%	0.8%	100.0%	
	UNIT MIX TOTAL	56.8%		40.0%		3.1%		100.0%	
	AVG UNIT SIZE (m²)	52.8	63.3	74.1	87.9	118.2	166.5	67.2	
	AVG UNIT SIZE (ft²)	568	681	798	946	1,272	1,793	724	
	AVG UNIT SIZE TOTAL (m²)	56.3		77.8		130.3		67.2	
	AVG UNIT SIZE TOTAL (ft²)	606		838		1,402		724	

Last Updated: Wednesday, 02 July 2025 14:23:19 PM

UNIT MIX									
BLDG	FLOOR	SALEABLE						AVG. UNIT SIZE	
		1B	1B+D	2B	2B+D	3B	3B+D	TOTAL	
BLDG C+D	FLOOR 01	8	1	1	2	6	9	27	103.3
	FLOOR 02	28	9	6	7	2		52	66.7
	FLOOR 03	28	9	6	7	2		52	66.7
	FLOOR 04	28	9	6	7	2		52	66.7
	FLOOR 05	28	9	6	7	2		52	66.7
	FLOOR 06	28	9	6	7	2		52	66.7
	FLOOR 07	2	4	2				8	66.7
	FLOOR 08	10	4	8				22	62.6
	FLOOR 09	10	4	8				22	62.6
	FLOOR 10	10	4	8				22	62.6
	FLOOR 11	10	4	8				22	62.6
	FLOOR 12	10	4	8				22	62.6
	FLOOR 13	10	4	8				22	62.6
	FLOOR 14	10	4	8				22	62.6
	FLOOR 15	10	4	8				22	62.6
	FLOOR 16	10	4	8				22	62.6
	FLOOR 17	10	4	8				22	62.6
	FLOOR 18	10	4	8				22	62.6
	FLOOR 19	10	4	8				22	62.6
	FLOOR 20	10	4	8				22	62.6
	FLOOR 21	10	4	8				22	62.6
	FLOOR 22	10	4	8				22	62.6
	FLOOR 23	10	4	8				22	62.6
	FLOOR 24	10	4	8				22	62.6
	FLOOR 25	10	4	8				22	62.6
	FLOOR 26	5	2	4				11	62.6
	FLOOR 27	5	2	4				11	62.6
	FLOOR 28	5	2	4				11	62.6
	SUBTOTAL	345	128	189	37	16	9	724	
	TOTAL UNITS	473		226		25		724	
	UNIT MIX	47.7%	17.7%	26.1%	5.1%	2.2%	1.2%	100.0%	
	UNIT MIX TOTAL	65.3%		31.2%		3.5%		100.0%	
	AVG UNIT SIZE (m²)	53.2	64.2	75.4	88.1	128.4	149.8	65.6	
	AVG UNIT SIZE (ft²)	573	691	812	948	1,382	1,612	706	
	AVG UNIT SIZE TOTAL (m²)	56.2		77.5		136.1		65.6	
	AVG UNIT SIZE TOTAL (ft²)	605		834		1,465		706	

Last Updated: Wednesday, 02 July 2025 14:24:31 PM

VEHICULAR PARKING PROVIDED

BLDG A+B	FLOOR	USE		TOTAL
		RESIDENTIAL	VISITOR	
	U/G 1	69	154	223
	U/G 2	254		254
	U/G 3	254		254
	U/G 4	229		229
	TOTAL	806	154	960

Last Updated: Monday, 14 July 2025 15:54:04 PM

ACCESSIBLE PARKING PROVIDED*

BLDG A+B	FLOOR	USE		TOTAL
		RESIDENTIAL	VISITOR	
	U/G 1	2	4	6
	U/G 2	5		5
	U/G 3	5		5
	U/G 4	5		5
	TOTAL	17	4	21

Last Updated: Friday, 11 July 2025 13:52:28 PM

BICYCLE PARKING - PROVIDED

BLDG A+B	FLOOR	RETAIL			RESIDENTIAL			INSTITUTIONAL			TOTAL
		SHORT TERM	LONG TERM	SUB TOTAL	SHORT TERM	LONG TERM	SUB TOTAL	SHORT TERM	LONG TERM	SUB TOTAL	
	FLOOR 01	2		2				2		2	4
	MEZZANINE				223	669	892				892
	TOTAL	2		2	223	669	892	2		2	896

Last Updated: Wednesday, 02 July 2025 14:26:52 PM

BICYCLE PARKING - MINIMUM REQUIRED

BLDG A+B	USE	RESIDENTIAL		RETAIL		INSTITUTIONAL		TOTAL
		RATIO	SPACES	RATIO	SPACES	RATIO	SPACES	
	SHORT TERM	0.25/UNIT	223	1/1000m2	2	1/500m2	2	227
	LONG TERM	0.75/UNIT	669	-	0	-	0	669
	TOTAL		892		2		2	896

Last Updated: Wednesday, 02 July 2025 14:27:04 PM

VEHICULAR PARKING PROVIDED

BLDG C+D	FLOOR	USE		TOTAL
		RESIDENTIAL	VISITOR	
	U/G 1	51	128	179
	U/G 2	215		215
	U/G 3	215		215
	U/G 4	188		188
	TOTAL	669	128	797

Last Updated: Friday, 11 July 2025 15:43:54 PM

ACCESSIBLE PARKING PROVIDED*

BLDG C+D	FLOOR	USE		TOTAL
		RESIDENTIAL	VISITOR	
	U/G 1	1	4	5
	U/G 2	5		5
	U/G 3	5		5
	U/G 4	5		5
	TOTAL	16	4	20

Last Updated: Friday, 11 July 2025 15:45:41 PM

BICYCLE PARKING - PROVIDED

BLDG C+D	FLOOR	RETAIL			RESIDENTIAL			TOTAL
		SHORT TERM	LONG TERM	SUB TOTAL	SHORT TERM	LONG TERM	SUB TOTAL	
	FLOOR 01	2		2				2
	MEZZANINE				184	540	724	724
	TOTAL	2		2	184	540	724	726

Last Updated: Wednesday, 02 July 2025 14:26:34 PM

BICYCLE PARKING - MINIMUM REQUIRED

BLDG C+D	USE	RESIDENTIAL		RETAIL		TOTAL
		RATIO	SPACES	RATIO	SPACES	
	SHORT TERM	0.25/UNIT	181	1/1000m2	1	182
	LONG TERM	0.75/UNIT	543	-	0	543
	TOTAL		724		1	725

Last Updated: Wednesday, 02 July 2025 14:26:43 PM

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67 Lesmill Road
Toronto, ON, M5B 2T8
T 416 425 2222
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PROJECT

PROPOSED MIXED-USE DEVELOPMENT

2172 Wycroft Road, Oakville, ON

DRAWING

STATISTICS

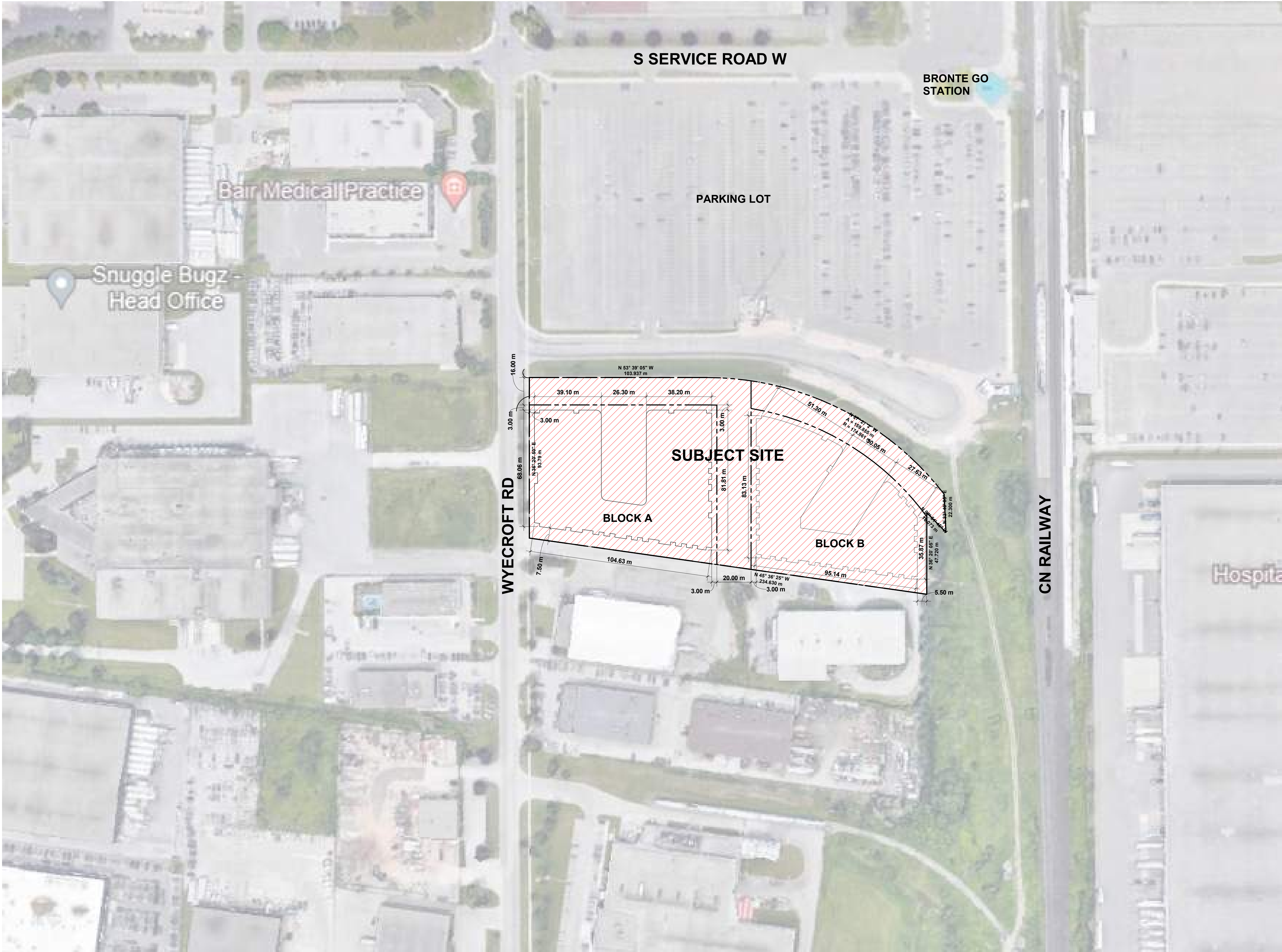
PROJECT NO:
23.230P01
PROJECT DATE
2024/06/27
DRAWN BY
CCA
CHECKED BY
CFU
SCALE
1 : 1

ONTARIO ASSOCIATION OF ARCHITECTS

M. RAZA MEHDI
LICENCE
8462

DRAWING NO.
RZ004

REV.
1



1	2025-06-30	ISSUED FOR OPA, ZBA, DPUS	CFU
#	DATE	DESCRIPTION	BY

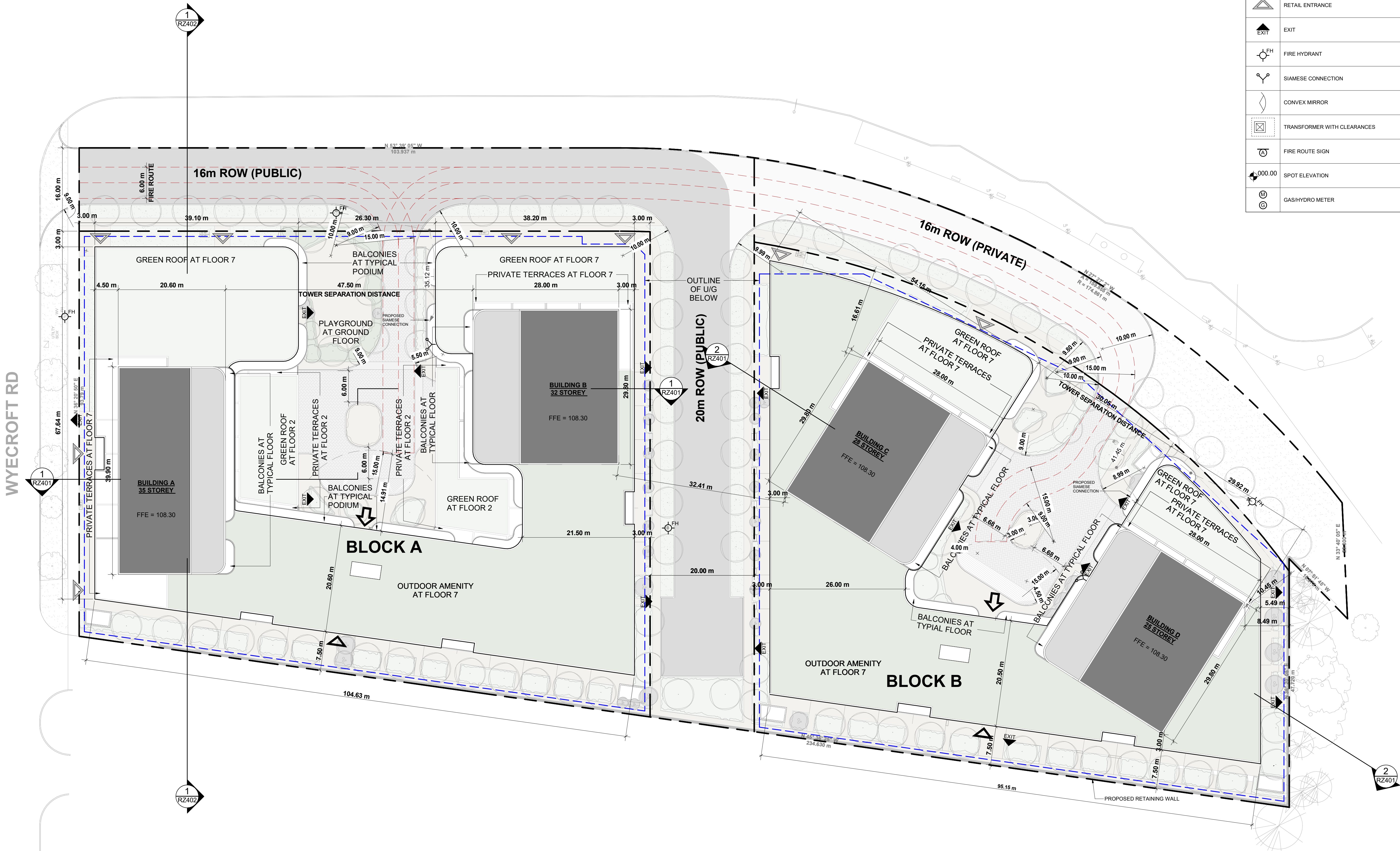
PROJECT
**PROPOSED MIXED-USE
DEVELOPMENT**
2172 Wyecroft Road, Oakville, ON

DRAWING
CONTEXT PLAN

PROJECT NO. 23.230P01	
PROJECT DATE 2024/06/27	
DRAWN BY NMU	
CHECKED BY NMC	
SCALE 1 : 1000	

	DRAWING NO. RZ005	REV. 1
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LEGEND	
	PRIMARY RESIDENTIAL ENTRANCE
	SECONDARY RESIDENTIAL ENTRANCE
	RETAIL ENTRANCE
	EXIT
	FIRE HYDRANT
	SIAMESE CONNECTION
	CONVEX MIRROR
	TRANSFORMER WITH CLEARANCES
	FIRE ROUTE SIGN
	SPOT ELEVATION
	GAS/HYDRO METER



1	2025-06-30	ISSUED FOR OPA, ZBA, DPVS	CFU
#	DATE	DESCRIPTION	BY

PROJECT
PROPOSED MIXED-USE DEVELOPMENT
2172 Wycroft Road, Oakville, ON

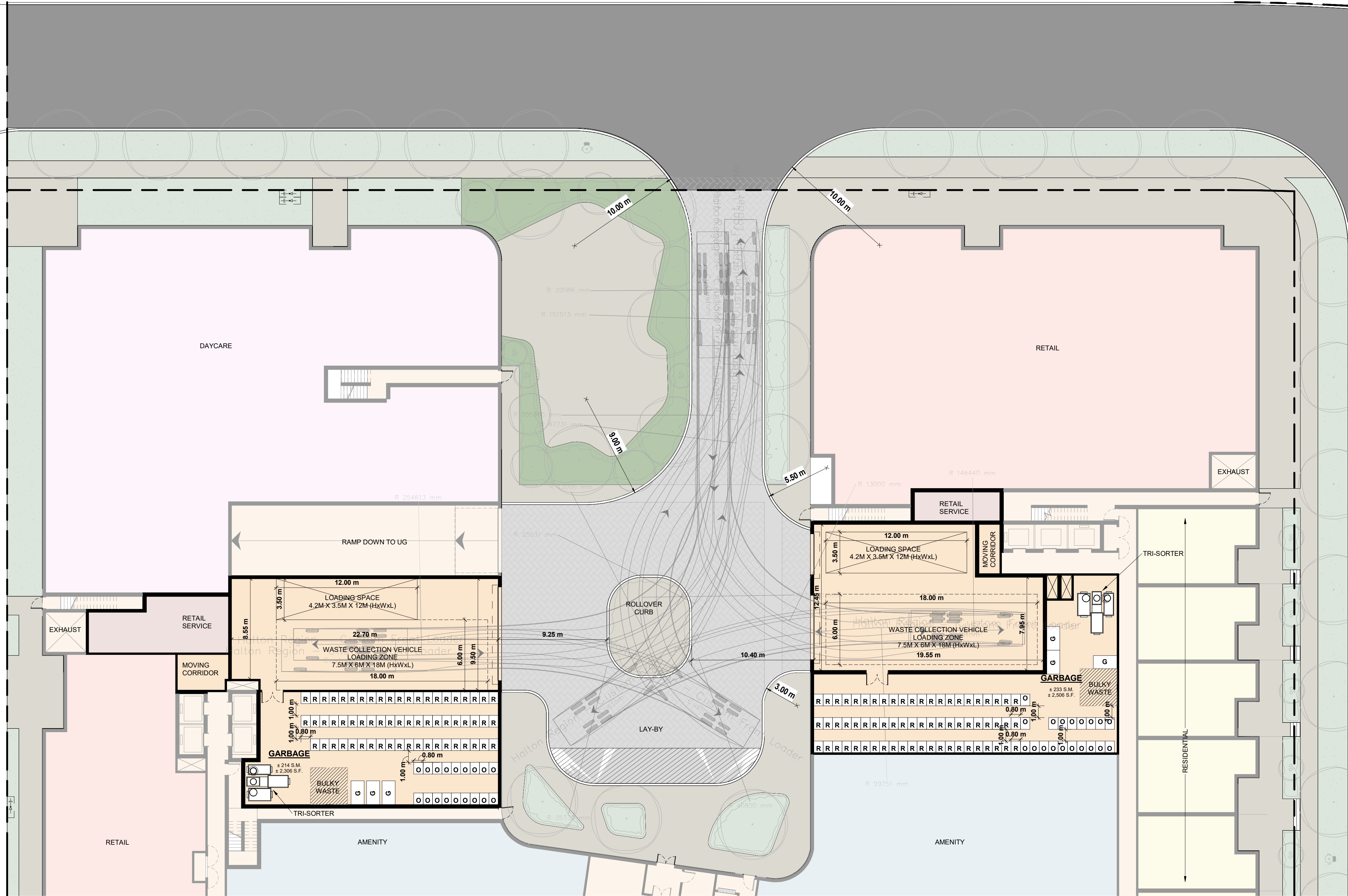
DRAWING
SITE PLAN / ROOF PLAN

PROJECT NO. 23.230P01	
PROJECT DATE 2024/06/27	
DRAWN BY CCA	
CHECKED BY CFU	
SCALE 1:350	

DRAWING NO.
RZ006

REV.
1

2025-06-06 12:24:40 PM



RESIDENTIAL SOLID WASTE MANAGEMENT NOTES

- IN ADDITION TO THE FOLLOWING GUIDELINES, THE REGION OF HALTON WASTE COLLECTION BY-LAW AND ANY OTHER APPLICABLE BY-LAWS OR REGULATIONS (INCLUDING, BUT NOT LIMITED TO, LOCAL MUNICIPAL ZONING BY-LAWS AND URBAN DESIGN GUIDELINES AND SITE PLAN STANDARDS), MUST BE FULLY ADHERED TO.
- HALTON REGION WILL ONLY PROVIDE GARBAGE, RECYCLABLE MATERIAL, ORGANIC WASTE, YARD WASTE, BULK WASTE, METAL ITEMS AND APPLIANCES COLLECTION SERVICES FOR RESIDENTIAL UNITS. NOT ALL PROPERTIES ARE ELIGIBLE FOR ALL COLLECTION SERVICES. ELIGIBILITY WILL BE CONFIRMED BY HALTON REGION WHEN THE APPLICATION IS REVIEWED FOR APPROVAL.
- WASTE DIVERSION PROGRAMS ARE MANDATORY FOR ALL RESIDENTIAL UNITS REGARDLESS OF WHETHER OR NOT THE REGION WILL PROVIDE WASTE COLLECTION SERVICES.
- HALTON REGION WILL ONLY PROVIDE GARBAGE AND RECYCLABLE MATERIAL COLLECTION SERVICES FOR APPROVED COMMERCIAL LOCATIONS.
- WASTE DIVERSION PROGRAMS ARE MANDATORY FOR COMMERCIAL LOCATIONS WHERE REGION WASTE COLLECTION SERVICES ARE PROVIDED. COMMERCIAL LOCATIONS MUST ALSO COMPLY WITH ENVIRONMENTAL PROTECTION ACT, O. REG. 102/94 'WASTE AUDITS AND WASTE REDUCTION WORK PLANS' AND O. REG. 103/94 'INDUSTRIAL, COMMERCIAL AND INSTITUTIONAL SOURCE SEPARATION PROGRAMS'.
- HALTON REGION RESERVES THE RIGHT TO DENY OR REVOKE COLLECTION SERVICES IF THE PROPERTY DOES NOT COMPLY WITH WASTE COLLECTION REQUIREMENTS AS STATED IN THIS DOCUMENT AND ANY OTHER APPLICABLE BY-LAWS OR REGULATIONS.
- DEVELOPERS SHALL ENSURE THAT RECYCLABLE MATERIAL AND ORGANIC WASTE SYSTEMS ARE AS CONVENIENT AS GARBAGE SYSTEMS.
- THE COMMISSIONER OR HIS/HER DESIGNATE HAS THE AUTHORITY TO DETERMINE WHICH LOCATIONS MEET THE REQUIREMENTS IN ORDER TO RECEIVE REGION WASTE COLLECTION.
- A MINIMUM OF 18 METRES STRAIGHT HEAD-ON APPROACH TO THE COLLECTION POINT IS REQUIRED.
- THE DEDICATED WASTE COLLECTION POINT MUST BE ADEQUATELY SIGNED INDICATING THAT THE AREA IS A WASTE COLLECTION POINT AND THAT THERE SHALL BE NO PARKING OR BLOCKING OF WASTE COLLECTION CONTAINERS.
- THE DEDICATED WASTE COLLECTION POINT MUST BE KEPT CLEARED OF SNOW AND ICE SO AS NOT TO POSE A DANGER TO THE COLLECTION VEHICLE OR PROPERTY DURING COLLECTION.
- THE COLLECTION POINT MUST BE LEVEL (THE CHANGE OF GRADE MUST NOT BE MORE THAN +/-2%) AND IF APPLICABLE, MUST BE CERTIFIED THAT IT IS DESIGNED AND CONSTRUCTED TO SUPPORT A MINIMUM OF 35 TONNES (THE WEIGHT OF A FULLY LOADED WASTE TRUCK).
- THE LOADING LOCATION FOR SEMI-AUTOMATED TOTE COLLECTION MUST BE AT GRADE AND HAVE SUFFICIENT SPACE TO ACCOMMODATE ALL RECYCLING RECEPTACLES AND ORGANIC RECEPTACLES SET OUT FOR COLLECTION.
- THE WASTE COLLECTION TRUCK DRIVERS ARE NOT REQUIRED TO LEAVE THE COLLECTION VEHICLE FOR FRONT END COLLECTION AND THE COLLECTION POINT SHOULD NOT REQUIRE THE JOCKEYING OF FRONT END CONTAINERS BY THE DRIVER.

RESIDENTIAL WASTE MANAGEMENT CALCULATIONS :

RESIDENTIAL WASTE STORAGE AREA REQUIRED:

- The dedicated storage area must be adequate to store Waste for a minimum of one week based on minimum capacity requirements as outlined in Section 1.8.
- A clear and accessible area of 10 square meters within the building that can be used for the storage of larger items such as Bulk Waste, shall be included in the design.

WASTE STORAGE AREA PROVIDED:

BUILDING A 214.27 m²
BUILDING B 232.78 m²

TOTAL RESIDENTIAL WASTE STORAGE AREA
= 447.05 m² WASTE STORAGE AREA PROVIDED

NUMBER OF BINS/CARTS REQUIRED

GARBAGE BINS REQ'D :
THREE 3 CUBIC YARD BIN (COMPACTED) PER BUILDING

RECYCLING CARTS REQ'D:
1 SEMI-AUTOMATED CART FOR EVERY 7 UNITS
Note* SPACE ALLOTMENT OF 0.80m x 1.0m FOR EACH CART

BUILDING A:
434 UNITS/7 = 62 CARTS

BUILDING B:
458 UNITS/7 = 65.4 (ROUND UP TO 66 CARTS)

ORGANIC WASTE CARTS REQ'D:
1 SEMI-AUTOMATED CART FOR EVERY 25 UNITS
Note* SPACE ALLOTMENT OF 0.80m x 1.0m FOR EACH CART

BUILDING A:
434 UNITS/25 = 17.36 (ROUND UP TO 18 CARTS)

BUILDING B:
458 UNITS/25 = 18.32 (ROUND UP TO 19 CARTS)

TOTAL NO. OF BINS/CARTS REQUIRED
6 GARBAGE + 128 RECYCLING + 37 ORGANIC = 171 BINS/CARTS REQUIRED (6 BINS /165 CARTS)

NUMBER OF BINS/CARTS PROVIDED:

BUILDING A
GARBAGE WASTE BINS 3 BINS
RECYCLING CARTS 62 CARTS
ORGANIC CARTS 18 CARTS

BUILDING B
GARBAGE WASTE BINS 5 BINS
RECYCLING CARTS 66 CARTS
ORGANIC CARTS 19 CARTS

LOADING SPACE(S) REQUIRED :

THERE IS NO MINIMUM NUMBER OF LOADING SPACES REQUIRED BY ZONING BY-LAW 2014-014.

DEFINITION IN THE ZONING BY-LAW:
i) THE MINIMUM DIMENSIONS OF A LOADING SPACE ARE 3.5 METRES IN WIDTH AND 12.0 METRES IN LENGTH, WITH A MINIMUM VERTICAL CLEARANCE OF 4.2 METRES

LOADING SPACE(S) REQUIRED :

BUILDING A = 1
BUILDING B = 1

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67 Lesmill Road
Toronto, ON, M5B 2T8
T 416 425 2222
turnerfleischer.com

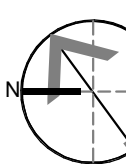
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1	2025-06-30	ISSUED FOR OPA, ZBA, DPWS	CFU
#	DATE	DESCRIPTION	BY

PROJECT
PROPOSED MIXED-USE DEVELOPMENT
2172 Wycroft Road, Oakville, ON

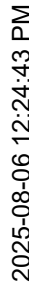
DRAWINGS
RESIDENTIAL SOLID WASTE MANAGEMENT BUILDINGS A AND B

PROJECT NO.
23.230P01
PROJECT DATE
2024/06/27
DRAWN BY
NMU
CHECKED BY
NMC
SCALE
1 : 200



DRAWING NO.
RZ007
REV.
1

The issuance of this record drawing is a representation by Turner Fleischer that the construction, enlargement or alteration of the building is in general, as opposed to precise, conformity with the design prepared and provided by Turner Fleischer, but is not a representation that the construction, enlargement or alteration of the building is in conformity with a design that has been prepared or provided by others. The revisions to these contract documents, reflecting the significant changes in the work made during construction, are based on data furnished by the contractor to Turner Fleischer. Turner Fleischer shall not be held responsible for the accuracy or completeness of the information provided by the contractor.



1. IN ADDITION TO THE FOLLOWING GUIDELINES, THE REGION OF HALTON WASTE COLLECTION BY-LAW AND ANY OTHER APPLICABLE BY-LAWS OR REGULATIONS (INCLUDING, BUT NOT LIMITED TO, LOCAL MUNICIPAL ZONING BY-LAWS AND URBAN DESIGN GUIDELINES AND SITE PLAN STANDARDS), MUST BE FULLY ADHERED TO.
2. HALTON REGION WILL ONLY PROVIDE GARBAGE, RECYCLABLE MATERIAL, ORGANIC WASTE, YARD WASTE, BULK WASTE, METAL ITEMS AND APPLIANCES COLLECTION SERVICES FOR RESIDENTIAL UNITS. NOT ALL PROPERTIES ARE ELIGIBLE FOR ALL COLLECTION SERVICES. ELIGIBILITY WILL BE CONFIRMED BY HALTON REGION WHEN THE APPLICATION IS REVIEWED FOR APPROVAL.
3. WASTE DIVERSION PROGRAMS ARE MANDATORY FOR ALL RESIDENTIAL UNITS REGARDLESS OF WHETHER OR NOT THE REGION WILL PROVIDE WASTE COLLECTION SERVICES.
4. HALTON REGION WILL ONLY PROVIDE GARBAGE AND RECYCLABLE MATERIAL COLLECTION SERVICES FOR APPROVED COMMERCIAL LOCATIONS.
5. WASTE DIVERSION PROGRAMS ARE MANDATORY FOR COMMERCIAL LOCATIONS WHERE REGION WASTE COLLECTION SERVICES ARE PROVIDED. COMMERCIAL LOCATIONS MUST ALSO COMPLY WITH ENVIRONMENTAL PROTECTION ACT, O. REG. 102/94 "WASTE AUDITS AND WASTE REDUCTION WORK PLANS" AND O. REG. 103/94 "INDUSTRIAL, COMMERCIAL AND INSTITUTIONAL SOURCE SEPARATION PROGRAMS".
6. HALTON REGION RESERVES THE RIGHT TO DENY OR REVOKE COLLECTION SERVICES IF THE PROPERTY DOES NOT COMPLY WITH WASTE COLLECTION REQUIREMENTS AS STATED IN THIS DOCUMENT AND ANY OTHER APPLICABLE BY-LAWS OR REGULATIONS.
7. DEVELOPERS SHALL ENSURE THAT RECYCLABLE MATERIAL AND ORGANIC WASTE SYSTEMS ARE AS CONVENIENT AS GARBAGE SYSTEMS.
8. THE COMMISSIONER OR HIS/HER DESIGNATE HAS THE AUTHORITY TO DETERMINE WHICH LOCATIONS MEET THE REQUIREMENTS IN ORDER TO RECEIVE REGION WASTE COLLECTION.
9. A MINIMUM OF 18 METRES STRAIGHT HEAD-ON APPROACH TO THE COLLECTION POINT IS REQUIRED.
10. THE DEDICATED WASTE COLLECTION POINT MUST BE ADEQUATELY SIGNED INDICATING THAT THE AREA IS A WASTE COLLECTION POINT AND THAT THERE SHALL BE NO PARKING OR BLOCKING OF WASTE COLLECTION CONTAINERS.
11. THE DEDICATED WASTE COLLECTION POINT MUST BE KEPT CLEARED OF SNOW AND ICE SO AS NOT TO POSE A DANGER TO THE COLLECTION VEHICLE OR PROPERTY DURING COLLECTION.
12. THE COLLECTION POINT MUST BE LEVEL (THE CHANGE OF GRADE MUST NOT BE MORE THAN +/-2%) AND IF APPLICABLE, IT MUST BE CERTIFIED THAT IT IS DESIGNED AND CONSTRUCTED TO SUPPORT A MINIMUM OF 35 TONNES (THE WEIGHT OF A FULLY LOADED WASTE TRUCK).
13. THE LOADING LOCATION FOR SEMI-AUTOMATED TOTE COLLECTION MUST BE AT GRADE AND HAVE SUFFICIENT SPACE TO ACCOMMODATE ALL RECYCLING RECEPTACLES AND ORGANIC RECEPTACLES SET OUT FOR COLLECTION.
14. THE WASTE COLLECTION TRUCK DRIVERS ARE NOT REQUIRED TO LEAVE THE COLLECTION VEHICLE FOR FRONT END COLLECTION AND THE COLLECTION POINT SHOULD NOT REQUIRE THE JOCKEYING OF FRONT END CONTAINERS BY THE DRIVER.

1. The dedicated storage area must be adequate to store Waste for a minimum of one week based on minimum capacity requirements as outlined in Section 1.8.
2. A clear and accessible area of 10 square meters within the building that can be used for the storage of larger items such as Bulk Waste, shall be included in the design.

BUILDING C	213.96 m ²
BUILDING D	208.76 m ²

TOTAL RESIDENTIAL WASTE STORAGE AREA
= 422.72 m² WASTE STORAGE AREA PROVIDED

GARBAGE BINS REQ'D :
THREE 3 CUBIC YARD BIN (COMPACTED) PER BUILDING

1 SEMI-AUTOMATED CART FOR EVERY 7 UNITS
Note* SPACE ALLOTMENT OF 0.80m x 1.0m FOR EACH CART

BUILDING C:
393 UNITS/7 = 56.14 (ROUND UP TO 57 CARTS)

BUILDING D:
331 UNITS/7 = 47.29 (ROUND UP TO 48 CARTS)

1 SEMI-AUTOMATED CART FOR EVERY 25 UNITS
Note* SPACE ALLOTMENT OF 0.80m x 1.0m FOR EACH CART

BUILDING C:
393 UNITS/25 = 15.72 (ROUND UP TO 16 CARTS)

331 UNITS/25 = 13.24 (ROUND UP TO 14 CARTS)

TOTAL NO. OF BINS/CARTS REQUIRED
6 GARBAGE + 105 RECYCLING + 30 ORGANIC = 141 BINS/CARTS REQUIRED (6 BINS /135 CARTS)

BUILDING C	
GARBAGE WASTE BINS	3 BINS
RECYCLING CARTS	57 CARTS
ORGANIC CARTS	16 CARTS

BUILDING D	
GARBAGE WASTE BINS	3 BINS
RECYCLING CARTS	48 CARTS
ORGANIC CARTS	14 CARTS

THERE IS NO MINIMUM NUMBER OF LOADING SPACES REQUIRED BY ZONING BY-LAW 2014-014.

DEFINITION IN THE ZONING BY-LAW:
i) THE MINIMUM DIMENSIONS OF A LOADING SPACE ARE 3.5 METRES IN WIDTH AND 12.0 METRES IN LENGTH, WITH A MINIMUM VERTICAL CLEARANCE OF 4.2 METRES

BUILDING C = 1
BUILDING D = 0

1	2025-06-30	ISSUED FOR OPA, ZBA, DPoS	CFU
N	DATE	DESCRIPTION	BY

PROJECT

**PROPOSED MIXED-USE
DEVELOPMENT**

2172 Wyecroft Road, Oakville, ON

DRAWING

**RESIDENTIAL SOLID WASTE
MANAGEMENT BUILDINGS C AND D**

PROJECT NO. 23.230P01		
PROJECT DATE 2024/06/27		
DRAWN BY Author		
CHECKED BY Checker		
SCALE 1 : 250		
	DRAWING NO. RZ008	REV. 1

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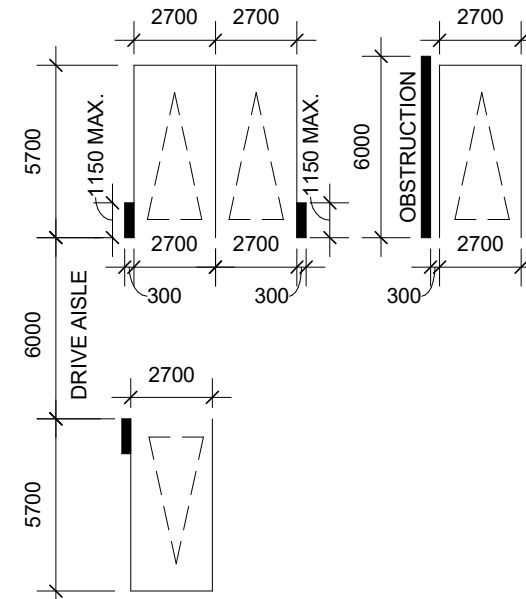
MINIMUM PERMITTED PARKING
DIMENSIONS

TYPICAL PARKING DIMENSIONS

PARKING DIMENSIONS AS PER TOWN OF OAKVILLE
ZONING BY-LAW 2014-014

aisle width: MIN 6m

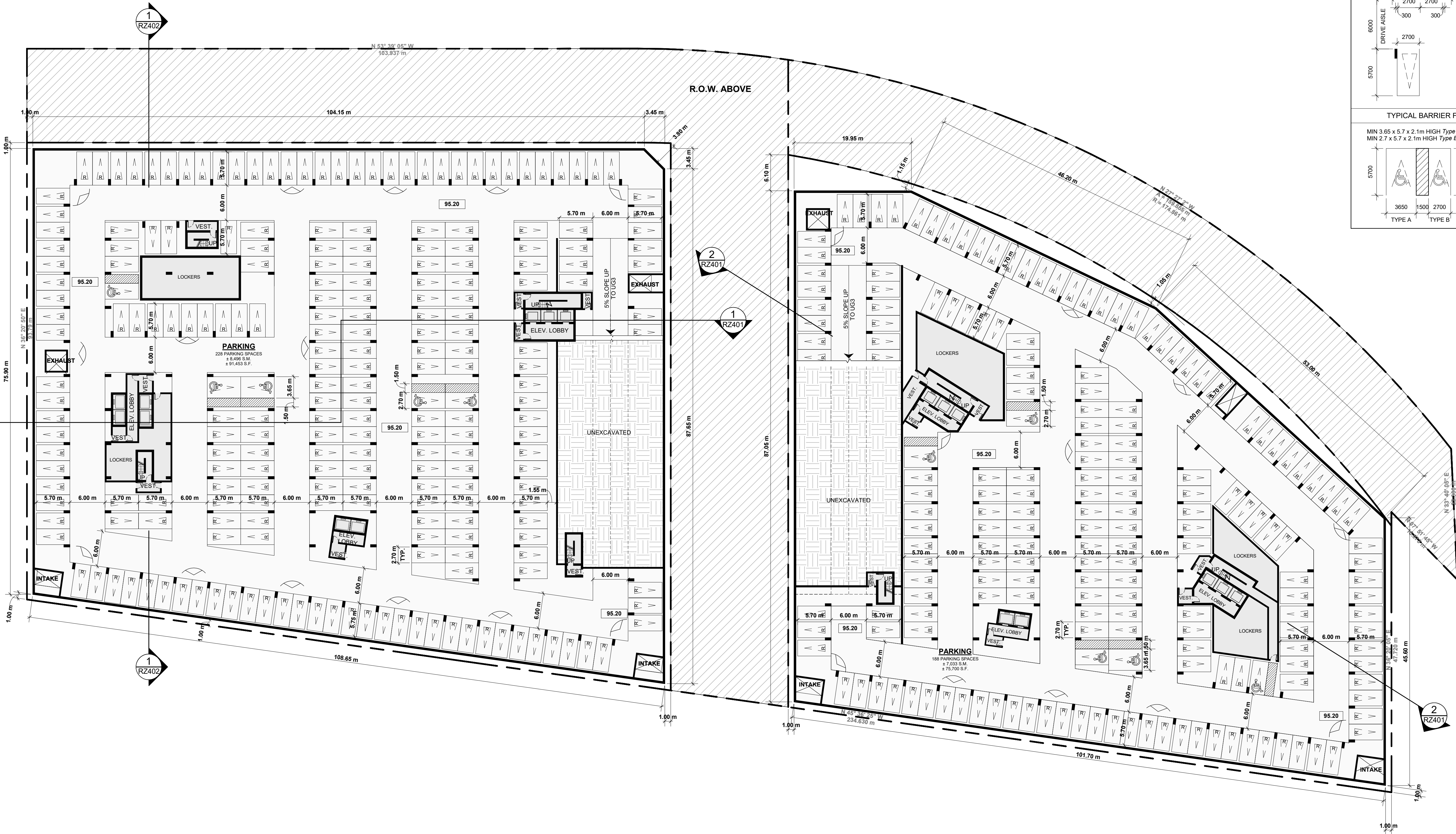
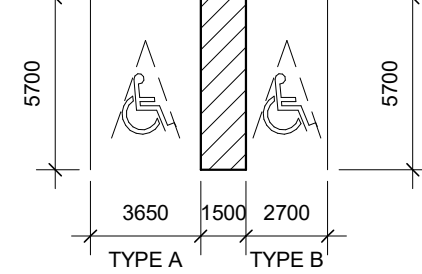
TYPICAL PARKING SPACE:
MIN 2.7 x 5.7 x 2.0m HIGH where one space in provided



TYPICAL BARRIER FREE SPACE

MIN 3.65 x 5.7 x 2.1m HIGH Type A

MIN 2.7 x 5.7 x 2.1m HIGH Type B



1	2025-06-30	ISSUED FOR OPA, ZBA, DPUS	CFU
#	DATE	DESCRIPTION	BY

PROJECT
**PROPOSED MIXED-USE
DEVELOPMENT**
2172 Wycroft Road, Oakville, ON

DRAWING
UNDERGROUND LEVEL 04

PROJECT NO.
23.230P01
PROJECT DATE
2024/06/27
DRAWN BY
CCA
CHECKED BY
CFU
SCALE
1:350



DRAWING NO.
RZ100
REV.
1

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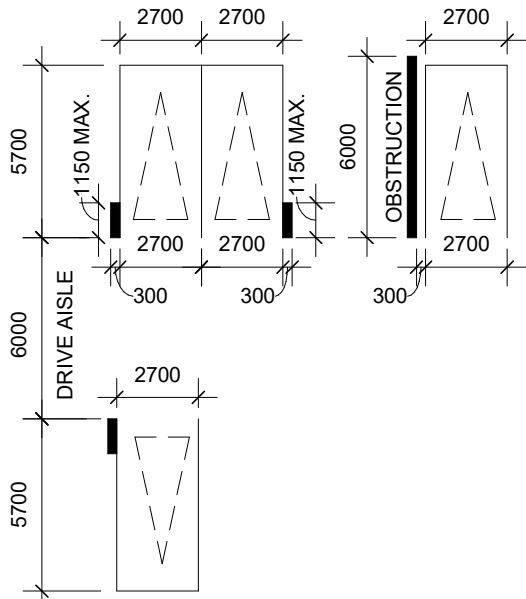
MINIMUM PERMITTED PARKING
DIMENSIONS

TYPICAL PARKING DIMENSIONS

PARKING DIMENSIONS AS PER TOWN OF OAKVILLE
ZONING BY-LAW 2014-014

aisle width: MIN 6m

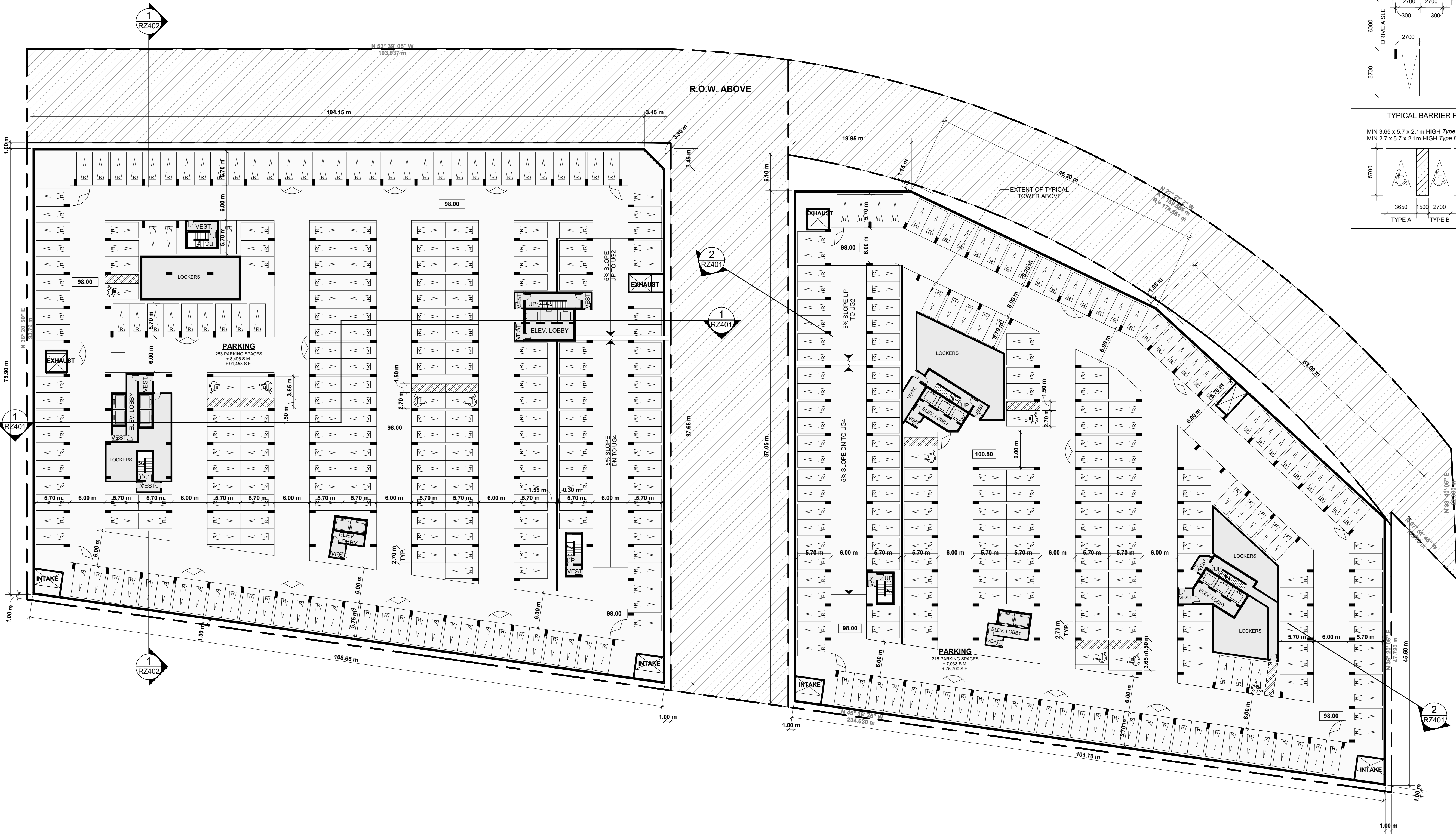
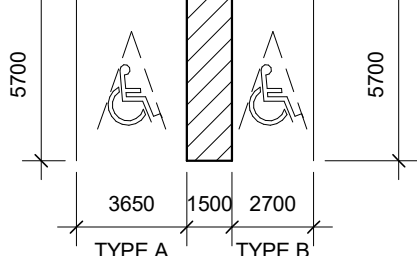
TYPICAL PARKING SPACE:
MIN 2.7 x 5.7 x 2.0m HIGH where one space in provided



TYPICAL BARRIER FREE SPACE

MIN 3.65 x 5.7 x 2.1m HIGH Type A

MIN 2.7 x 5.7 x 2.1m HIGH Type B



1	2025-06-30	ISSUED FOR OPA, ZBA, DPVS	CFU
#	DATE	DESCRIPTION	BY

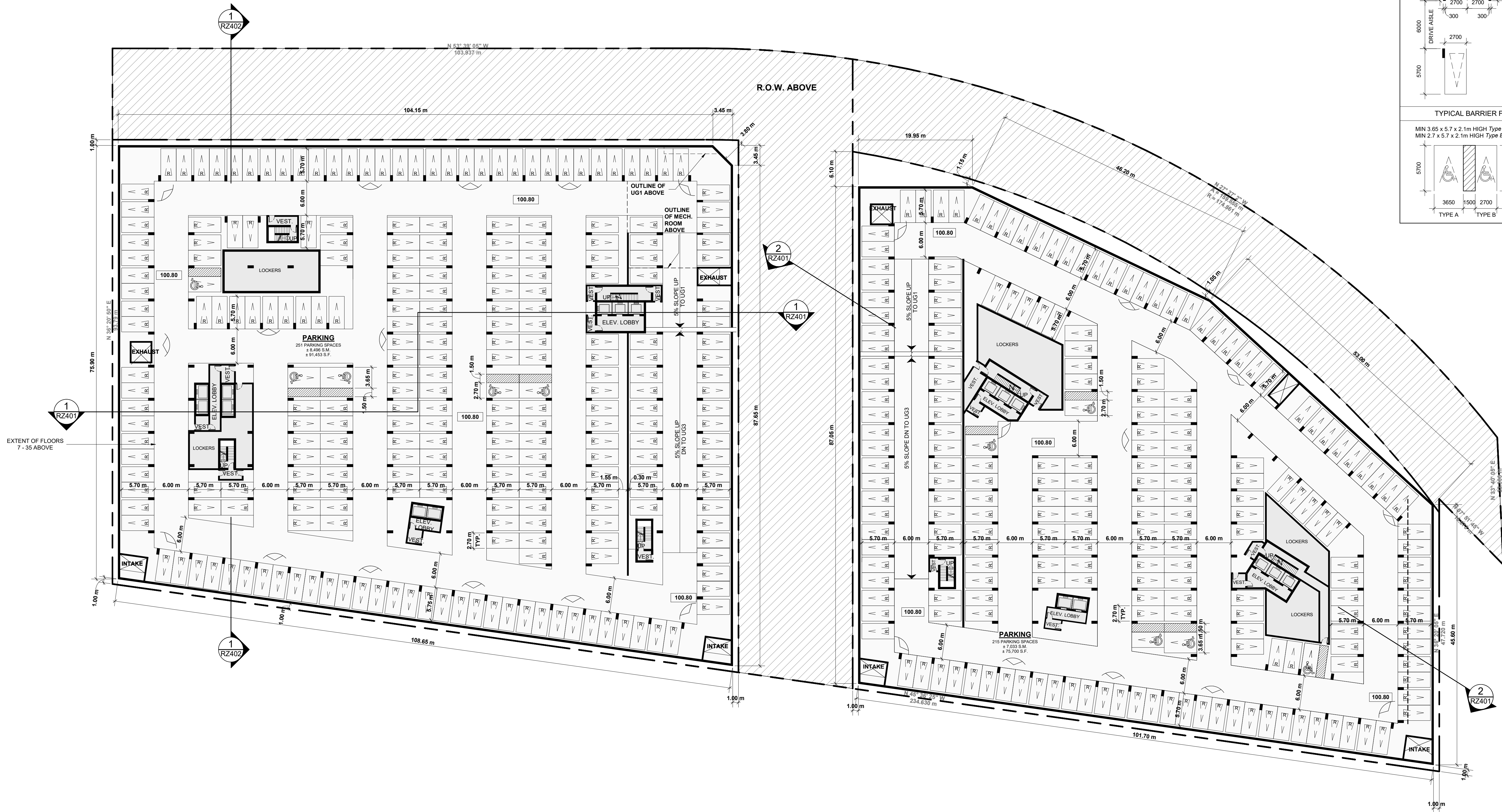
PROJECT
**PROPOSED MIXED-USE
DEVELOPMENT**
2172 Wycroft Road, Oakville, ON

DRAWING
UNDERGROUND LEVEL 03

PROJECT NO. 23.230P01	
PROJECT DATE 2024/06/27	
DRAWN BY CCA	
CHECKED BY CFU	
SCALE 1:350	

DRAWING NO. RZ101	REV. 1
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2025-08-06 12:24:48 PM



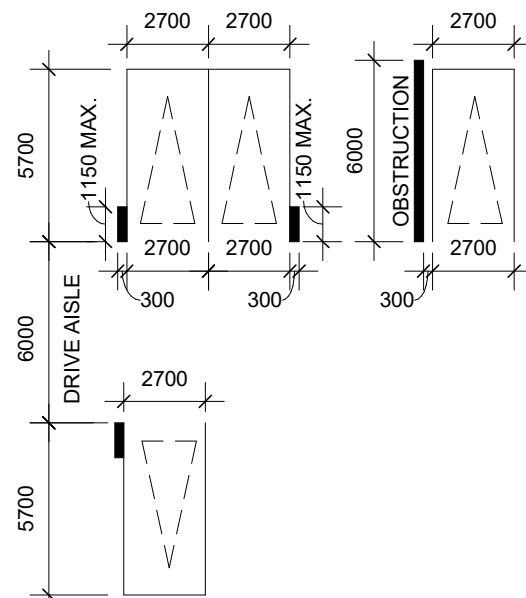
MINIMUM PERMITTED PARKING DIMENSIONS

TYPICAL PARKING DIMENSIONS

PARKING DIMENSIONS AS PER TOWN OF OAKVILLE ZONING BY-LAW 2014-014

aisle width: min 6m

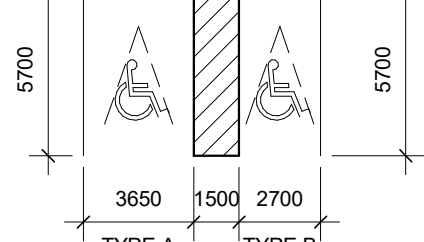
typical parking space:
min 2.7 x 5.7 x 2.0m high where one space is provided



TYPICAL BARRIER FREE SPACE

min 3.65 x 5.7 x 2.1m high Type A

min 2.7 x 5.7 x 2.1m high Type B



TURNER FLEISCHER

67 Lesmill Road
Toronto, ON, M5B 2T8
T 416 425 2222
turnerfleischer.com

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1	2025-06-30	ISSUED FOR OPA, ZBA, DPVS	CFU
#	DATE	DESCRIPTION	BY

PROJECT
PROPOSED MIXED-USE DEVELOPMENT
2172 Wycroft Road, Oakville, ON

DRAWING
UNDERGROUND LEVEL 02

PROJECT NO. 23.230P01	
PROJECT DATE 2024/06/27	
DRAWN BY CCA	
CHECKED BY CFU	
SCALE 1:350	

DRAWING NO. RZ102	REV. 1
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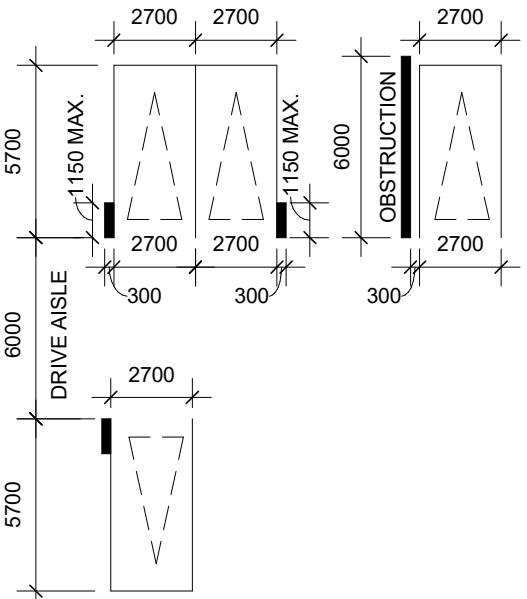
MINIMUM PERMITTED PARKING DIMENSIONS

TYPICAL PARKING DIMENSIONS

PARKING DIMENSIONS AS PER TOWN OF OAKVILLE
ZONING BY-LAW 2014-014

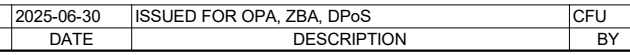
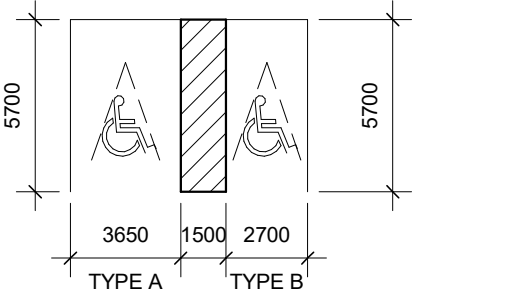
AISLE WIDTH: MIN 6m

TYPICAL PARKING SPACE:
MIN 2.7 x 5.7 x 2.0m HIGH where one space is provided



TYPICAL BARRIER FREE SPACE

MIN 3.65 x 5.7 x 2.1m HIGH *Type A*
MIN 2.7 x 5.7 x 2.1m HIGH *Type B*



PROPOSED MIXED-USE DEVELOPMENT

2172 Wyecroft Road, Oakville, ON

DRAWING

UNDERGROUND LEVEL 01

PROJECT NO.

3.230P01

PROJECT DATA

024/00/27

CA

CHECKED BY

FU

SALE



DRAWING NO.

RZ103

EV.

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LEGEND	
	PRIMARY RESIDENTIAL ENTRANCE
	SECONDARY RESIDENTIAL ENTRANCE
	RETAIL ENTRANCE
	EXIT
	FIRE HYDRANT
	SIAMESE CONNECTION
	CONVEX MIRROR
	TRANSFORMER WITH CLEARANCES
	FIRE ROUTE SIGN
	SPOT ELEVATION
	GAS/HYDRO METER



1	2025-06-30	ISSUED FOR OPA, ZBA, DPVS	CFU
#	DATE	DESCRIPTION	BY

PROJECT
PROPOSED MIXED-USE DEVELOPMENT
2172 Wyecroft Road, Oakville, ON

DRAWING
FLOOR 01

PROJECT NO. 23.230P01	
PROJECT DATE 2024/06/27	
DRAWN BY CCA	
CHECKED BY CFU	
SCALE 1:350	

DRAWING NO.
RZ151

REV.
1



1	2025-06-30	ISSUED FOR OPA, ZBA, DPVS	CFU
#	DATE	DESCRIPTION	BY

PROJECT
PROPOSED MIXED-USE DEVELOPMENT
2172 Wycroft Road, Oakville, ON

DRAWING
MEZZANINE

PROJECT NO. 23.230P01
PROJECT DATE 2024/06/27
DRAWN BY Author
CHECKED BY Checker
SCALE 1 : 350



DRAWING NO. RZ152	REV. 1
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#	DATE	ISSUED FOR OPA, ZBA, DPWS	CFU
1	2025-06-30	ISSUED FOR OPA, ZBA, DPWS	CFU

PROJECT
**PROPOSED MIXED-USE
DEVELOPMENT**
2172 Wycroft Road, Oakville, ON

DRAWING
FLOOR 02

PROJECT NO. 23.230P01	
PROJECT DATE 2024/06/27	
DRAWN BY CCA	
CHECKED BY CFU	
SCALE 1 : 350	

DRAWING NO. RZ153	REV. 1
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The issuance of this record drawing is a representation by Turner Fleischer that the construction, arrangement or alteration of the building is in general, as opposed to precise, conformity with the design prepared and provided by Turner Fleischer, but is not a representation that the construction, arrangement or alteration of the building is in conformity with a design that has been prepared or provided by others. The Issuance of these contract documents, reflecting the significant changes in the work made during construction, are based on data furnished by the contractor to Turner Fleischer. Turner Fleischer shall not be held responsible for the accuracy or completeness of the information provided by the contractor.



1	2025-06-30	ISSUED FOR OPA, ZBA, DPVS	CFU
#	DATE	DESCRIPTION	BY

PROJECT
**PROPOSED MIXED-USE
DEVELOPMENT**
2172 Wycroft Road, Oakville, ON

DRAWING
**FLOOR 03-06 - TYPICAL PODIUM
FLOOR**

PROJECT NO. 23.230P01	
PROJECT DATE 2024/06/27	
DRAWN BY Author	
CHECKED BY Checker	
SCALE 1 : 350	

DRAWING NO.
RZ154

REV.
1



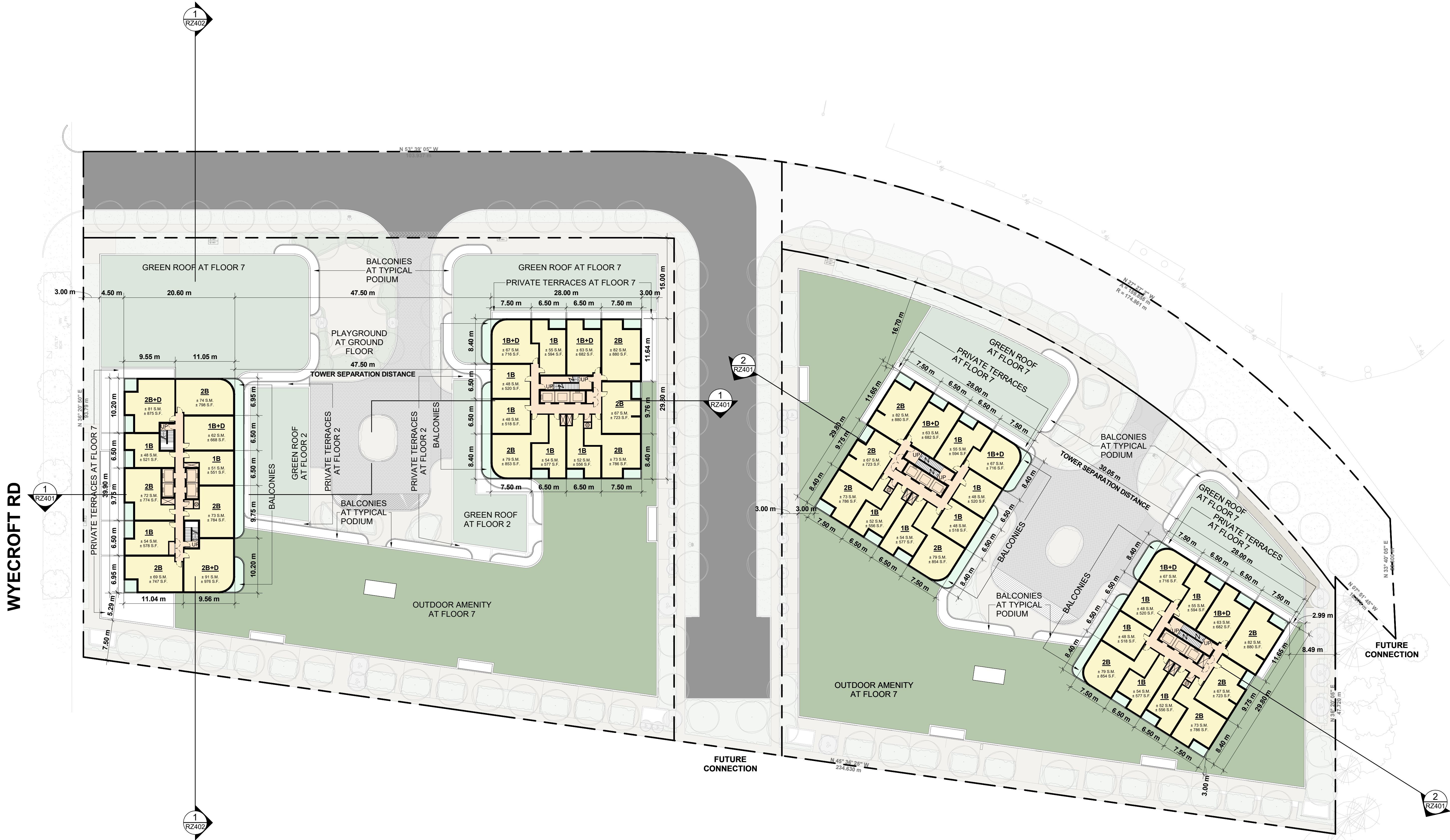
1	2025-06-30	ISSUED FOR OPA, ZBA, DPVS	CFU
#	DATE	DESCRIPTION	BY

PROJECT
PROPOSED MIXED-USE DEVELOPMENT
2172 Wycroft Road, Oakville, ON

DRAWING
FLOOR 07 (AMENITY FLOOR)

PROJECT NO. 23.230P01	
PROJECT DATE 2024/06/27	
DRAWN BY CCA	
CHECKED BY CFU	
SCALE 1 : 350	

DRAWING NO. RZ155	REV. 1
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1	2025-06-30	ISSUED FOR OPA, ZBA, DPVS	CFU
#	DATE	DESCRIPTION	BY

PROJECT
PROPOSED MIXED-USE DEVELOPMENT
2172 Wyecroft Road, Oakville, ON

DRAWING
TYPICAL TOWER FLOOR PLANS

PROJECT NO. 23.230P01	
PROJECT DATE 2024/06/27	
DRAWN BY CCA	
CHECKED BY CFU	
SCALE 1 : 350	

DRAWING NO. RZ156	REV. 1
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MATERIAL LEGEND

- 1 DARK BRICK / PRECAST / METAL
- 2a DARK METAL / PRECAST
- 2b LIGHT METAL / PRECAST
- 3 CLEAR GLAZING
- 4 CLEAR GLASS GUARD



1 NORTH
RZ301 1: 350

1	2025-06-30	ISSUED FOR OPA, ZBA, DPUS	CFU
#	DATE	DESCRIPTION	BY

PROJECT
PROPOSED MIXED-USE DEVELOPMENT
2172 Wycroft Road, Oakville, ON

DRAWING
NORTH ELEVATION

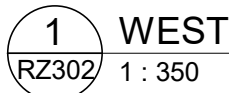
PROJECT NO. 23.230P01	
PROJECT DATE 2024/06/27	
DRAWN BY NMU	
CHECKED BY NMC	
SCALE 1: 350	

DRAWING NO.
RZ301

REV.
1

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1	DARK BRICK / PRECAST / METAL
2a	DARK METAL / PRECAST
2b	LIGHT METAL / PRECAST
3	CLEAR GLAZING
4	CLEAR GLASS GUARD



1	2025-06-30	ISSUED FOR OPA, ZBA, DPoS	CFU
#	DATE	DESCRIPTION	BY

PROJECT

**PROPOSED MIXED-USE
DEVELOPMENT**

2172 Wyecroft Road, Oakville, ON

DRAWING

WEST AND EAST ELEVATIONS

PROJECT NO. 23.230P01	 ONTARIO ASSOCIATION OF ARCHITECTS M. RAZA MEHDI LICENCE 8452	
PROJECT DATE 2024/06/27		
DRAWN BY NMU		
CHECKED BY NMC		
SCALE 1 : 350		
DRAWING NO. RZ302		REV. 1

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MATERIAL LEGEND

- 1 DARK BRICK / PRECAST / METAL
- 2a DARK METAL / PRECAST
- 2b LIGHT METAL / PRECAST
- 3 CLEAR GLAZING
- 4 CLEAR GLASS GUARD



1	2025-06-30	ISSUED FOR OPA, ZBA, DPUS	CFU	BY
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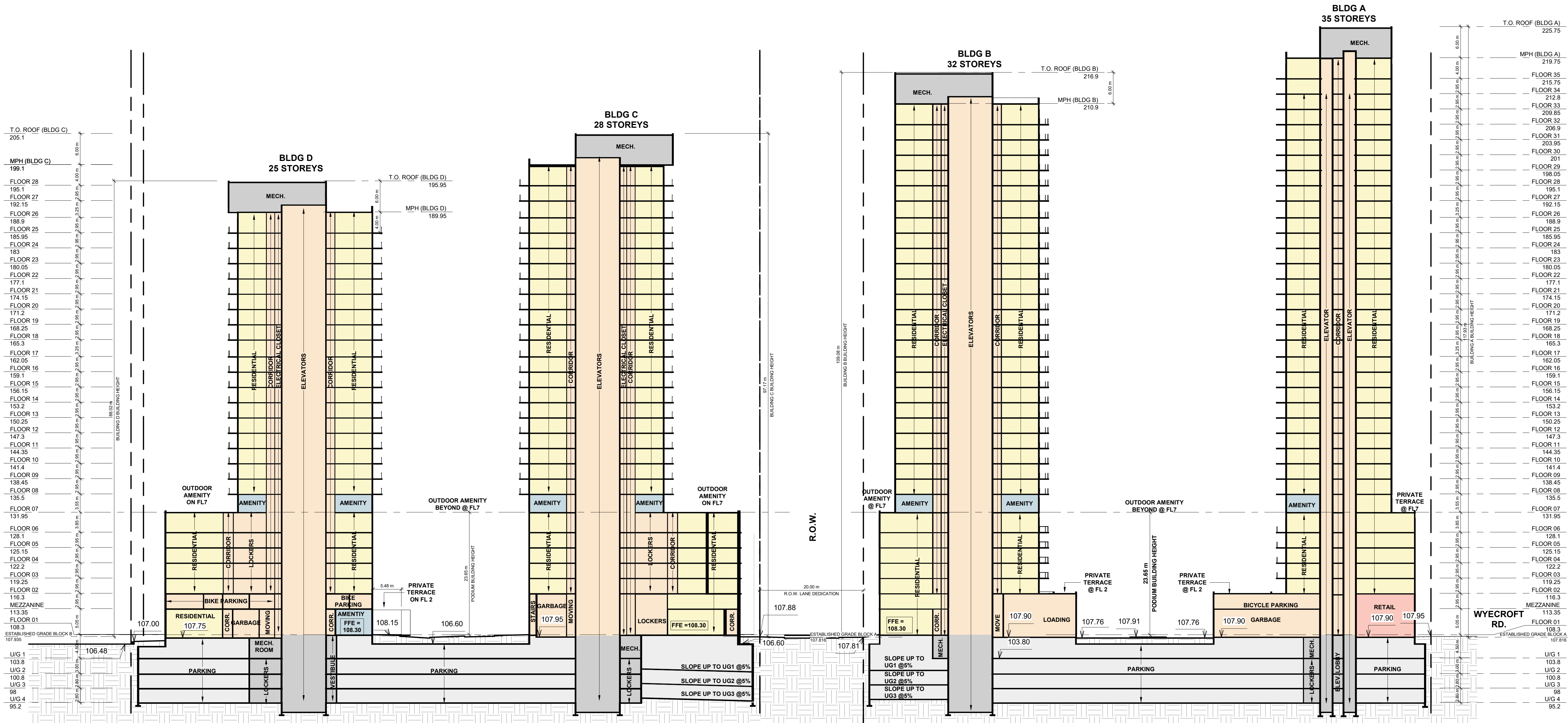
PROJECT
PROPOSED MIXED-USE DEVELOPMENT
2172 Wycroft Road, Oakville, ON

DRAWING
SOUTH ELEVATION

PROJECT NO.
23.230P01
PROJECT DATE
2024/06/27
DRAWN BY
CCA
CHECKED BY
CFU
SCALE
1 : 350



DRAWING NO.
RZ303
REV.
1



2 PARCEL B EAST-WEST SECTION
RZ401 1 : 400

1 PARCEL A EAST-WEST SECTION
RZ401 1 : 400

1	2025-06-30	ISSUED FOR OPA, ZBA, DPUS	CFU
#	DATE	DESCRIPTION	BY

PROJECT
PROPOSED MIXED-USE DEVELOPMENT
2172 Wyecroft Road, Oakville, ON

DRAWING
BUILDING SECTIONS

PROJECT NO. 23.230P01	
PROJECT DATE 2024/06/27	
DRAWN BY NMU	
CHECKED BY NMC	
SCALE 1 : 400	

DRAWING NO.
RZ401

REV.
1

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PERSPECTIVE VIEW FROM WYECROFT RD LOOKING SW



PERSPECTIVE VIEW FROM NEW LOCAL PUBLIC ROAD LOOKING EAST



PERSPECTIVE VIEW FROM NEW LOCAL PUBLIC ROAD AND WYECROFT ROAD INTERSECTION LOOKIONG SOUTH



PERSPECTIVE VIEW FROM WYECROFT RD LOOKING NE

1	2025-06-30	ISSUED FOR OPA, ZBA, DPVS	CFU
#	DATE	DESCRIPTION	BY

PROJECT
**PROPOSED MIXED-USE
DEVELOPMENT**
2172 Wycroft Road, Oakville, ON

DRAWING
3D PERSPECTIVES

PROJECT NO. 23.230P01	
PROJECT DATE 2024/06/27	
DRAWN BY NMU	
CHECKED BY NMC	
SCALE	

DRAWING NO.
RZ801

REV.
1