
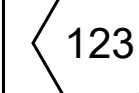



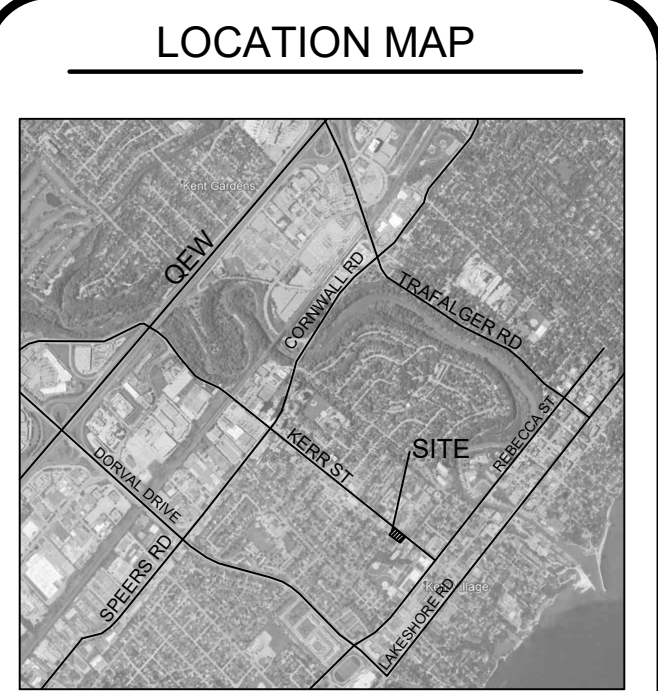


***NOTE:**
 THE APPLICANT SHALL RETAIN THE SERVICES OF A LICENSED CERTIFIED ARBORIST TO MONITOR THE EXCAVATION WORK AND TO CARRY OUT ANY ARBORICULTURAL MEASURES DEEMED NECESSARY IN ORDER TO MINIMIZE THE IMPACT TO TREES 915A, 915B, 915D, 915E, 915F, 915G, 916, AND 916A. THE ARBORIST REPORT IS TO BE REVISED TO REFLECT THE INVOLVEMENT OF A LICENSED CERTIFIED ARBORIST AT THE CONSTRUCTION STAGE AND EXPLAIN WHAT PROCEDURE THE ARBORIST WILL IMPLEMENT WITH RESPECT TO PRESERVING THE NEIGHBOURING TREES TO THE MAXIMUM EXTENT POSSIBLE.
 URBAN FORESTRY WILL ALSO REQUIRE A CONFIRMATION LETTER FROM THE PROJECT ARBORIST THAT HE/SHE HAS BEEN RETAINED TO MONITOR AND IMPLEMENT ANY ARBORICULTURAL MEASURES THAT ARE REQUIRED TO PRESERVE THE SUBJECT TREES. THIS REQUIREMENT WILL BE A CONDITION OF FINAL SITE PLAN APPROVAL.

LEGEND

-  TREES TO BE REMOVED
-  TREES TO BE RETAINED
-  TREES PRESERVATION FENCE
-  THE APPROXIMATE DRIP LINE OF THE CANOPY OF THE TREES
-  TREE PRESERVATION ZONE



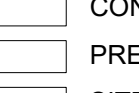

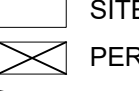
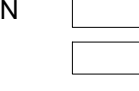




GENERAL NOTES

THE LOCATION OF PROPERTY LINES, ELEVATIONS AND FACILITIES ON THIS PLAN WERE DRAWN ON THE BASIS OF A DIGITAL SITE PLAN OR SURVEY DATA PROVIDED BY OTHER CONSULTANTS.
 IT IS THE RESPONSIBILITY OF THE CLIENT AND HIS CONTRACTORS TO CONFIRM THE ACCURACY OF THE SETBACKS, LOCATIONS AND GRADES ETC. ANY VARIATIONS BETWEEN EXISTING CONDITIONS AND THIS PLAN SHOULD BE ADVISED ON SITE AND REPORTED TO THE CONSULTING LANDSCAPE ARCHITECT TO DETERMINE THE IMPACT OF THE VARIATIONS ON THE SUITABILITY OF THE PROPOSED DEVELOPMENT.
 CONSTRUCTION MUST CONFORM TO ALL CODES AND REQUIREMENTS OF AUTHORITIES HAVING JURISDICTION.

REVISIONS

NO.	DATE	NOTES	BY
11	2022-05-05	ISSUED FOR PERMIT	LZH
10	2022-03-21	REVISED PER COMMENTS	LZH
9	2021-12-13	REVISED PER NEW BASE	LZH
8	2021-11-26	REVISED PER NEW BASE	KL
7	2021-07-15	REVISED PER COMMENTS	KL
6	2021-07-12	REVISED UPDATED BASE	KL
5	2021-06-09	REVISED AS PER COMMENTS	KL
4	2021-01-27	REVISED AS PER UPDATED SITE PLAN	LZH
3	2021-01-12	TREE PRESERVATION PLAN UPDATED	LZH
2	2020-12-23	REVISED AS PER UPDATED SITE PLAN	LZH
1	2020-06-12	SET UP DRAWING	KL

THESE LANDSCAPE DRAWINGS SHALL ONLY BE USED FOR THE PURPOSES INDICATED BELOW AS NOTED AND WHEN SIGNED BY THE CONSULTING LANDSCAPE ARCHITECT.

	CONCEPTUAL		TENDER
	PRELIMINARY		CONTRACT
	SITE PLAN		CONSTRUCTION
	PERMIT		AS-BUILT



HENRY KORTEKAAS & ASSOCIATES INC.
 LANDSCAPE ARCHITECTS, ARBORISTS, ENVIRONMENTAL & RECREATIONAL PLANNERS
 580 HENRIKSON ROAD TEL: 905-888-5599
 PICKERING, ON L1W 1R1 EMAIL: INFO@HKLGA.CA

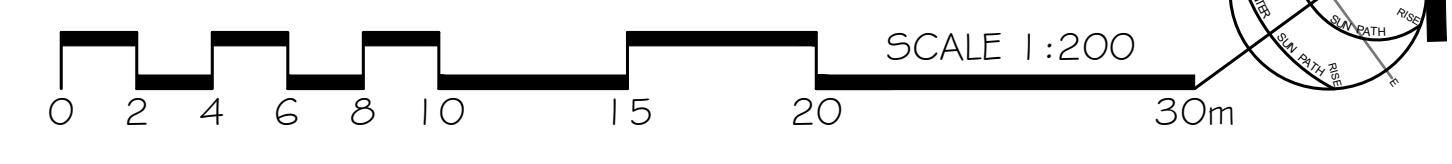
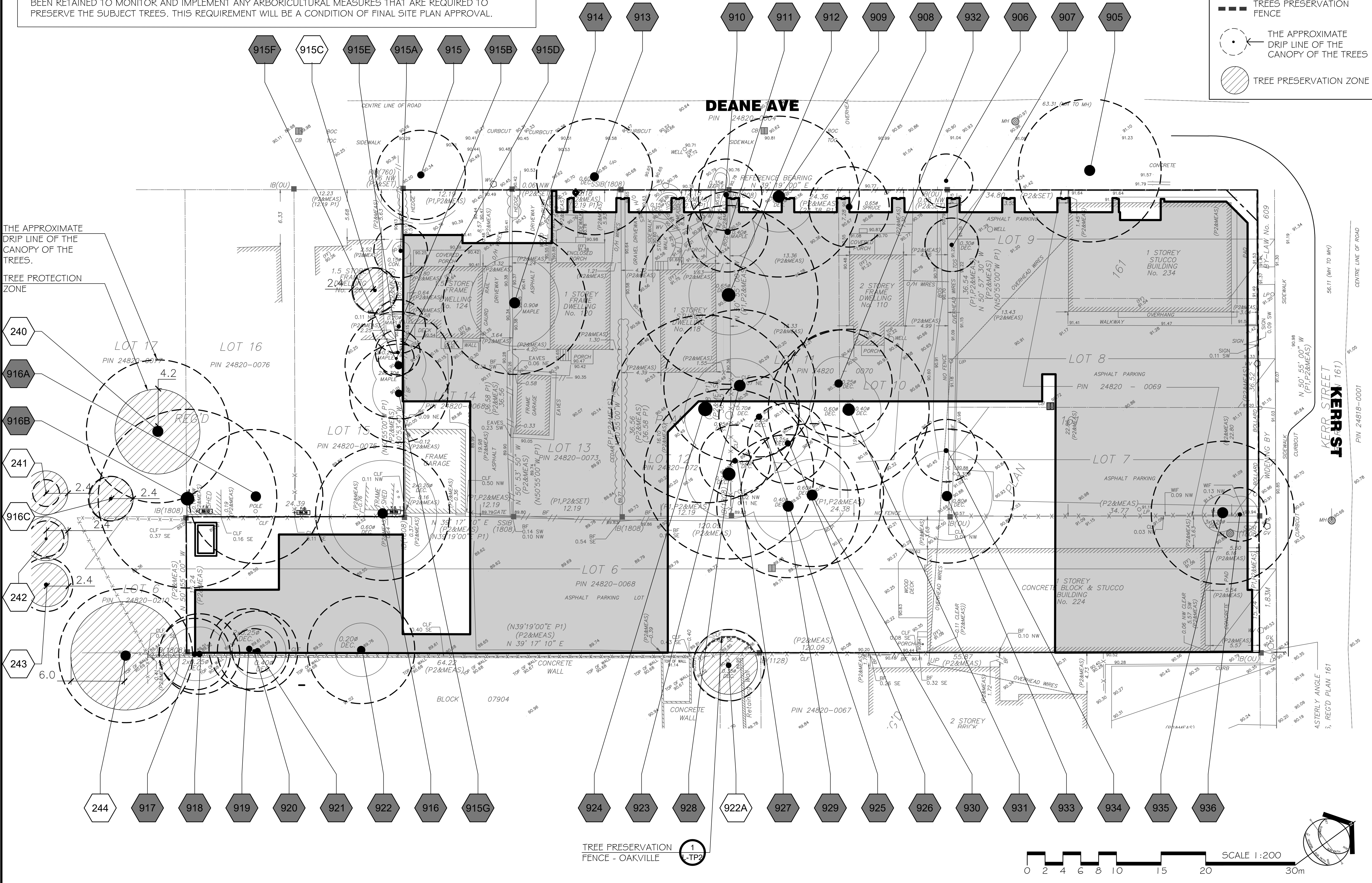
THESE DRAWINGS ARE INSTRUMENTS OF SERVICE AND THE LANDSCAPE ARCHITECT RETAINS OWNERSHIP OF THESE DRAWINGS. THEY ARE FOR SITE PLAN APPROVAL ONLY AND MAY REQUIRE FURTHER CONSTRUCTION DETAILING AND COORDINATION WITH OTHER ASSOCIATED PROFESSIONAL DESIGN SERVICES BEFORE ACTUAL TENDER AND CONSTRUCTION COMMENCES. DIMENSIONS ARE TO BE VERIFIED PRIOR TO CONSTRUCTION. DRAWINGS ARE NOT TO BE SCALED. IT IS ADVISED THAT CONTRACTORS CONTACT THE LANDSCAPE ARCHITECT PRIOR TO CONSTRUCTION TO ENSURE THE USE OF THE LATEST REVISED DRAWINGS. THE LANDSCAPE ARCHITECT IS NOT LIABLE FOR ERRORS OR OMISSIONS ARISING FROM UTILIZATION OF THESE PLANS BEFORE THE SAID DRAWINGS ARE SCALED, SIGNED AND DATED, AND THE LANDSCAPE ARCHITECT IS CONTRACTED TO PROVIDE CONSTRUCTION ADMINISTRATION AND CERTIFICATION SERVICES BY THE OWNER. ALL APPARENT DISCREPANCIES ARE TO BE REPORTED IN WRITING TO THE LANDSCAPE ARCHITECT BEFORE CONSTRUCTION COMMENCES.

PROJECT: ISSUED FOR PERMIT
 224 & 234 KERR STREET
 OAKVILLE, ON L6K 3A8

DRAWING: **TREE PRESERVATION PLAN**

DRAWN BY: KL SCALE: 1:200
 CHECKED BY: HJK DATE: 2020-06-12
 JOB NO.: 2020-052

L-TP1
 DRAWING 1 of 2



TREE PRESERVATION FENCE - OAKVILLE
 1 L-TP2

Tree Inventory & Valuation
Project 224 & 223 Kerr Street, Oakville

HKA Job #: 2020-052

Date: June 16, 2020
Conditions:

Inventory Done By: Tyler Main - ISA Certified - ON-2598A

CODES		
DBH	meter at breast height	(mm)
SPR	Spread	(m)
HT	Height	(m)
TI	Trunk Integrity	(G,F,P)
CS	Crown Structure	(G,F,P)
CV	Crown Vigor	(G,F,P)
CDB	Crown Die Black	(%)
SPP	Species Potential	(L,M,H)
SIP	Site Potential	(L,M,H)
PHY	Physical Condition	(text)
- = Estimate (L)=low (M)=moderate (H)=high (G)= Good, (F) = Fair, (P) = Poor		

Tree Tag #	Common Name	Scientific Name	DBH (MM)	SP	HT	TI	CS	CV	CDB	SPP	SIP	PHY	Notes	Ownership	Recommendation (REMOVE/RETAIN)
240	Norway Maple	Acer platanoides	610	16	20	G	F	F	20%	H	L	Crotch at 2m. Broken branches in canopy. Adjacent in Fence	Tree on Neighbour's property	130 Deane Ave	RETAIN
241	Norway Maple	Acer platanoides	163	3	13	G	F	P	30%	H	L	Many broken branches throughout canopy. On slope. Approx. 5m from property line.	Tree in ravine	Municipal tree	RETAIN
242	Norway Maple	Acer platanoides	143	4	14	G	P	P	25%	H	L	Many broken branches throughout canopy. On slope. Approx. 5m from property line.	Tree in ravine	Municipal tree	RETAIN
243	Norway Maple	Acer platanoides	290	6	16	G	P	F	25%	H	L	Many broken branches throughout canopy. On slope. Approx. 5m from property line.	Tree in ravine	Municipal tree	RETAIN
244	Silver Maple	Acer saccharinum	1000	15	20	F	F	F	15%	H	L	Growing through fence line. Some broken branches in canopy 1m from property line.	Tree in ravine	Municipal tree	RETAIN
905	Norway Maple	Acer platanoides	775	16	16	F	F	F	35%	H	L	Torsion, possible girdling	Growing with Hydro lines	Municipal tree	REMOVE
906	Norway Maple	Acer platanoides	225	6	9	F	F	F	40%	H	L		Growing with Hydro lines	Municipal tree	REMOVE
907	Norway Maple	Acer platanoides	245	6	10	F	P	F	70%	H	L		Growing with Hydro lines	Subject site tree	REMOVE
908	White Spruce	Picea glauca	580	9	20	F	F	G	40%	H	L		Growing with Hydro lines	Subject site tree	REMOVE
909	White Mulberry	Morus alba	420	18	9	F	F	F	35%	H	L	Leaning	Growing with Hydro lines	Subject site tree	REMOVE
910	Norway Maple	Acer platanoides	220	8	7	P	F	P	40%	H	L	Leaning, growing along fence	Growing with Hydro lines	Subject site tree	REMOVE
911	Norway Maple	Acer platanoides	280	9	12	F	F	F	40%	H	L	Leader cut off		Subject site tree	REMOVE
912	Black Walnut	Juglans nigra	705	20	22	G	G	G	20%	H	L	Canker, rot, broken	Growing with Hydro lines	Subject site tree	REMOVE
913	Norway Maple	Acer platanoides	715	13	15	P	P	F	70%	H	L			Municipal tree	REMOVE
914	Norway Maple	Acer platanoides	800	16	16	P	P	P	90%	H	L	Dead, Standing Snag		Subject site tree	REMOVE
915	Norway Maple	Acer platanoides	680	10	16	F	F	P	20%	H	L	Large wound, crotch at 2 M, 1 limb cut		Municipal tree	REMOVE
915A	Norway Maple	Acer platanoides	140	6	9	F	F	F	20%	H	H		Tree on Neighbour's property	126 Deane Ave	REMOVE WITH PERMISSION FROM NEIGHBOUR
915B	Norway Maple	Acer platanoides	260	6	12	F	F	F	30%	H	H		Tree on Neighbour's property	126 Deane Ave	REMOVE WITH PERMISSION FROM NEIGHBOUR
915C	Norway Maple	Acer platanoides	160	5	11	F	F	F	30%	H	H		Tree on Neighbour's property	Adjoining property tree	RETAIN
915D	Norway Maple	Acer platanoides	150	4	6	F	P	F	60%	H	H		Tree on Neighbour's property	126 Deane Ave	REMOVE WITH PERMISSION FROM NEIGHBOUR
915E	Norway Maple	Acer platanoides	165	5	11	F	F	F	35%	H	H		Tree on Neighbour's property	126 Deane Ave	REMOVE WITH PERMISSION FROM NEIGHBOUR
915F	Norway Maple	Acer platanoides	390	12	14	F	F	P	25%	H	H	Large wound, growing along fence	Tree on Neighbour's property	126 Deane Ave	REMOVE WITH PERMISSION FROM NEIGHBOUR
915G	Norway Maple	Acer platanoides	240	11	12	F	F	F	20%	H	H	Canker	Tree on Neighbour's property	126 Deane Ave	REMOVE WITH PERMISSION FROM NEIGHBOUR
916	Norway Maple	Acer platanoides	540	15	16	F	P	P	60%	H	H	Canker, cracks	Tree on Neighbour's property	126 Deane Ave	REMOVE WITH PERMISSION FROM NEIGHBOUR
916A	Norway Maple	Acer platanoides	570	15	21	F	F	F	30%	H	H	Canker	Tree on Neighbour's property	126 Deane Ave	REMOVE WITH PERMISSION FROM NEIGHBOUR
916B	Norway Maple	Acer platanoides	600	17	20	F	F	F	30%	H	H	Crotch at 2 M 3 main leaders	Tree on Neighbour's property	126 Deane Ave	REMOVE WITH PERMISSION FROM NEIGHBOUR
916C	Norway Maple	Acer platanoides	480, 530	20	21	F	F	F	30%	H	H	Crotch at 1.5 M, canker	Tree on Neighbour's property	130 Deane Ave	REMOVE WITH PERMISSION FROM NEIGHBOUR

Tree Tag #	Common Name	Scientific Name	DBH	SP	HT	TI	CS	CV	CDB	SPP	SIP	PHY	Notes	Ownership	Recommendation (REMOVE/RETAIN)
917	Norway Maple	Acer platanoides	250	8	17	F	F	F	30%	H	L	Growing along wall		126 Deane Ave	REMOVE
918	Norway Maple	Acer platanoides	260	9	17	F	F	F	30%	H	L	Growing along wall		Adjoining property tree	REMOVE
919	Norway Maple	Acer platanoides	255	9	17	F	F	F	25%	H	L	Growing along wall, canker		Subject site tree	REMOVE
920	Norway Maple	Acer platanoides	225, 330	5	10	F	F	F	35%	H	L	Growing along wall, canker		Subject site tree	REMOVE
921	Black Walnut	Juglans nigra	230	9	13	F	F	F	25%	H	L	Growing along wall		Subject site tree	REMOVE
922	Black Walnut	Juglans nigra	360	12	20	F	F	F	25%	H	L	Growing along wall		Subject site tree	REMOVE
922A	Norway Spruce	Picea abies	330	8	16	G	G	G	20%	H	L		Tree on Neighbour's property	216 Kerr St	RETAIN AND PROTECT
923	Black Walnut	Juglans nigra	550	17	20	G	G	G	25%	H	L			Subject site tree	REMOVE
924	Black Walnut	Juglans nigra	680	21	22	G	G	G	25%	H	L			Subject site tree	REMOVE
925	Black Walnut	Juglans nigra	230	9	16	G	G	G	20%	H	L			Subject site tree	REMOVE
926	Black Walnut	Juglans nigra	210	9	16	G	G	G	20%	H	L			Subject site tree	REMOVE
927	Black Walnut	Juglans nigra	200	8	14	G	G	G	20%	H	L			Subject site tree	REMOVE
928	Black Walnut	Juglans nigra	655	19	20	G	G	G	30%	H	L			Subject site tree	REMOVE
929	Black Walnut	Juglans nigra	440	16	18	G	G	G	25%	H	L			Subject site tree	REMOVE
930	Black Walnut	Juglans nigra	545	16	21	G	G	G	35%	H	L			Subject site tree	REMOVE
931	Black Walnut	Juglans nigra	530, 355	18	22	G	G	G	35%	H	L	Crotch at base		Subject site tree	REMOVE
932	Black Walnut	Juglans nigra	260	12	17	G	G	G	20%	H	L			Subject site tree	REMOVE
933	Black Walnut	Juglans nigra	630	15	22	G	F	F	35%	H	L	Poorly pruned	Growing along fence	Subject site tree	REMOVE
934	Norway Maple	Acer platanoides	270	7	6	P	P	P	60%	H	L	Leader cut off, Leaning		Subject site tree	REMOVE
935	Chinese Elm	Ulmus parvifolia	545	16	21	G	G	G	65%	H	L	Crotch at 0.3M		Subject site tree	REMOVE
936	Chinese Elm	Ulmus parvifolia	250	6	6	F	P	F	60%	H	L			Subject site tree	REMOVE

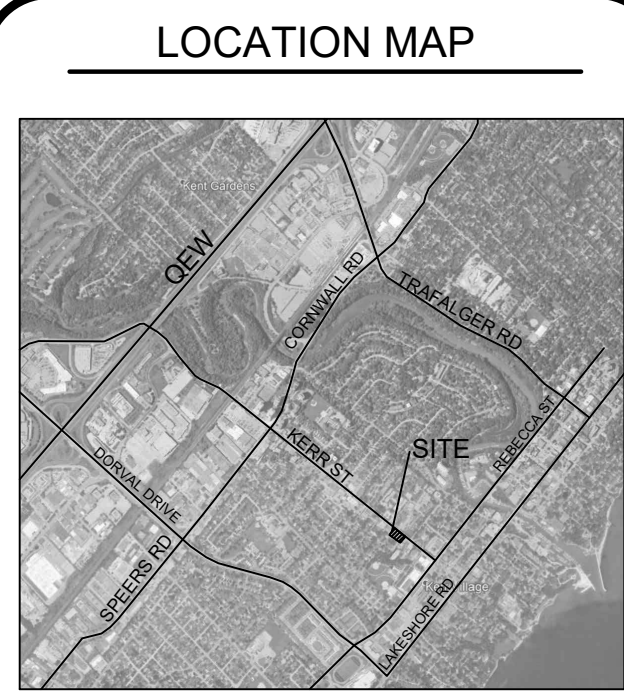
***NOTE:**
THE APPLICANT SHALL RETAIN THE SERVICES OF A LICENSED CERTIFIED ARBORIST TO MONITOR THE EXCAVATION WORK AND TO CARRY OUT ANY ARBORICULTURAL MEASURES DEEMED NECESSARY IN ORDER TO MINIMIZE THE IMPACT TO TREES 915A, 915B, 915D, 915E, 915F, 915G, 916, AND 916A. THE ARBORIST REPORT IS TO BE REVISED TO REFLECT THE INVOLVEMENT OF A LICENSED CERTIFIED ARBORIST AT THE CONSTRUCTION STAGE AND EXPLAIN WHAT PROCEDURE THE ARBORIST WILL IMPLEMENT WITH RESPECT TO PRESERVING THE NEIGHBOURING TREES TO THE MAXIMUM EXTENT POSSIBLE. URBAN FORESTRY WILL ALSO REQUIRE A CONFIRMATION LETTER FROM THE PROJECT ARBORIST THAT HE/SHE HAS BEEN RETAINED TO MONITOR AND IMPLEMENT ANY ARBORICULTURAL MEASURES THAT ARE REQUIRED TO PRESERVE THE SUBJECT TREES. THIS REQUIREMENT WILL BE A CONDITION OF FINAL SITE PLAN APPROVAL.

SCHEDULE 1
TREE PROTECTION BARRIER

Tree Protection Barriers

- 1 Tree protection barriers must be 1.2m (4ft) high, waterboard hoarding or an equivalent approved by Urban Forestry Services.
- 2 Tree protection barriers for trees situated on the Town road allowance where visibility must be maintained can be 1.2m (4ft) high and consist of plastic web along fencing on a wood frame made of 2"x 4"s.
- 3 Where some excavation or fill has to be temporarily located near a tree protection barrier, plywood must be used to ensure no material enters the Tree Protection Zone.
- 4 All supports and bracing should be outside the Tree Protection Zone. All such supports should minimize damaging roots outside the Tree Protection Zone.
- 5 No construction activity, grade changes, surface treatment or excavations of any kind is permitted within the Tree Protection Zone.

1 TREE PRESERVATION FENCE - OAKVILLE
N.T.S. 321313.11-81



GENERAL NOTES

THE LOCATION OF PROPERTY LINES, ELEVATIONS AND FACILITIES ON THIS PLAN WERE DRAWN ON THE BASIS OF A DIGITAL SITE PLAN OR SURVEY DATA PROVIDED BY OTHER CONSULTANTS.

IT IS THE RESPONSIBILITY OF THE CLIENT AND HIS CONTRACTORS TO CONFIRM THE ACCURACY OF THE SETBACKS, LOCATIONS AND GRADES ETC. ANY VARIATIONS BETWEEN EXISTING CONDITIONS AND THIS PLAN SHOULD BE ADJUSTED ON SITE AND REPORTED TO THE CONSULTING LANDSCAPE ARCHITECT TO DETERMINE THE IMPACT OF THE VARIATIONS ON THE SUITABILITY OF THE PROPOSED DEVELOPMENT.

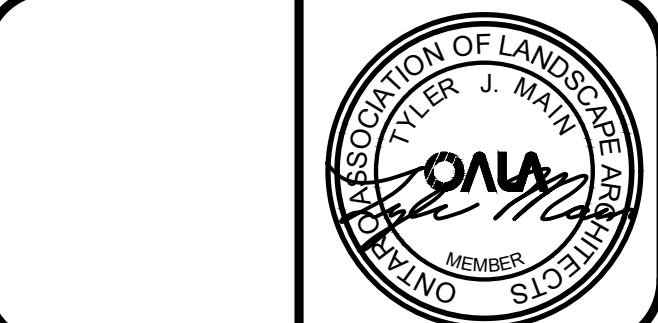
CONSTRUCTION MUST CONFORM TO ALL CODES AND REQUIREMENTS OF AUTHORITIES HAVING JURISDICTION.

REVISIONS

NO.	DATE	NOTES	BY
11	2022-05-05	ISSUED FOR PERMIT	LZH
10	2022-03-21	REVISED PER COMMENTS	LZH
9	2021-12-13	REVISED PER NEW BASE	LZH
8	2021-11-26	REVISED PER NEW BASE	KL
7	2021-07-15	REVISED PER COMMENTS	KL
6	2021-07-12	REVISED UPDATED BASE	KL
5	2021-06-09	REVISED AS PER COMMENTS	KL
4	2021-01-27	REVISED AS PER UPDATED SITE PLAN	LZH
3	2021-01-12	TREE PRESERVATION PLAN UPDATED	LZH
2	2020-12-23	REVISED AS PER UPDATED SITE PLAN	LZH
1	2020-06-12	SET UP DRAWING	KL

THESE LANDSCAPE DRAWINGS SHALL ONLY BE USED FOR THE PURPOSES INDICATED BELOW AS NOTED AND WHEN SIGNED BY THE CONSULTING LANDSCAPE ARCHITECT.

- CONCEPTUAL TENDER
- PRELIMINARY CONTRACT
- SITE PLAN CONSTRUCTION
- PERMIT AS-BUILT



HENRY KORTEKAAS & ASSOCIATES INC.
LANDSCAPE ARCHITECTS, ARBORISTS, ENVIRONMENTAL & RECREATIONAL PLANNERS
391 LIVERPOOL ROAD, PICKERING, ON L1W 1R1
TEL: 905-889-6599 EMAIL: INFO@HKGA.CA

THESE DRAWINGS ARE INSTRUMENTS OF SERVICE AND THE LANDSCAPE ARCHITECT RETAINS OWNERSHIP OF THESE DRAWINGS. THEY ARE FOR SITE PLAN APPROVAL ONLY AND MAY REQUIRE FURTHER CONSTRUCTION DETAILING AND COORDINATION WITH OTHER ASSOCIATED PROFESSIONAL DESIGN SERVICES BEFORE ACTUAL TENDER AND CONSTRUCTION COMMENCES. DIMENSIONS ARE TO BE VERIFIED PRIOR TO CONSTRUCTION. DRAWINGS ARE NOT TO BE SCALED. IT IS ADVISED THAT CONTRACTORS CONTACT THE LANDSCAPE ARCHITECT PRIOR TO CONSTRUCTION TO ENSURE THE USE OF THE LATEST REVISED DRAWINGS. THE LANDSCAPE ARCHITECT IS NOT LIABLE FOR ERRORS OR OMISSIONS ARISING FROM UTILIZATION OF THESE PLANS BEFORE THE SAID DRAWINGS ARE SCALED, SIGNED AND DATED. AND THE LANDSCAPE ARCHITECT IS CONTRACTED TO PROVIDE CONSTRUCTION ADMINISTRATION AND CERTIFICATION SERVICES BY THE OWNER. ALL APPARENT DISCREPANCIES ARE TO BE REPORTED IN WRITING TO THE LANDSCAPE ARCHITECT BEFORE CONSTRUCTION COMMENCES.

PROJECT: ISSUED FOR PERMIT
224 & 234 KERR STREET
OAKVILLE, ON L6K 3A8

DRAWING: TREE PRESERVATION PLAN

DRAWN BY: KL SCALE: AS SHOWN
CHECKED BY: HJK DATE: 2020-06-12
JOB NO.: 2020-052
DRAWING 2 of 2

File #2020-052

PLANT SCHEDULE ROW

TREES	QTY	BOTANICAL NAME	COMMON NAME	SIZE	CONT	REMARKS
CCE	3	Cercis canadensis	Eastern Redbud	150cm Ht. Multistem	W.B.	
QUR	1	Quercus rubra	Red Oak	60mm Cal.	W.B.	
SRI	4	Syringa reticulata 'Ivory Silk'	Ivory Silk Japanese Tree Lilac	60mm Cal.	W.B.	

REFERENCE NOTES SCHEDULE SITE

SYMBOL	DESCRIPTION	QTY	DETAIL
[Symbol]	Armourstone retaining wall - 1 lift	32.3 m	6/L-D1

SYMBOL	DESCRIPTION	QTY	DETAIL
[Symbol]	Chain Link Fence - Black Vinyl - 1.2m	53.6 m	1/L-D2
[Symbol]	Horizontal Board Ipe Wood Privacy Fence - 1.8m Ht.	43.3 m	9/L-D2

SYMBOL	DESCRIPTION	QTY	DETAIL
[Symbol]	Unilock U-Cara Grill Island	2	13/L-D1

SYMBOL	DESCRIPTION	QTY	DETAIL
[Symbol]	Maglin MLB1050-W Bench	2	10/L-D1

SYMBOL	DESCRIPTION	QTY	DETAIL
[Symbol]	Maglin MLPT400-WCA Table (Accessible)	1	11/L-D2

SYMBOL	DESCRIPTION	QTY	DETAIL
[Symbol]	Engineered Safety Wood Chips Play Area	25.5 m ²	7/L-D2

SYMBOL	DESCRIPTION	QTY	DETAIL
[Symbol]	Water Washed Stone	8.0 m ²	11/L-D1

SYMBOL	DESCRIPTION	QTY	DETAIL
[Symbol]	Sod over 150mm Topsoil	15.2 m ²	4/L-D1

SYMBOL	DESCRIPTION	QTY	DETAIL
[Symbol]	Concrete Paving with 200mm depth of 19mm Crusher Run Limestone	118.7 m ²	5/L-D1

SYMBOL	DESCRIPTION	QTY	DETAIL
[Symbol]	Concrete Paving with 150mm depth of 19mm Crusher Run Limestone	270.4 m ²	2/L-D2

SYMBOL	DESCRIPTION	QTY	DETAIL
[Symbol]	Unilock Northshore 14.75 x 14.75" - Colour: Almond Grove	39.4 m ²	9/L-D1

SYMBOL	DESCRIPTION	QTY	DETAIL
[Symbol]	Unilock Series - 7 x 14" - Colour: Mountain Mist	20.0 m ²	9/L-D1

SYMBOL	DESCRIPTION	QTY	DETAIL
[Symbol]	Random Natural Flagstone Paving	103.5 m ²	2/L-D3

SYMBOL	DESCRIPTION	QTY	DETAIL
[Symbol]	Unilock Umbriano Paver - Unit Size: 30cm x 60cm x 7cm - Paving Pattern: Herringbone (Colour: French Grey)	63.6 m ²	3/L-D3

SYMBOL	DESCRIPTION	QTY	DETAIL
[Symbol]	Unilock Series Paver - Solder Course - Unit Size 40cm x 20cm x 7cm (Colour: Black Granite)	11.7 m ²	3/L-D3

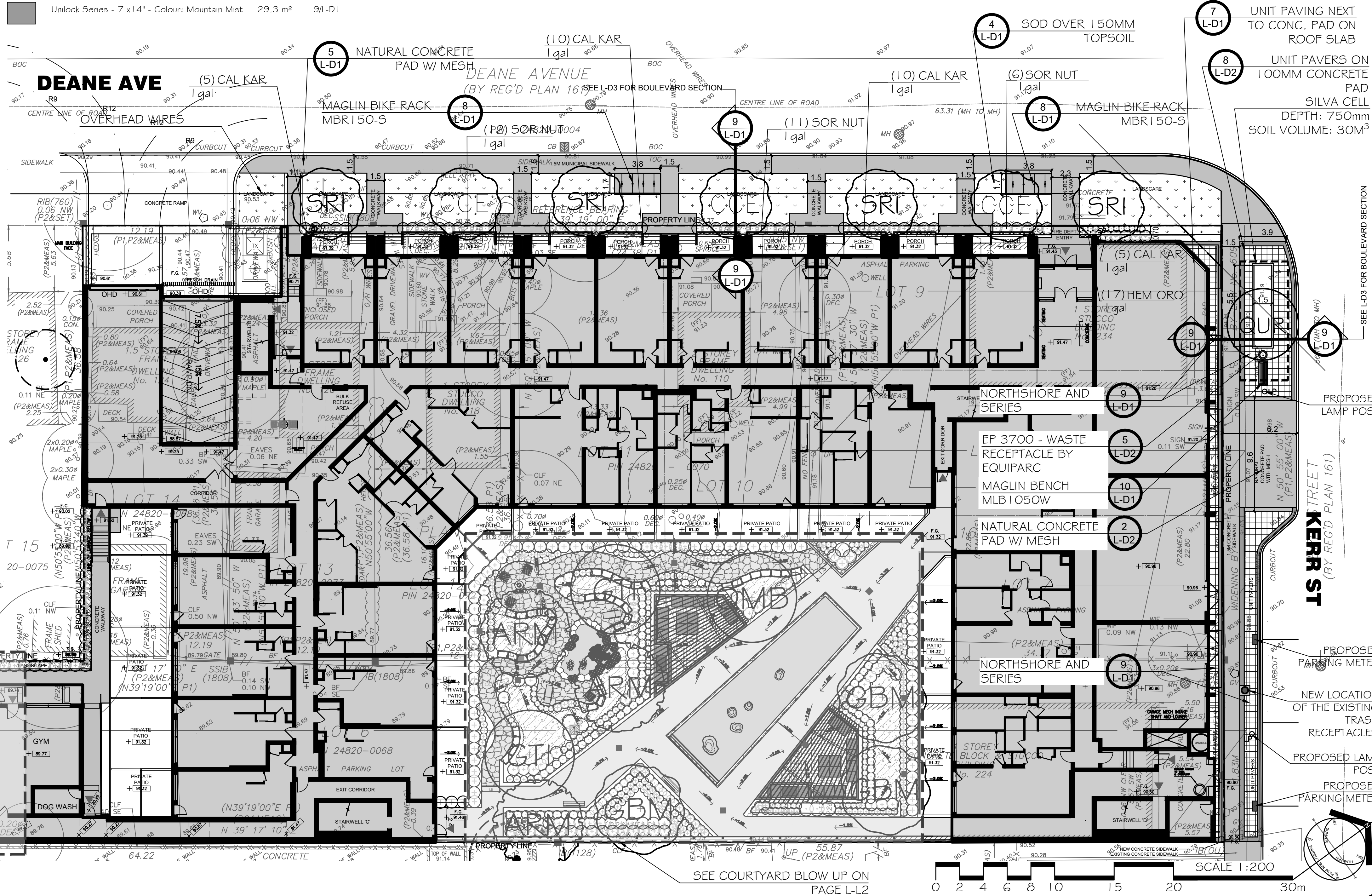
*NOTE: ALL LIGHTING DEVICES SHALL BE FULL CUT OFF AND NIGHT SKY FRIENDLY, AND SHALL BE MITIGATED AT THE SOURCE SO THAT NO LIGHT (0.0 LUX) WILL BE DIRECTLY PROJECTED ONTO ADJACENT PROPERTIES

PLANT SCHEDULE SITE

TREES	QTY	BOTANICAL NAME	COMMON NAME	SIZE	CONT	REMARKS
ARM	3	Acer rubrum	Red Maple	60mm Cal.	W.B.	spring dug
GBM	3	Ginkgo biloba	Maidenhair Tree	60mm Cal.	W.B.	
GTI	2	Gleditsia tnacanthos inermis 'Shademaster' TM	Shademaster Locust	60mm Cal.	W.B.	
QMB	1	Quercus macrocarpa	Burr Oak	60mm Cal.	W.B.	spring dug

SHRUBS	QTY	BOTANICAL NAME	COMMON NAME	SIZE	CONT	REMARKS
ACE BLO	1	Acer palmatum 'Bloodgood'	Bloodgood Japanese Maple	150cm Ht. Multi-Stem	W.B.	
ATH FNB	117	Athyrium x 'Branford Beauty'	Ladyfern	1 gal	Potted	
CAL KAR	104	Calamagrostis x acutiflora 'Karl Foerster'	Feather Reed Grass	1 gal	Potted	
EVO BUS	3	Euonymus alatus 'Compacta'	Dwarf Burning Bush	50cm Ht.	Potted	
FES OV2	86	Festuca ovina glauca 'Elijah Blue'	Blue Fescue	1 gal	Potted	
HEM FUL	29	Hemerocallis fulva	Orange Daylily	1 gal	Potted	
HEM ORO	154	Hemerocallis x 'Stella de Oro'	Stella de Oro Daylily	1 gal	Potted	
HYD ANN	46	Hydrangea arborescens 'Annabelle'	Annabelle Smooth Hydrangea	2 gal	Potted	
JUN BA2	27	Juniperus horizontalis 'Bar Harbor'	Bar Harbor Creeping Juniper	50cm Ht.	Potted	DT
JUN W12	3	Juniperus horizontalis 'Wiltoni'	Blue Rug Juniper	50cm Ht.	Potted	DT
LIG VIC	53	Ligustrum vicaryi	Golden Privet	50cm Ht.	Potted	DT
RIB ALP	15	Ribes alpinum	Alpine Currant	50cm Ht.	Potted	
SOR NUT	29	Sorghastrum nutans	Indian Grass	1 gal	Potted	
SPI NIP	8	Spiraea nipponica 'Snowmound'	Snowmound Spirea	50cm Ht.	Potted	
SPI GO4	37	Spiraea x bumalda 'Goldflame'	Goldflame Spirea	30cm Ht.	Potted	
SYR MEY	10	Syringa meyeri 'Palibin'	Dwarf Korean Lilac	50cm Ht.	Potted	
THU OC2	5	Thuja occidentalis	Eastern White Cedar	120cm Ht.	Native Field Cedar	

GROUND COVERS	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT	SPACING
[Symbol]	VIN CO2	332	Vinca minor	Common Periwinkle	10cm Plug	500mm



LOCATION MAP



GENERAL NOTES

THE LOCATION OF PROPERTY LINES, ELEVATIONS AND FACILITIES ON THIS PLAN WERE DRAWN ON THE BASIS OF A DIGITAL SITE PLAN OR SURVEY DATA PROVIDED BY OTHER CONSULTANTS. IT IS THE RESPONSIBILITY OF THE CLIENT AND HIS CONTRACTORS TO CONFIRM THE ACCURACY OF THE SETBACKS, LOCATIONS AND GRADES ETC. ANY VARIATIONS BETWEEN EXISTING CONDITIONS AND THIS PLAN SHOULD BE ADJUSTED ON SITE AND REPORTED TO THE CONSULTING LANDSCAPE ARCHITECT TO DETERMINE THE IMPACT OF THE VARIATIONS ON THE SUITABILITY OF THE PROPOSED DEVELOPMENT. CONSTRUCTION MUST CONFORM TO ALL CODES AND REQUIREMENTS OF AUTHORITIES HAVING JURISDICTION.

REVISIONS

NO.	DATE	NOTES	BY
11	2022-05-05	ISSUED FOR PERMIT	LZH
10	2022-03-21	REVISED PER COMMENTS	LZH
9	2021-12-13	REVISED PER NEW BASE	LZH
8	2021-11-26	REVISED PER NEW BASE	KL
7	2021-07-15	REVISED PER COMMENTS	KL
6	2021-07-12	REVISED UPDATED BASE	KL
5	2021-06-09	REVISED AS PER COMMENTS	KL
4	2021-01-27	REVISED AS PER UPDATED SITE PLAN	LZH
3	2021-01-12	THREE PRESERVATION PLAN UPDATED	LZH
2	2020-12-23	REVISED AS PER UPDATED SITE PLAN	LZH
1	2020-06-12	SET UP DRAWING	KL

THESE LANDSCAPE DRAWINGS SHALL ONLY BE USED FOR THE PURPOSES INDICATED BELOW AS NOTED AND WHEN SIGNED BY THE CONSULTING LANDSCAPE ARCHITECT.

- CONCEPTUAL
- PRELIMINARY
- SITE PLAN
- PERMIT
- TENDER
- CONTRACT
- CONSTRUCTION
- AS-BUILT

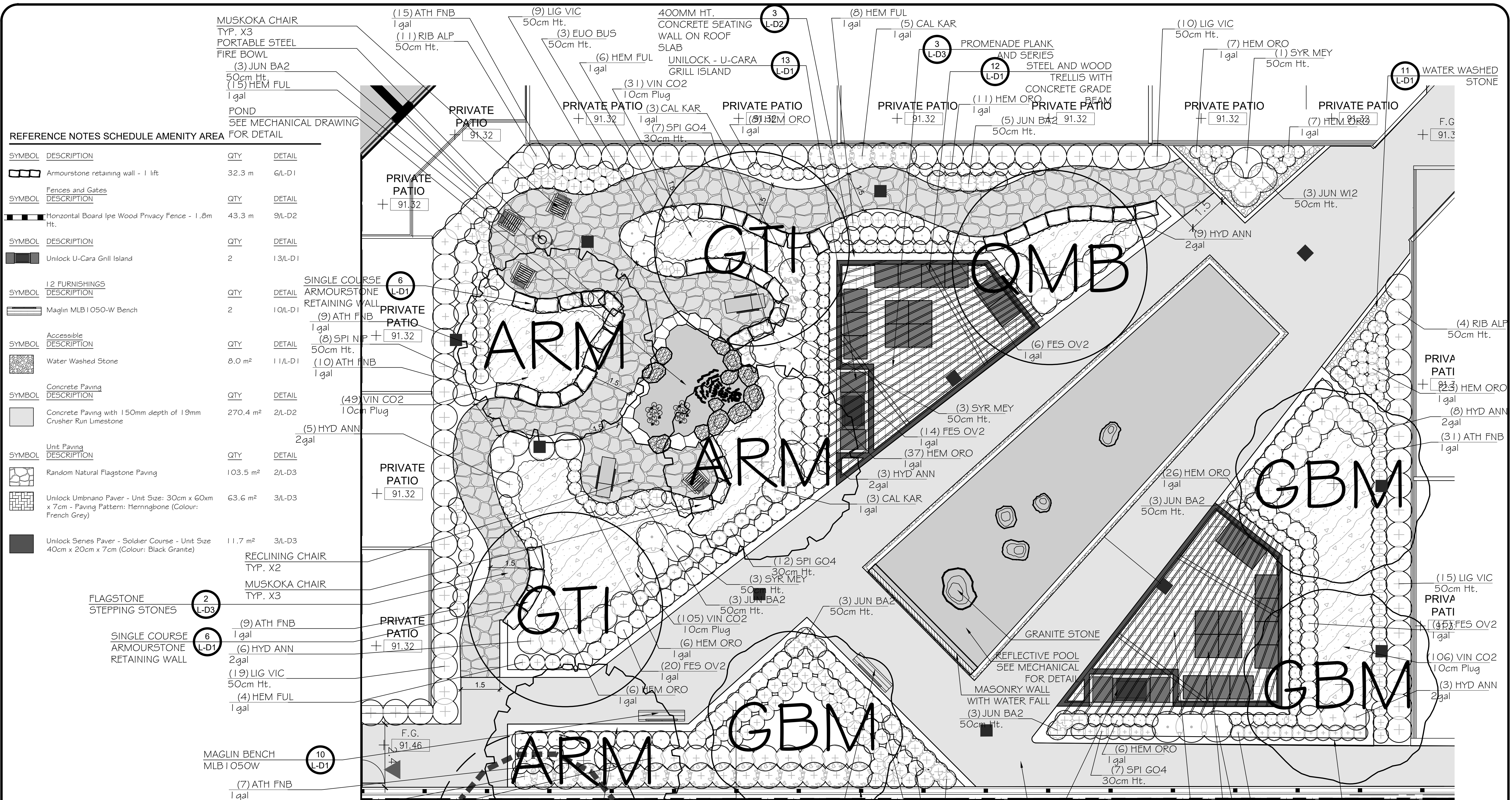


HENRY KORTEKAAS & ASSOCIATES INC.
 LANDSCAPE ARCHITECTS, ARBORISTS, ENVIRONMENTAL & RECREATIONAL PLANNERS
 589 LINCOLN ROAD, PICKERING, ON L1W 1R1 EMAIL: INFO@HKLGA.CA

THESE DRAWINGS ARE INSTRUMENTS OF SERVICE AND THE LANDSCAPE ARCHITECT RETAINS OWNERSHIP OF THESE DRAWINGS. THEY ARE FOR SITE PLAN APPROVAL ONLY AND MAY REQUIRE FURTHER CONSTRUCTION DETAILING AND COORDINATION WITH OTHER ASSOCIATED PROFESSIONAL DESIGN SERVICES BEFORE ACTUAL TENDER AND CONSTRUCTION COMMENCES. DIMENSIONS ARE TO BE VERIFIED PRIOR TO CONSTRUCTION. DRAWINGS ARE NOT TO BE SCALED. IT IS ADVISED THAT CONTRACTORS CONTACT THE LANDSCAPE ARCHITECT PRIOR TO CONSTRUCTION TO ENSURE THE USE OF THE LATEST REVISED DRAWINGS. THE LANDSCAPE ARCHITECT IS NOT LIABLE FOR ERRORS OR OMISSIONS ARISING FROM UTILIZATION OF THESE PLANS BEFORE THE SAID DRAWINGS ARE SCALED, SIGNED AND DATED. THE LANDSCAPE ARCHITECT IS CONTRACTED TO PROVIDE CONSTRUCTION ADMINISTRATION AND CERTIFICATION SERVICES BY THE OWNER. ALL APPARENT DISCREPANCIES ARE TO BE REPORTED IN WRITING TO THE LANDSCAPE ARCHITECT BEFORE CONSTRUCTION COMMENCES.

ISSUED FOR PERMIT
 PROJECT: 224 & 234 KERR STREET
 OAKVILLE, ON L6K 3A8

DRAWING: **LANDSCAPE PLAN**
 DRAWN BY: KL SCALE: 1:200
 CHECKED BY: HJK DATE: 2020-06-12
 JOB NO.: 2020-052
L-L1
 DRAWING 1 of 8
 File #2020-052



REFERENCE NOTES SCHEDULE AMENITY AREA FOR DETAIL

SYMBOL	DESCRIPTION	QTY	DETAIL
[Symbol]	Armourstone retaining wall - 1 lift	32.3 m	6/L-D1
[Symbol]	Fences and Gates		
[Symbol]	Horizontal Board Ipe Wood Privacy Fence - 1.8m Ht.	43.3 m	9/L-D2
[Symbol]	Unilock U-Cara Grill Island	2	13/L-D1
[Symbol]	12 FURNISHINGS		
[Symbol]	Maglin MLB1050-W Bench	2	10/L-D1
[Symbol]	Accessible		
[Symbol]	Water Washed Stone	8.0 m ²	11/L-D1
[Symbol]	Concrete Paving		
[Symbol]	Concrete Paving with 150mm depth of 19mm Crusher Run Limestone	270.4 m ²	2/L-D2
[Symbol]	Unit Paving		
[Symbol]	Random Natural Flagstone Paving	103.5 m ²	2/L-D3
[Symbol]	Unilock Umbriano Paver - Unit Size: 30cm x 60cm x 7cm - Paving Pattern: Hemingbone (Colour: French Grey)	63.6 m ²	3/L-D3
[Symbol]	Unilock Senes Paver - Soldier Course - Unit Size 40cm x 20cm x 7cm (Colour: Black Granite)	11.7 m ²	3/L-D3

PLANT SCHEDULE AMENITY AREA

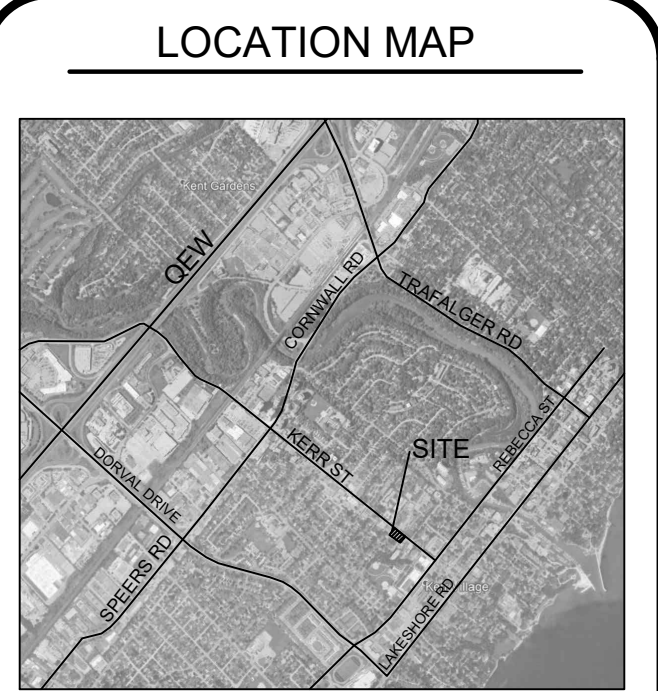
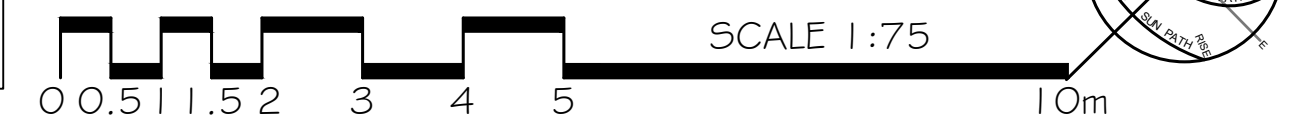
TREES	QTY	BOTANICAL NAME	COMMON NAME	SIZE	CONT	REMARKS
ARM	3	Acer rubrum	Red Maple	60mm Cal.	W.B.	spring dug
GBM	3	Ginkgo biloba	Maidenhair Tree	60mm Cal.	W.B.	
GTI	2	Gleditsia tnananthos inermis 'Shademaster' TM	Shademaster Locust	60mm Cal.	W.B.	
QMB	1	Quercus macrocarpa	Burr Oak	60mm Cal.	W.B.	spring dug

SHRUBS	QTY	BOTANICAL NAME	COMMON NAME	SIZE	CONT	REMARKS
ATH FNB	117	Athyrium x 'Branford Beauty'	Ladyfern	1 gal	Potted	
CAL KAR	27	Calamagrostis x acutiflora 'Karl Foerster'	Feather Reed Grass	1 gal	Potted	
EUN BUS	3	Euonymus alatus 'Compacta'	Dwarf Burning Bush	50cm Ht.	Potted	
FES OV2	86	Festuca ovina glauca 'Elijah Blue'	Blue Fescue	1 gal	Potted	
HEM FUL	29	Hemerocallis fulva	Orange Daylily	1 gal	Potted	
HEM ORO	137	Hemerocallis x 'Stella de Oro'	Stella de Oro Daylily	1 gal	Potted	
HYD ANN	46	Hydrangea arborescens 'Annabelle'	Annabelle Smooth Hydrangea	2 gal	Potted	
JUN BA2	27	Juniperus horizontalis 'Bar Harbor'	Bar Harbor Creeping Juniper	50cm Ht.	Potted	DT
JUN W12	3	Juniperus horizontalis 'Wiltoni'	Blue Rug Juniper	50cm Ht.	Potted	DT
LIG VIC	53	Ligustrum vicaryi	Golden Privet	50cm Ht.	Potted	DT
RIB ALP	15	Ribes alpinum	Alpine Currant	50cm Ht.	Potted	DT
SPI NIP	8	Spiraea nipponica 'Snowmound'	Snowmound Spiraea	50cm Ht.	Potted	
SPI GO4	37	Spiraea x bumalda 'Goldflame'	Goldflame Spiraea	30cm Ht.	Potted	
SYR MEY	10	Syringa meyeri 'Palibin'	Dwarf Korean Lilac	50cm Ht.	Potted	

PLANT SCHEDULE AMENITY AREA

GROUND COVERS	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT	SPACING	REMARKS
[Symbol]	VIN CO2	321	Vinca minor	Common Periwinkle	10cm Plug	500mm	

*NOTE: POND AND REFLECTIVE POOL TO BE DETAILED BY MECHANICAL ENGINEER.



GENERAL NOTES

THE LOCATION OF PROPERTY LINES, ELEVATIONS AND FACILITIES ON THIS PLAN WERE DRAWN ON THE BASIS OF A DIGITAL SITE PLAN OR SURVEY DATA PROVIDED BY OTHER CONSULTANTS.

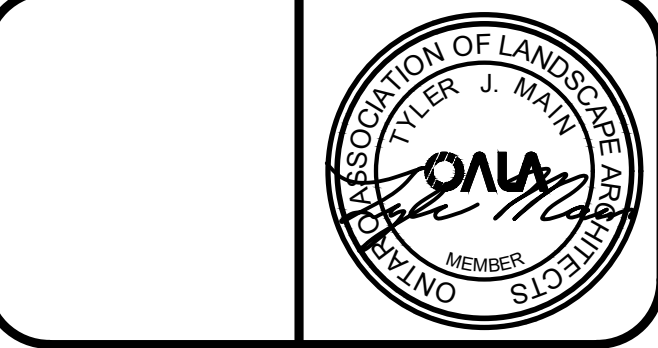
IT IS THE RESPONSIBILITY OF THE CLIENT AND HIS CONTRACTORS TO CONFIRM THE ACCURACY OF THE SETBACKS, LOCATIONS AND GRADES ETC. ANY VARIATIONS BETWEEN EXISTING CONDITIONS AND THIS PLAN SHOULD BE ADJUSTED ON SITE AND REPORTED TO THE CONSULTING LANDSCAPE ARCHITECT TO DETERMINE THE IMPACT OF THE VARIATIONS ON THE SUITABILITY OF THE PROPOSED DEVELOPMENT.

CONSTRUCTION MUST CONFORM TO ALL CODES AND REQUIREMENTS OF AUTHORITIES HAVING JURISDICTION.

REVISIONS

NO.	DATE	NOTES	BY
11	2022-05-05	ISSUED FOR PERMIT	LZH
10	2022-03-21	REVISED PER COMMENTS	LZH
9	2021-12-13	REVISED PER NEW BASE	LZH
8	2021-11-26	REVISED PER NEW BASE	KL
7	2021-07-15	REVISED PER COMMENTS	KL
6	2021-07-12	REVISED UPDATED BASE	KL
5	2021-06-09	REVISED AS PER COMMENTS	KL
4	2021-01-27	REVISED AS PER UPDATED SITE PLAN	LZH
3	2021-01-12	THREE PRESERVATION PLAN UPDATED	LZH
2	2020-12-23	REVISED AS PER UPDATED SITE PLAN	LZH
1	2020-06-12	SET UP DRAWING	KL

CONCEPTUAL	TENDER
[Symbol]	[Symbol]
PRELIMINARY	CONTRACT
[Symbol]	[Symbol]
SITE PLAN	CONSTRUCTION
[Symbol]	[Symbol]
PERMIT	AS-BUILT
[Symbol]	[Symbol]



HENRY KORDEKAAS & ASSOCIATES INC.
 LANDSCAPE ARCHITECTS, ARBORISTS, ENVIRONMENTAL & RECREATIONAL PLANNERS
 591 LIVERPOOL ROAD TEL: 905-889-5599
 PICKERING, ON L1W 1R1 EMAIL: INFO@HKLGA.CA

THESE DRAWINGS ARE INSTRUMENTS OF SERVICE AND THE LANDSCAPE ARCHITECT RETAINS OWNERSHIP OF THESE DRAWINGS. THEY ARE FOR SITE PLAN APPROVAL ONLY AND MAY REQUIRE FURTHER CONSTRUCTION DETAILING AND COORDINATION WITH OTHER ASSOCIATED PROFESSIONAL DESIGN SERVICES BEFORE ACTUAL TENDER AND CONSTRUCTION COMMENCES. DIMENSIONS ARE TO BE VERIFIED PRIOR TO CONSTRUCTION. DRAWINGS ARE NOT TO BE SCALED. IT IS ADVISED THAT CONTRACTORS CONTACT THE LANDSCAPE ARCHITECT PRIOR TO CONSTRUCTION TO ENSURE THE USE OF THE LATEST REVISED DRAWINGS. THE LANDSCAPE ARCHITECT IS NOT LIABLE FOR ERRORS OR OMISSIONS ARISING FROM UTILIZATION OF THESE PLANS BEFORE THE SAID DRAWINGS ARE SCALED, SIGNED AND DATED. AND THE LANDSCAPE ARCHITECT IS CONTRACTED TO PROVIDE CONSTRUCTION ADMINISTRATION AND CERTIFICATION SERVICES BY THE OWNER. ALL APPARENT DISCREPANCIES ARE TO BE REPORTED IN WRITING TO THE LANDSCAPE ARCHITECT BEFORE CONSTRUCTION COMMENCES.

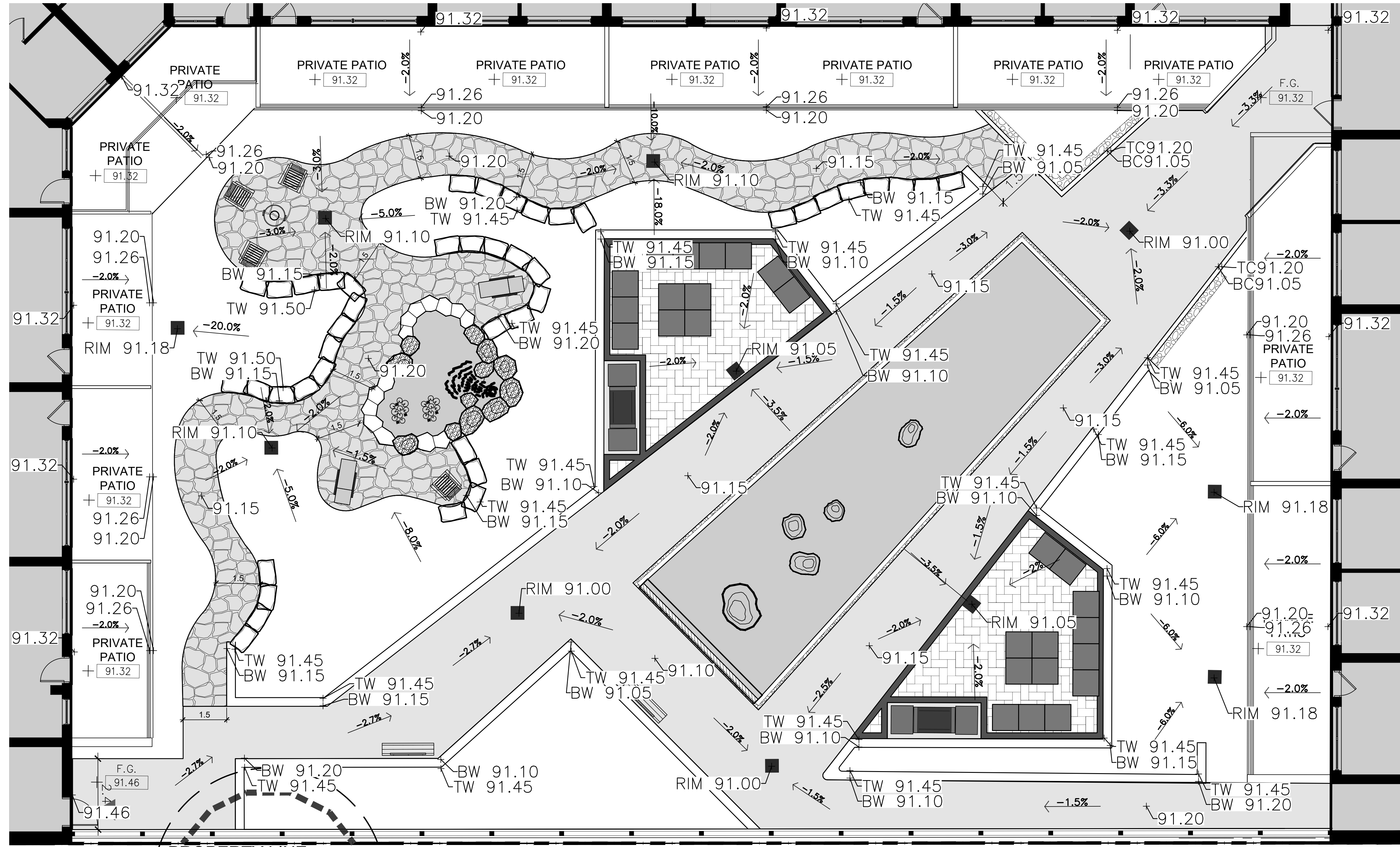
PROJECT: ISSUED FOR PERMIT
 224 & 234 KERR STREET
 OAKVILLE, ON L6K 3A8

DRAWING: **LANDSCAPE PLAN COURTYARD**

DRAWN BY: KL SCALE: 1:75
 CHECKED BY: HJK DATE: 2020-06-12
 JOB NO.: 2020-052

L-L2
 DRAWING 2 of 8

File #2020-052



LOCATION MAP



GENERAL NOTES

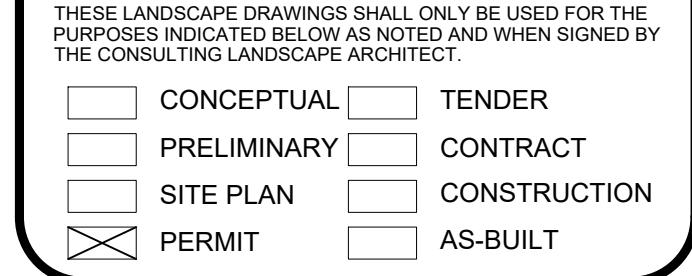
THE LOCATION OF PROPERTY LINES, ELEVATIONS AND FACILITIES ON THIS PLAN WERE DRAWN ON THE BASIS OF A DIGITAL SITE PLAN OR SURVEY DATA PROVIDED BY OTHER CONSULTANTS.

IT IS THE RESPONSIBILITY OF THE CLIENT AND HIS CONTRACTORS TO CONFIRM THE ACCURACY OF THE SETBACKS, LOCATIONS AND GRADES ETC. ANY VARIATIONS BETWEEN EXISTING CONDITIONS AND THIS PLAN SHOULD BE ADJUSTED ON SITE AND REPORTED TO THE CONSULTING LANDSCAPE ARCHITECT TO DETERMINE THE IMPACT OF THE VARIATIONS ON THE SUITABILITY OF THE PROPOSED DEVELOPMENT.

CONSTRUCTION MUST CONFORM TO ALL CODES AND REQUIREMENTS OF AUTHORITIES HAVING JURISDICTION.

REVISIONS

NO.	DATE	NOTES	BY
11	2022-05-05	ISSUED FOR PERMIT	LZH
10	2022-03-21	REVISED PER COMMENTS	LZH
9	2021-12-13	REVISED PER NEW BASE	LZH
8	2021-11-26	REVISED PER NEW BASE	KL
7	2021-07-15	REVISED PER COMMENTS	KL
6	2021-07-12	REVISED UPDATED BASE	KL
5	2021-06-09	REVISED AS PER COMMENTS	KL
4	2021-01-27	REVISED AS PER UPDATED SITE PLAN	LZH
3	2021-01-12	TREE PRESERVATION PLAN UPDATED	LZH
2	2020-12-23	REVISED AS PER UPDATED SITE PLAN	LZH
1	2020-06-12	SET UP DRAWING	KL



HENRY KORTEKAAS & ASSOCIATES INC.
 LANDSCAPE ARCHITECTS, ARBORISTS, ENVIRONMENTAL & RECREATIONAL PLANNERS
 591 LIVERPOOL ROAD, PICKERING, ON L1W 1R1 EMAIL: INFO@HKGA.CA

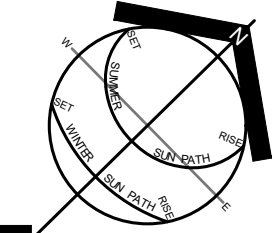
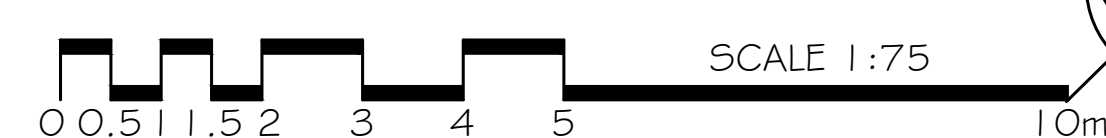
THESE DRAWINGS ARE INSTRUMENTS OF SERVICE AND THE LANDSCAPE ARCHITECT RETAINS OWNERSHIP OF THESE DRAWINGS. THEY ARE FOR SITE PLAN APPROVAL ONLY AND MAY REQUIRE FURTHER CONSTRUCTION DETAILING AND COORDINATION WITH OTHER ASSOCIATED PROFESSIONAL DESIGN SERVICES BEFORE ACTUAL TENDER AND CONSTRUCTION COMMENCES. DIMENSIONS ARE TO BE VERIFIED PRIOR TO CONSTRUCTION. DRAWINGS ARE NOT TO BE SCALED. IT IS ADVISED THAT CONTRACTORS CONTACT THE LANDSCAPE ARCHITECT PRIOR TO CONSTRUCTION TO ENSURE THE USE OF THE LATEST REVISED DRAWINGS. THE LANDSCAPE ARCHITECT IS NOT LIABLE FOR ERRORS OR OMISSIONS ARISING FROM UTILIZATION OF THESE PLANS BEFORE THE SAID DRAWINGS ARE SCALED, SIGNED AND DATED, AND THE LANDSCAPE ARCHITECT IS CONTRACTED TO PROVIDE CONSTRUCTION ADMINISTRATION AND CERTIFICATION SERVICES BY THE OWNER. ALL APPARENT DISCREPANCIES ARE TO BE REPORTED IN WRITING TO THE LANDSCAPE ARCHITECT BEFORE CONSTRUCTION COMMENCES.

PROJECT: ISSUED FOR PERMIT
 224 & 234 KERR STREET
 OAKVILLE, ON L6K 3A8

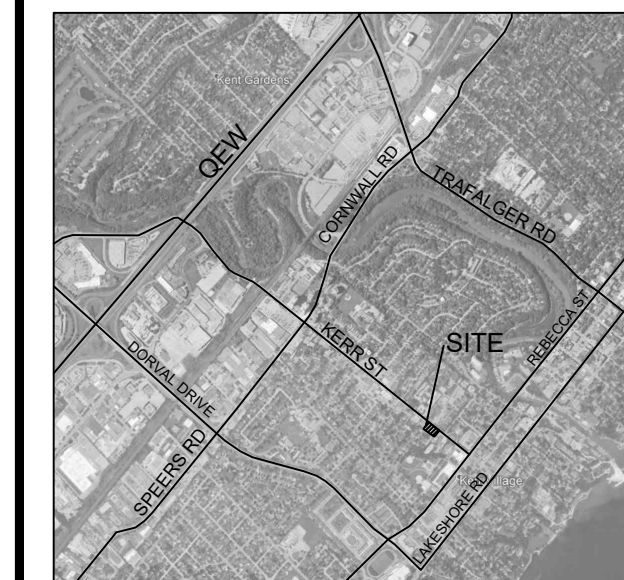
DRAWING: LANDSCAPE PLAN
 COURTYARD DRAINAGE

DRAWN BY: KL SCALE: 1:75
 CHECKED BY: HJK DATE: 2020-06-12
 JOB NO.: 2020-052

L-G1
 DRAWING
 3 of 8



LOCATION MAP



GENERAL NOTES

THE LOCATION OF PROPERTY LINES, ELEVATIONS AND FACILITIES ON THIS PLAN WERE DRAWN ON THE BASIS OF A DIGITAL SITE PLAN OR SURVEY DATA PROVIDED BY OTHER CONSULTANTS.

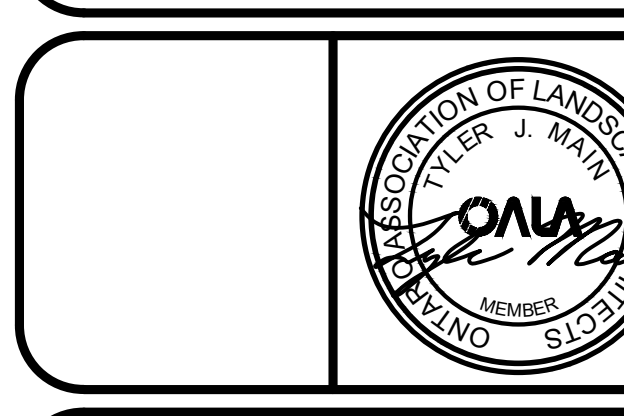
IT IS THE RESPONSIBILITY OF THE CLIENT AND HIS CONTRACTORS TO CONFIRM THE ACCURACY OF THE SETBACKS, LOCATIONS AND GRADES ETC. ANY VARIATIONS BETWEEN EXISTING CONDITIONS AND THIS PLAN SHOULD BE ADJUSTED ON SITE AND REPORTED TO THE CONSULTING LANDSCAPE ARCHITECT TO DETERMINE THE IMPACT OF THE VARIATIONS ON THE SUITABILITY OF THE PROPOSED DEVELOPMENT.

CONSTRUCTION MUST CONFORM TO ALL CODES AND REQUIREMENTS OF AUTHORITIES HAVING JURISDICTION.

REVISIONS

NO.	DATE	NOTES	BY
11	2022-05-05	ISSUED FOR PERMIT	LZH
10	2022-03-21	REVISED PER COMMENTS	LZH
9	2021-12-13	REVISED PER NEW BASE	LZH
8	2021-11-26	REVISED PER NEW BASE	KL
7	2021-07-15	REVISED PER COMMENTS	KL
6	2021-07-12	REVISED UPDATED BASE	KL
5	2021-06-09	REVISED AS PER COMMENTS	KL
4	2021-01-27	REVISED AS PER UPDATED SITE PLAN	LZH
3	2021-01-12	TREE PRESERVATION PLAN UPDATED	LZH
2	2020-12-23	REVISED AS PER UPDATED SITE PLAN	LZH
1	2020-06-12	SET UP DRAWING	KL

NO.	DATE	NOTES	BY
<input type="checkbox"/>		CONCEPTUAL	<input type="checkbox"/>
<input type="checkbox"/>		TENDER	<input type="checkbox"/>
<input type="checkbox"/>		PRELIMINARY	<input type="checkbox"/>
<input type="checkbox"/>		CONTRACT	<input type="checkbox"/>
<input type="checkbox"/>		SITE PLAN	<input type="checkbox"/>
<input type="checkbox"/>		CONSTRUCTION	<input type="checkbox"/>
<input type="checkbox"/>		PERMIT	<input type="checkbox"/>
<input type="checkbox"/>		AS-BUILT	<input type="checkbox"/>



HENRY KORTEKAAS & ASSOCIATES INC.
 LANDSCAPE ARCHITECTS, ARBORISTS, ENVIRONMENTAL PLANNERS & RECREATIONAL PLANNERS
 599 LIVERPOOL ROAD TEL: 905-888-5299
 PICKERING, ON L1W 1R1 EMAIL: INFO@HKLCA.CA

THESE DRAWINGS ARE INSTRUMENTS OF SERVICE AND THE LANDSCAPE ARCHITECT RETAINS OWNERSHIP OF THESE DRAWINGS. THEY ARE FOR SITE PLAN APPROVAL ONLY AND MAY REQUIRE FURTHER CONSTRUCTION DETAILING AND COORDINATION WITH OTHER ASSOCIATED PROFESSIONAL DESIGN SERVICES BEFORE ACTUAL TENDER AND CONSTRUCTION COMMENCES. DIMENSIONS ARE TO BE VERIFIED PRIOR TO CONSTRUCTION. DRAWINGS ARE NOT TO BE SCALED. IT IS ADVISED THAT CONTRACTORS CONTACT THE LANDSCAPE ARCHITECT PRIOR TO CONSTRUCTION TO ENSURE THE USE OF THE LATEST REVISED DRAWINGS. THE LANDSCAPE ARCHITECT IS NOT LIABLE FOR ERRORS OR OMISSIONS ARISING FROM UTILIZATION OF THESE PLANS BEFORE THE SAID DRAWINGS ARE SCALED, SIGNED AND DATED, AND THE LANDSCAPE ARCHITECT IS CONTRACTED TO PROVIDE CONSTRUCTION ADMINISTRATION AND CERTIFICATION SERVICES BY THE OWNER. ALL APPARENT DISCREPANCIES ARE TO BE REPORTED IN WRITING TO THE LANDSCAPE ARCHITECT BEFORE CONSTRUCTION COMMENCES.

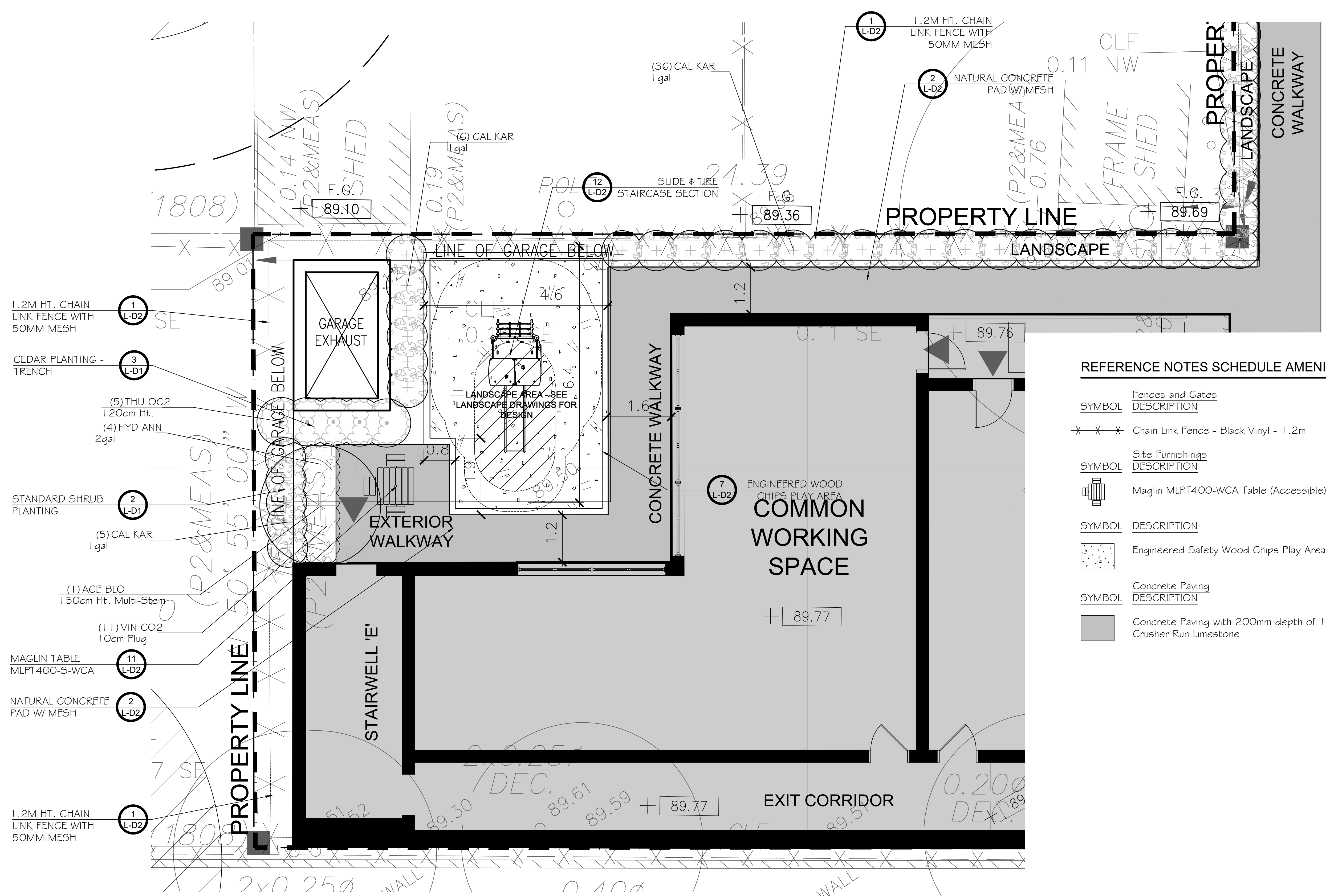
PROJECT: ISSUED FOR PERMIT
 224 & 234 KERR STREET
 OAKVILLE, ON L6K 3A8

DRAWING: LANDSCAPE PLAN
 AMENITY SPACE

DRAWN BY: KL SCALE: 1:50
 CHECKED BY: HJK DATE: 2020-06-12
 JOB NO.: 2020-052

L-L3
 DRAWING
 4 of 8

File #2020-052



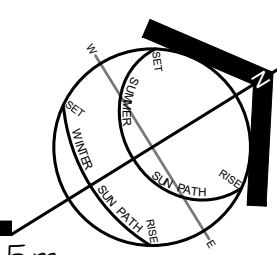
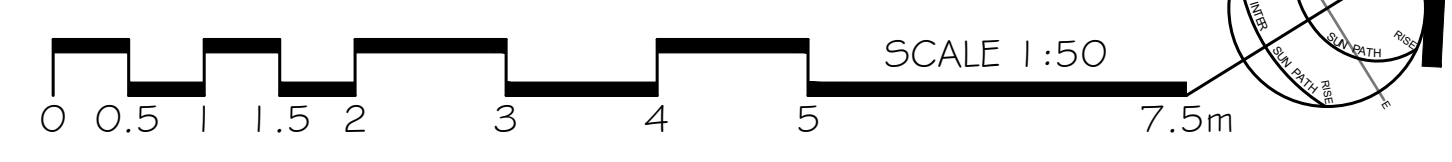
REFERENCE NOTES SCHEDULE AMENITY SPACE

SYMBOL	DESCRIPTION	QTY	DETAIL
X X X	Chain Link Fence - Black Vinyl - 1.2m	53.6 m	1/L-D2
	Maglin MLPT400-WCA Table (Accessible)	1	1/L-D2
	Engineered Safety Wood Chips Play Area	25.6 m ²	7/L-D2
	Concrete Paving with 200mm depth of 19mm Crusher Run Limestone	88.4 m ²	5/L-D1

PLANT SCHEDULE AMENITY SPACE

SHRUBS	QTY	BOTANICAL NAME	COMMON NAME	SIZE	CONT	REMARKS
ACE BLO	1	Acer palmatum 'Bloodgood'	Bloodgood Japanese Maple	150cm Ht. Multi-Stem	W.B.	
CAL KAR	47	Calamagrostis x acutiflora 'Karl Foerster'	Feather Reed Grass	1 gal	Potted	
THU OC2	5	Thuja occidentalis	Eastern White Cedar	120cm Ht.	Native Field Cedar	

GROUND COVERS	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT	SPACING
	VIN CO2	11	Vinca minor	Common Penwinkle	10cm Plug	500mm



Development application guidelines

CANOPY CALCULATION CHART TEMPLATE

Submit a separate chart for on-site condition and for streetscape (municipal right-of-way)
References direction for completing canopy coverage plan and chart

FILE NUMBER: 2020-052
FILE NAME: 224 & 233 KERR ST, OAKVILLE
CANOPY COVER TARGET: 20% (based on land use)

Tree #	Species	Stature (S,M,L)	Soil Volume per Tree (m ³)	Canopy Area (m ²)	Canopy Area Sub-total (m ²)
Proposed Canopy On Site					
T1	Acer rubrum	M	23.28	78.50	
T2	Ginkgo biloba	M	23.28	74.12	
T3	Ginkgo biloba	M	24.04	78.50	
T4	Ginkgo biloba	M	24.04	68.85	
T5	Quercus macrocarpa	L	26.81	154.00	
T6	Acer rubrum	M	26.81	78.40	
T7	Gleditsia triacanthos inermis 'Shademaster'™	M	26.81	68.25	
T8	Acer rubrum	M	33.75	78.50	
T9	Gleditsia triacanthos inermis 'Shademaster'™	M	26.81	53.63	

Subtotal of proposed canopy: 732.75

Total # of Trees	9	Total Canopy Area (m ²)	732.75
------------------	---	-------------------------------------	--------

Canopy Summary

Total Site Area	5330.1 m ²
Site Canopy Cover	13.7 %
Canopy Cover Target by Land Use	20 %

***NOTE:**
EXISTING TREES E1 TO E5 ARE NOT ELIGIBLE FOR CANOPY BONUS.
ONLY CANOPY OVERHANGING SITE IS INCLUDED AS CANOPY COVERAGE FOR THE SITE.

LEGEND

- PROPOSED TREES CANOPY COVERAGE AREA - EFFECTIVE
- PROPOSED TREES CANOPY COVERAGE AREA - INEFFECTIVE
- EXISTING TREES CANOPY COVERAGE AREA - PARTIALLY EFFECTIVE
- EFFECTIVE TREES SOIL AREA (DEPTH AS PER PLAN)

LOCATION MAP



GENERAL NOTES

THE LOCATION OF PROPERTY LINES, ELEVATIONS AND FACILITIES ON THIS PLAN WERE DRAWN ON THE BASIS OF A DIGITAL SITE PLAN OR SURVEY DATA PROVIDED BY OTHER CONSULTANTS.

IT IS THE RESPONSIBILITY OF THE CLIENT AND HIS CONTRACTORS TO CONFIRM THE ACCURACY OF THE SETBACKS, LOCATIONS AND GRADES ETC. ANY VARIATIONS BETWEEN EXISTING CONDITIONS AND THIS PLAN SHOULD BE ADJUSTED ON SITE AND REPORTED TO THE CONSULTING LANDSCAPE ARCHITECT TO DETERMINE THE IMPACT OF THE VARIATIONS ON THE SUITABILITY OF THE PROPOSED DEVELOPMENT.

CONSTRUCTION MUST CONFORM TO ALL CODES AND REQUIREMENTS OF AUTHORITIES HAVING JURISDICTION.

REVISIONS

NO.	DATE	NOTES	BY
11	2022-05-05	ISSUED FOR PERMIT	LZH
10	2022-03-21	REVISED PER COMMENTS	LZH
9	2021-12-13	REVISED PER NEW BASE	LZH
8	2021-11-26	REVISED PER NEW BASE	KL
7	2021-07-15	REVISED PER COMMENTS	KL
6	2021-07-12	REVISED UPDATED BASE	KL
5	2021-06-09	REVISED AS PER COMMENTS	KL
4	2021-01-27	REVISED AS PER UPDATED SITE PLAN	LZH
3	2021-01-12	TREE PRESERVATION PLAN UPDATED	LZH
2	2020-12-23	REVISED AS PER UPDATED SITE PLAN	LZH
1	2020-06-12	SET UP DRAWING	KL

	CONCEPTUAL		TENDER
	PRELIMINARY		CONTRACT
	SITE PLAN		CONSTRUCTION
	PERMIT		AS-BUILT

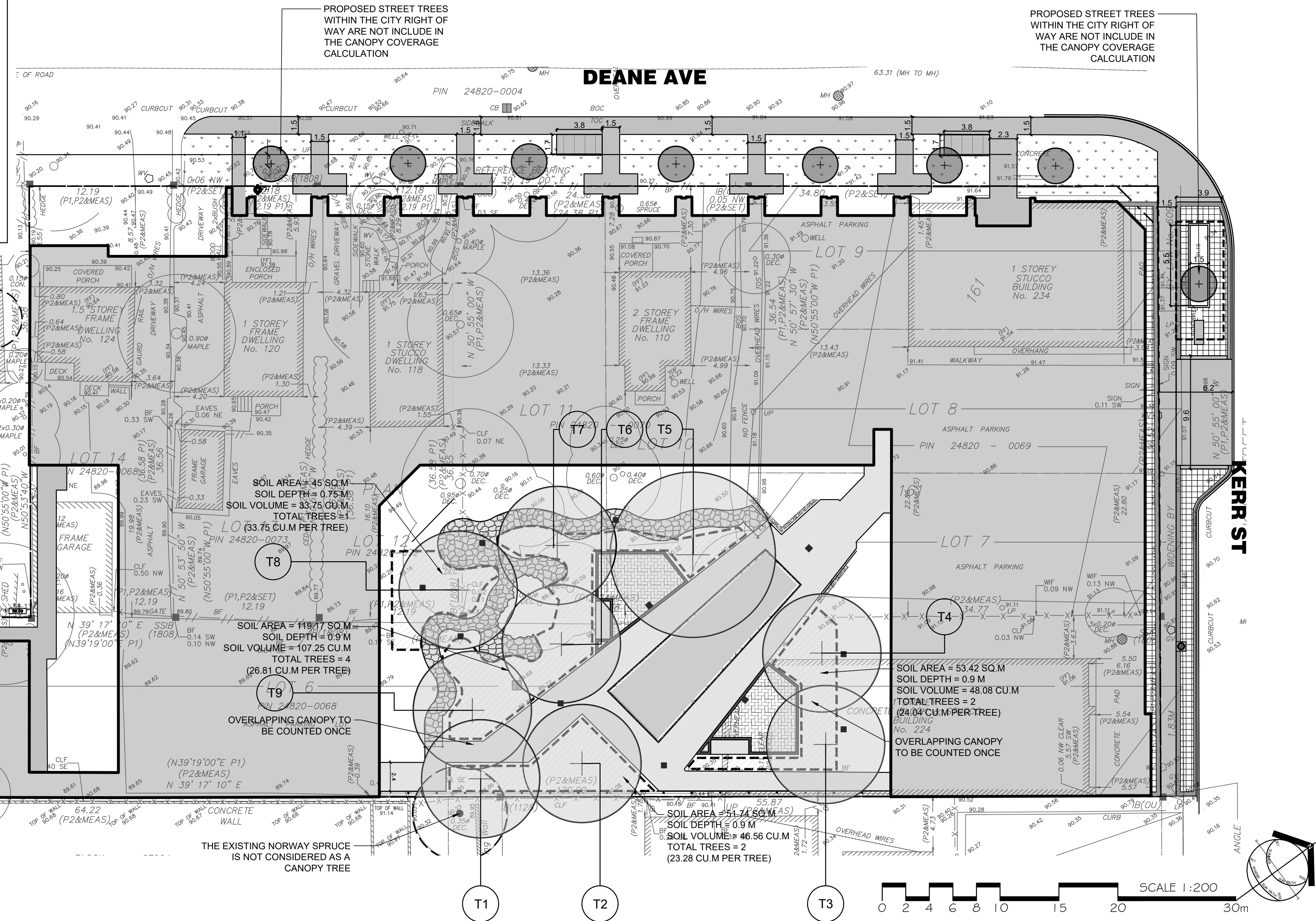


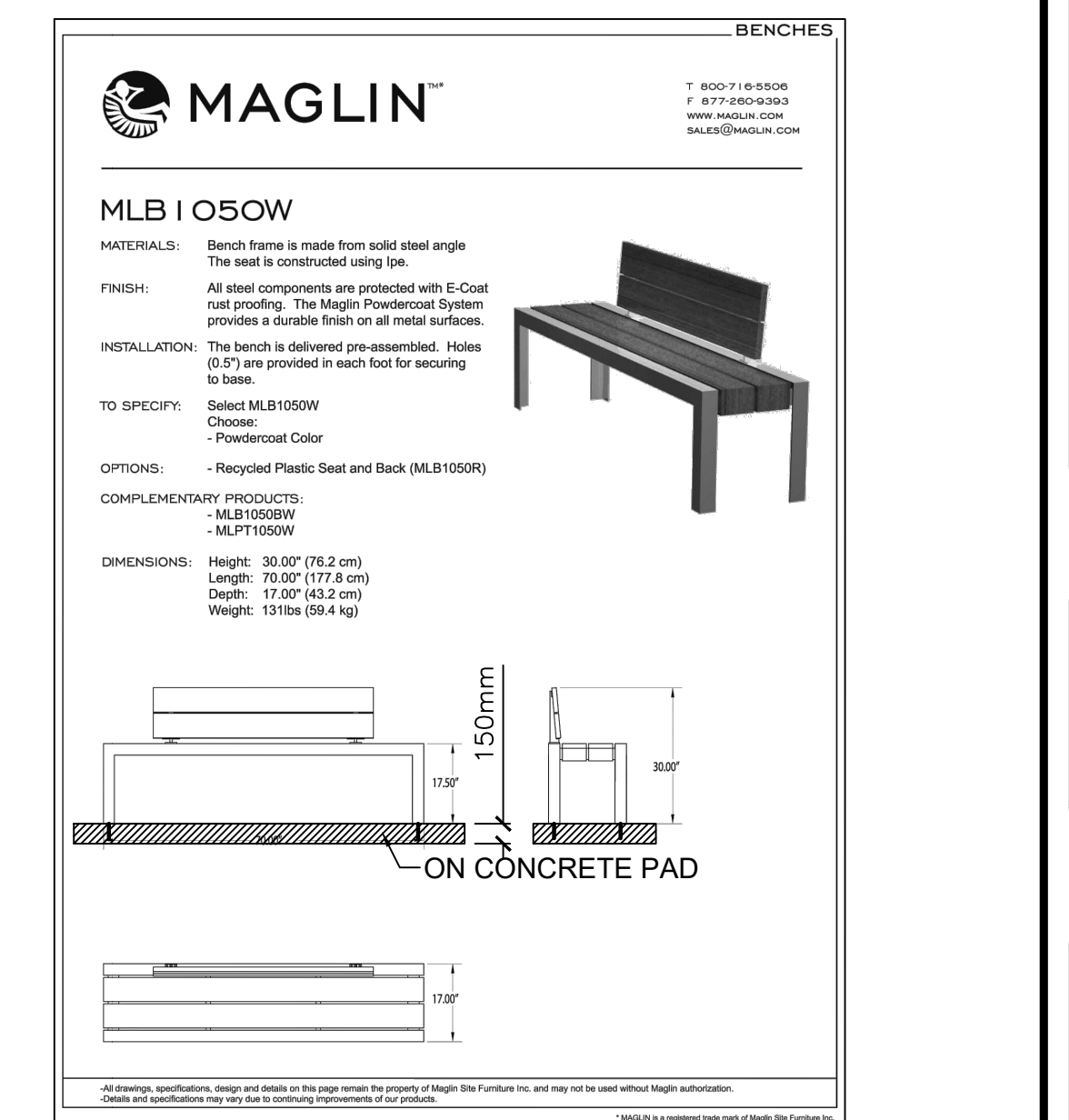
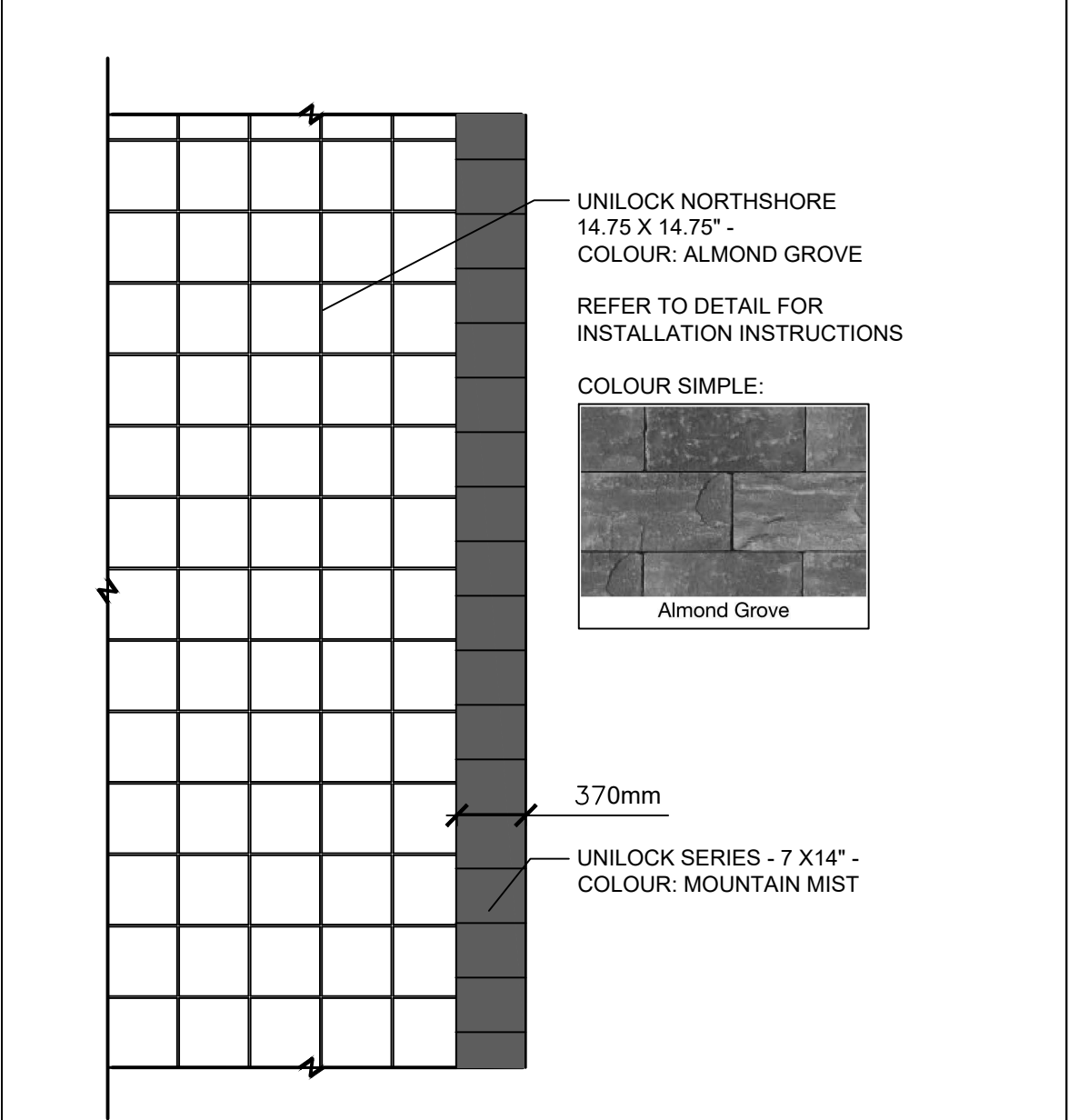
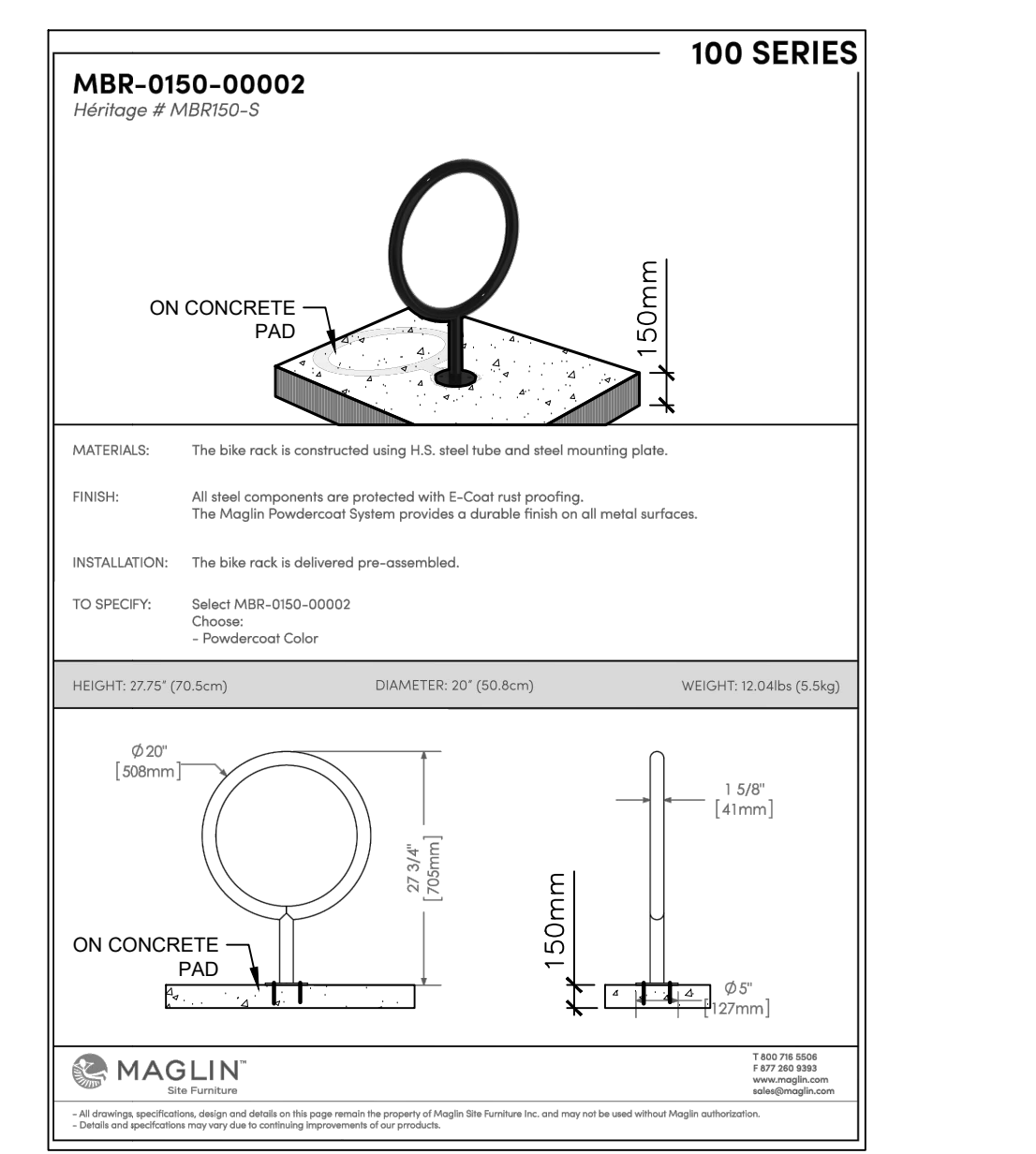
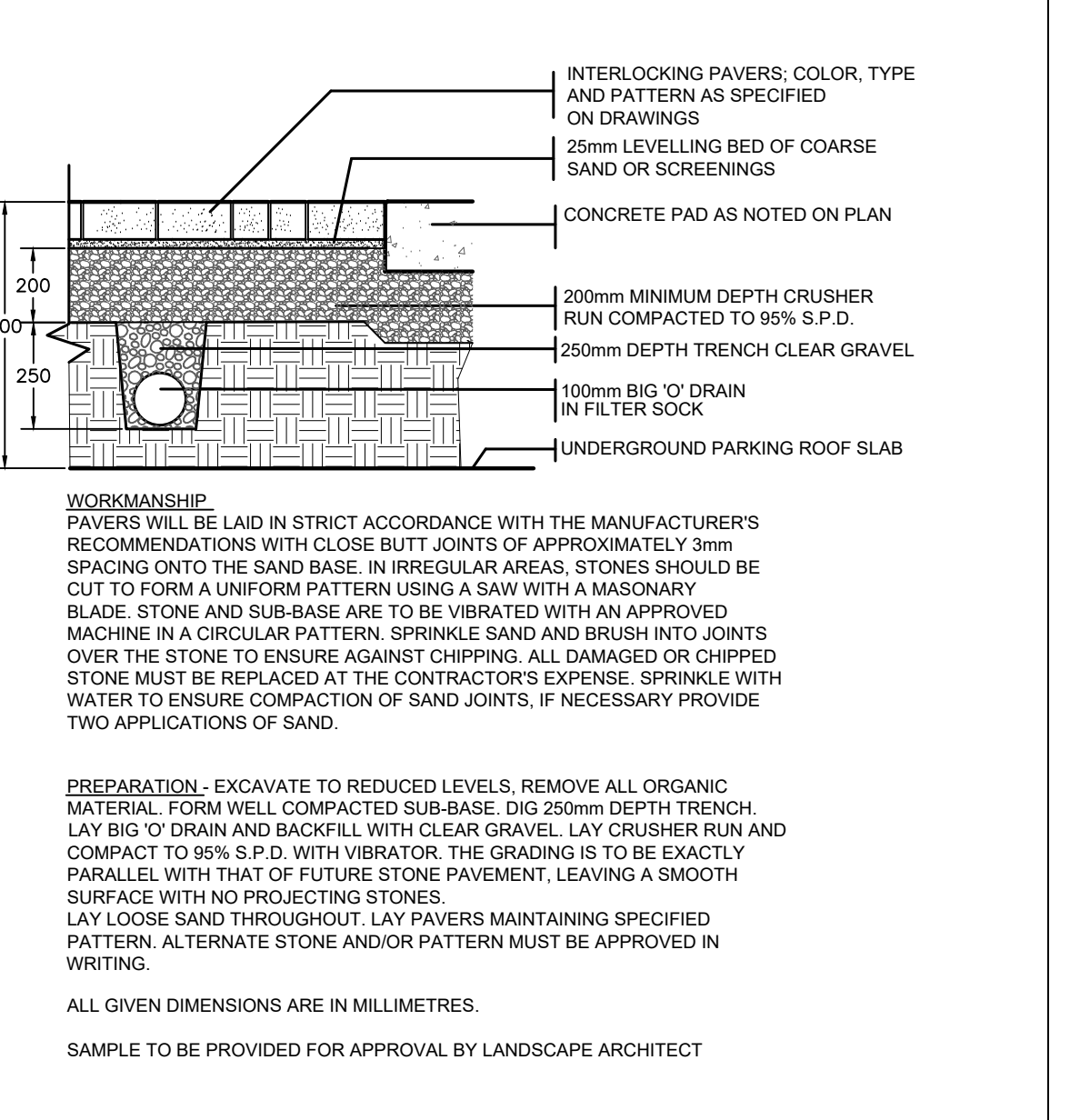
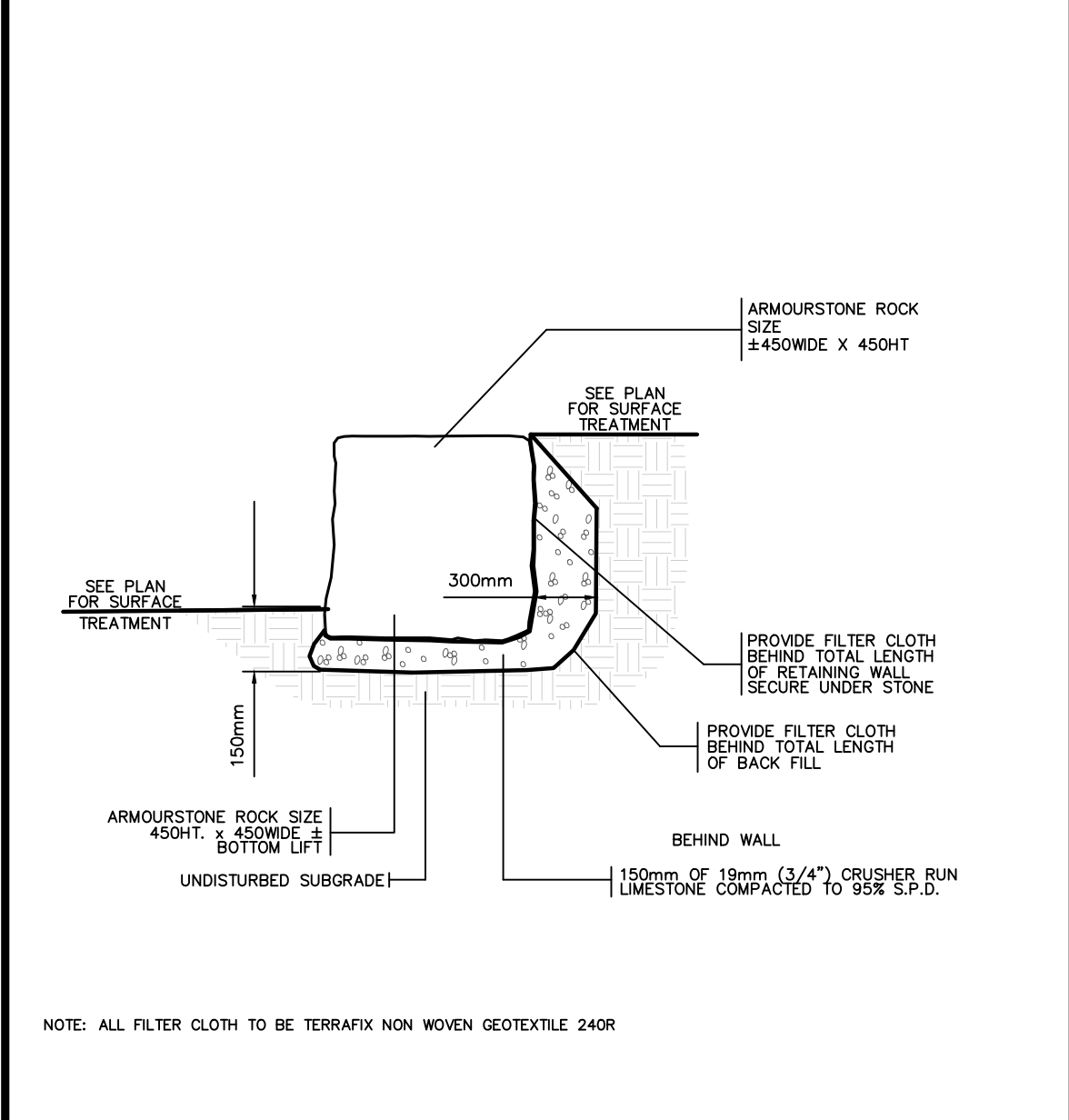
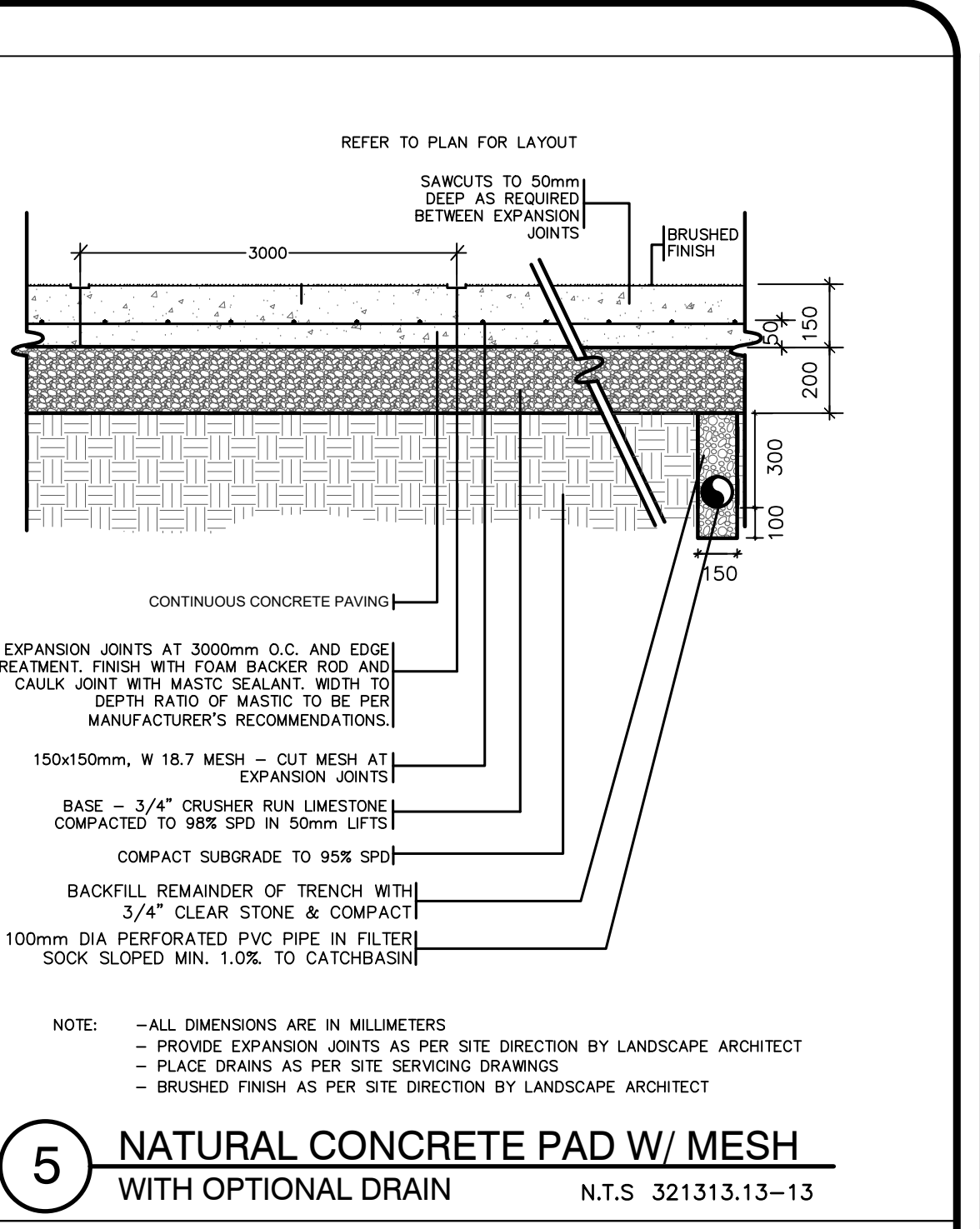
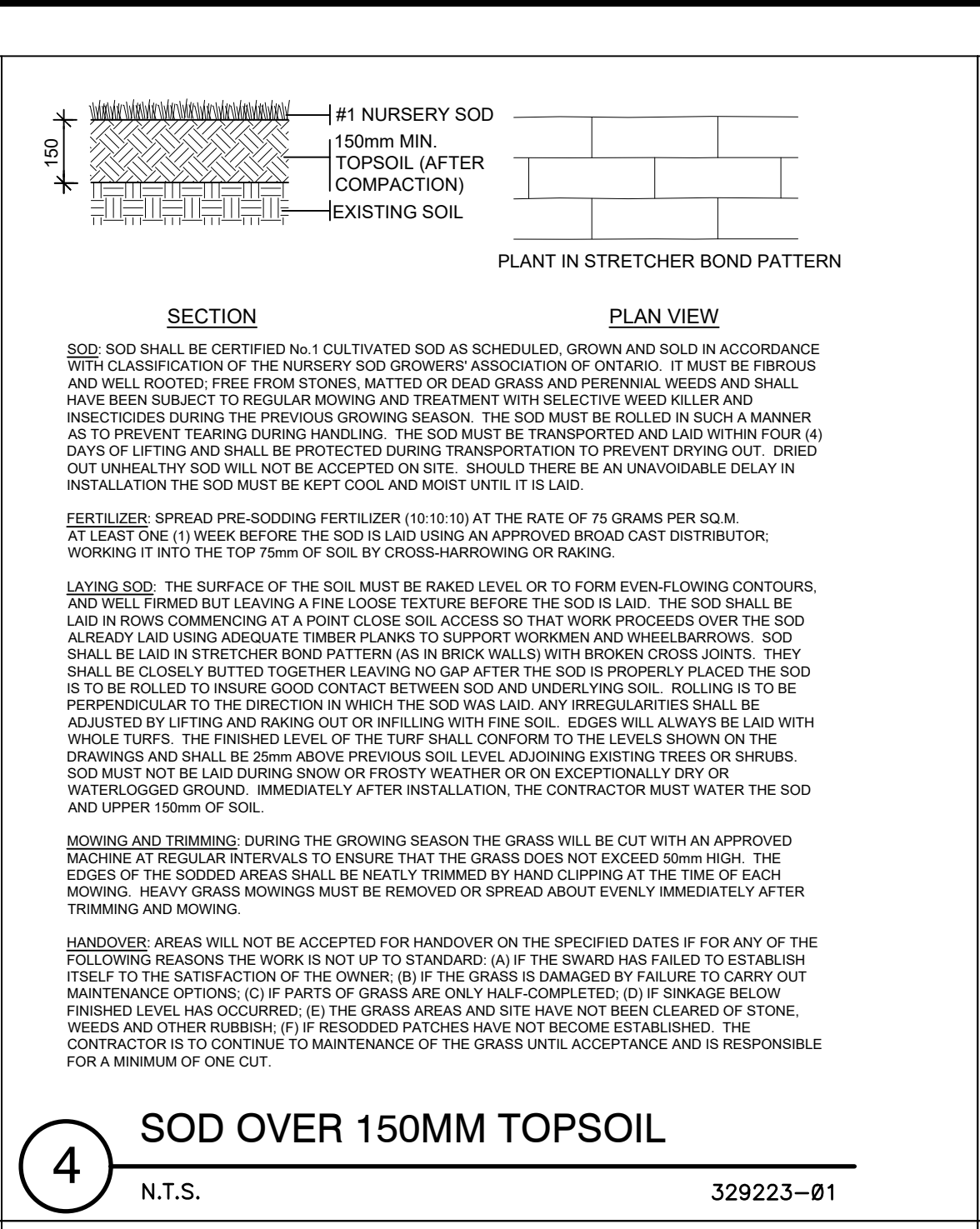
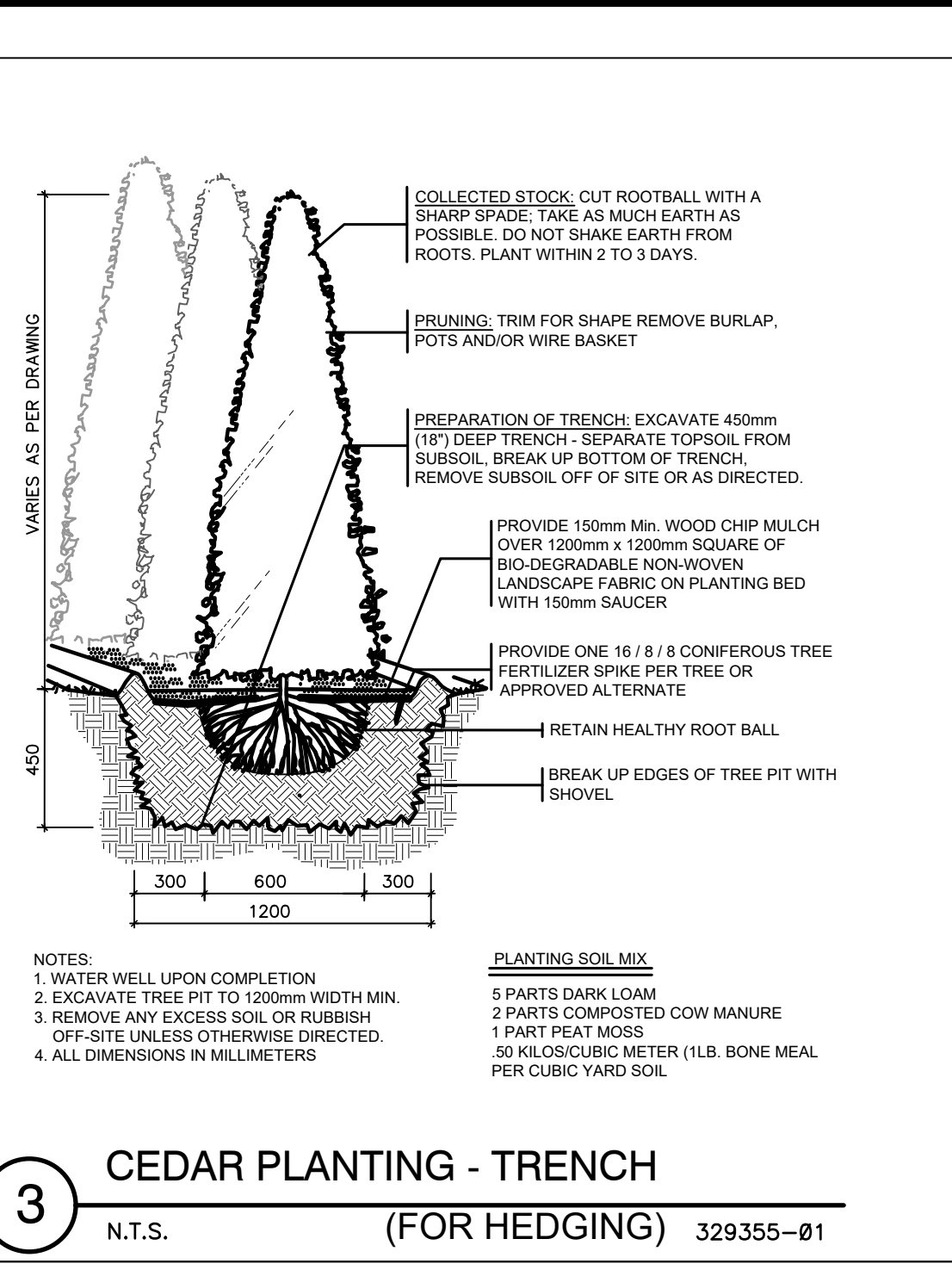
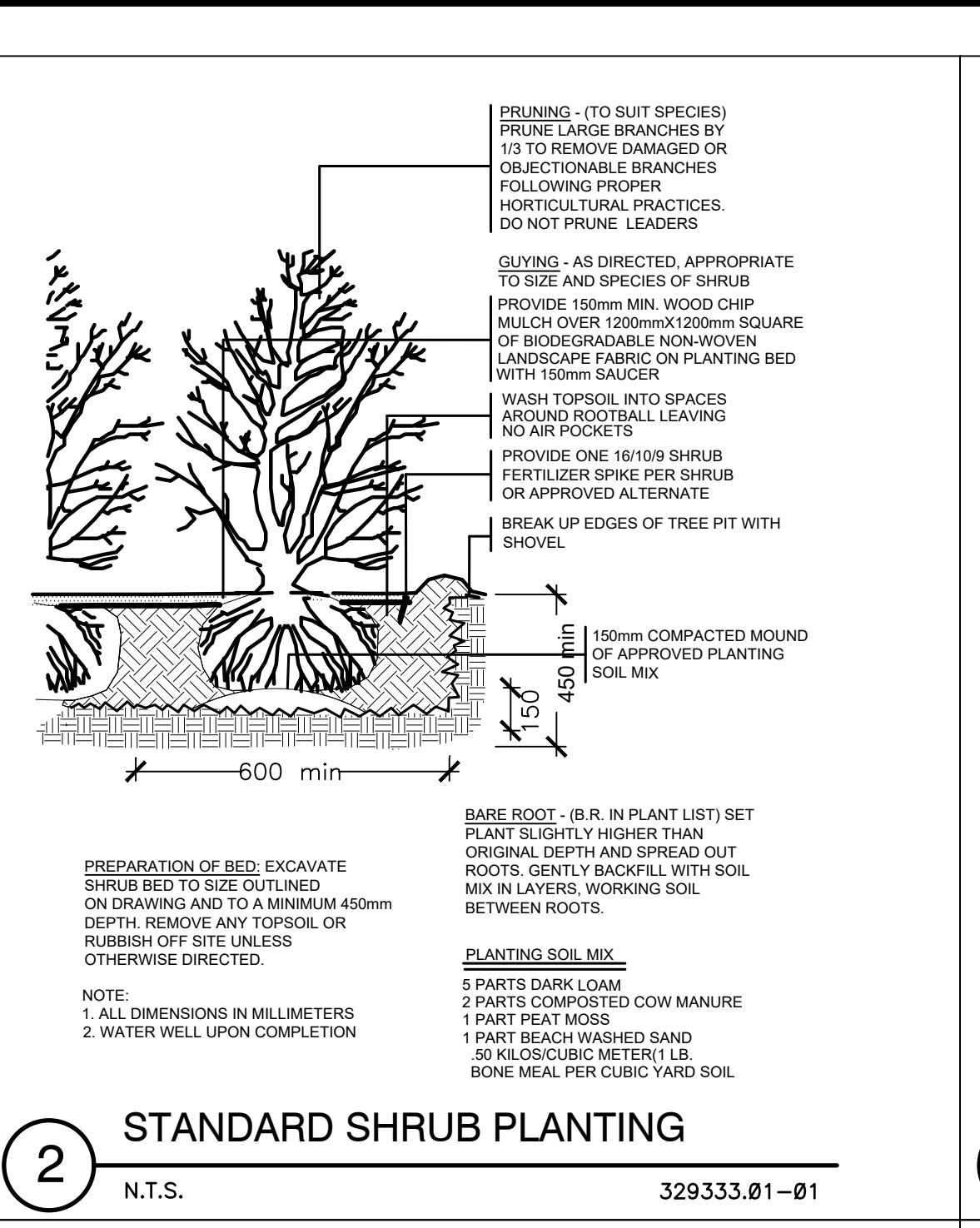
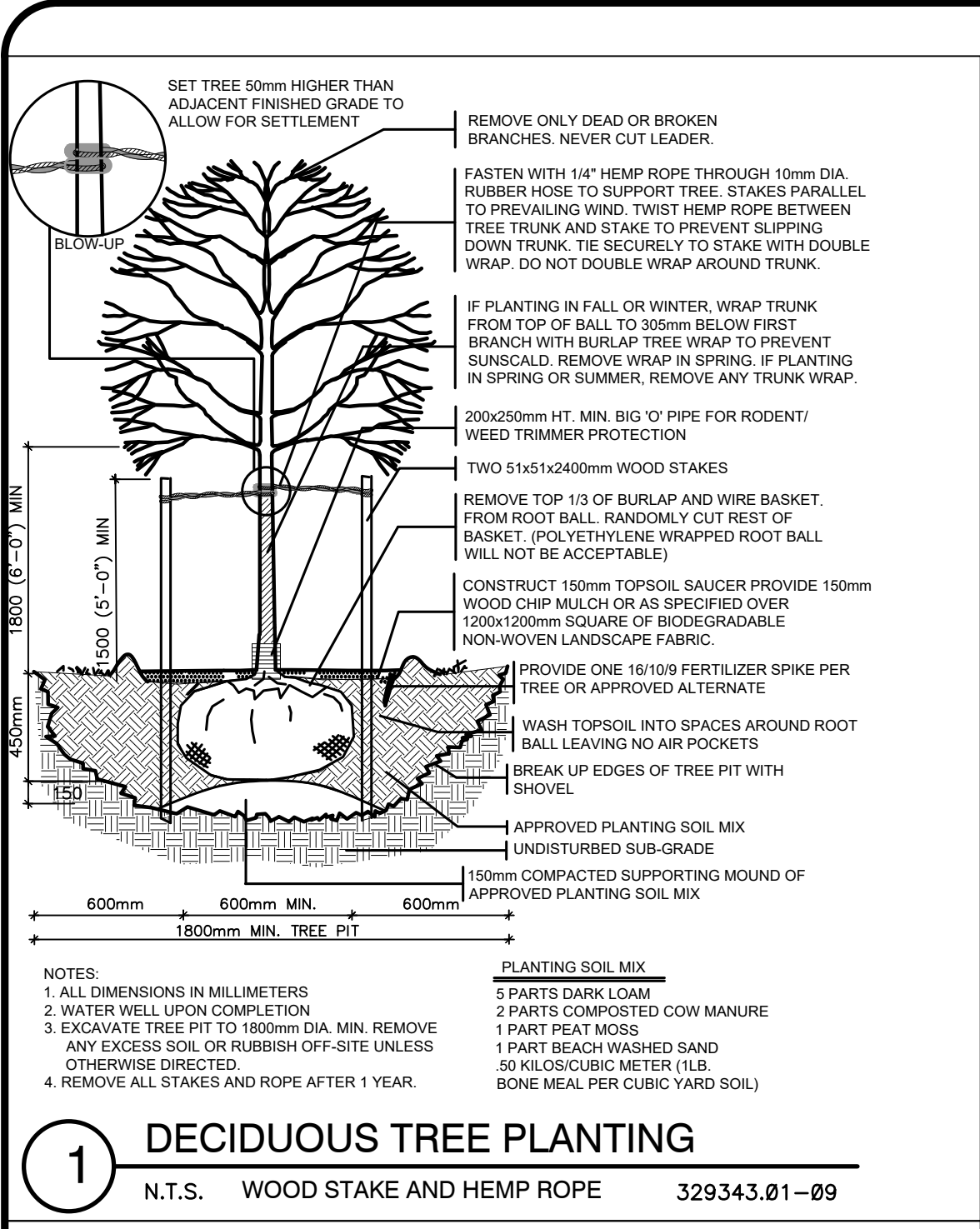
HENRY KORTEKAAS & ASSOCIATES INC.
LANDSCAPE ARCHITECTS, ARBORISTS, ENVIRONMENTAL & RECREATIONAL PLANNERS
580 DAVENPORT ROAD, TEL: 905-888-6599
PICKERING, ON L1W 1R1 EMAIL: INFO@HK&A.CA

THESE DRAWINGS ARE INSTRUMENTS OF SERVICE AND THE LANDSCAPE ARCHITECT RETAINS OWNERSHIP OF THESE DRAWINGS. THEY ARE FOR SITE PLAN APPROVAL ONLY AND MAY REQUIRE FURTHER CONSTRUCTION DETAILING AND COORDINATION WITH OTHER ASSOCIATED PROFESSIONAL DESIGN SERVICES BEFORE ACTUAL TENDER AND CONSTRUCTION COMMENCES. DIMENSIONS ARE TO BE VERIFIED PRIOR TO CONSTRUCTION. DRAWINGS ARE NOT TO BE SCALED. IT IS ADVISED THAT CONTRACTORS CONTACT THE LANDSCAPE ARCHITECT PRIOR TO CONSTRUCTION TO ENSURE THE USE OF THE LATEST REVISED DRAWINGS. THE LANDSCAPE ARCHITECT IS NOT LIABLE FOR ERRORS OR OMISSIONS ARISING FROM UTILIZATION OF THESE PLANS BEFORE THE SAID DRAWINGS ARE SCALED, SIGNED AND DATED. AND THE LANDSCAPE ARCHITECT IS CONTRACTED TO PROVIDE CONSTRUCTION ADMINISTRATION AND CERTIFICATION SERVICES BY THE OWNER. ALL APPARENT DISCREPANCIES ARE TO BE REPORTED IN WRITING TO THE LANDSCAPE ARCHITECT BEFORE CONSTRUCTION COMMENCES.

PROJECT: ISSUED FOR PERMIT
224 & 234 KERR STREET
OAKVILLE, ON L6K 3A8

DRAWING: CANOPY COVER PLAN
DRAWN BY: KL SCALE: 1:200
CHECKED BY: HJK DATE: 2020-06-12
JOB NO.: 2020-052
DRAWING: L-CC1
5 of 8





LOCATION MAP

GENERAL NOTES

THE LOCATION OF PROPERTY LINES, ELEVATIONS AND FACILITIES ON THIS PLAN WERE DRAWN ON THE BASIS OF A DIGITAL SITE PLAN OR SURVEY DATA PROVIDED BY OTHER CONSULTANTS.

IT IS THE RESPONSIBILITY OF THE CLIENT AND HIS CONTRACTORS TO CONFIRM THE ACCURACY OF THE SETBACKS, LOCATIONS AND GRADES ETC. ANY VARIATIONS BETWEEN EXISTING CONDITIONS AND THIS PLAN SHOULD BE ADVISED ON SITE AND REPORTED TO THE CONSULTING LANDSCAPE ARCHITECT TO DETERMINE THE IMPACT OF THE VARIATIONS ON THE SUITABILITY OF THE PROPOSED DEVELOPMENT.

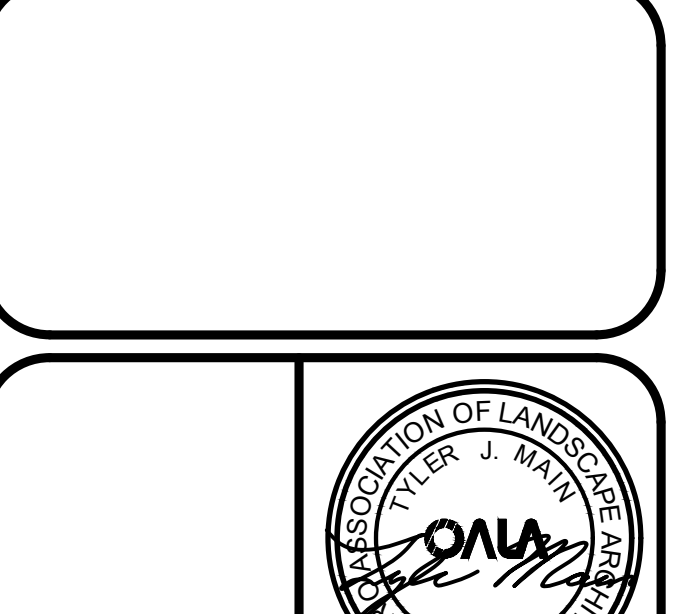
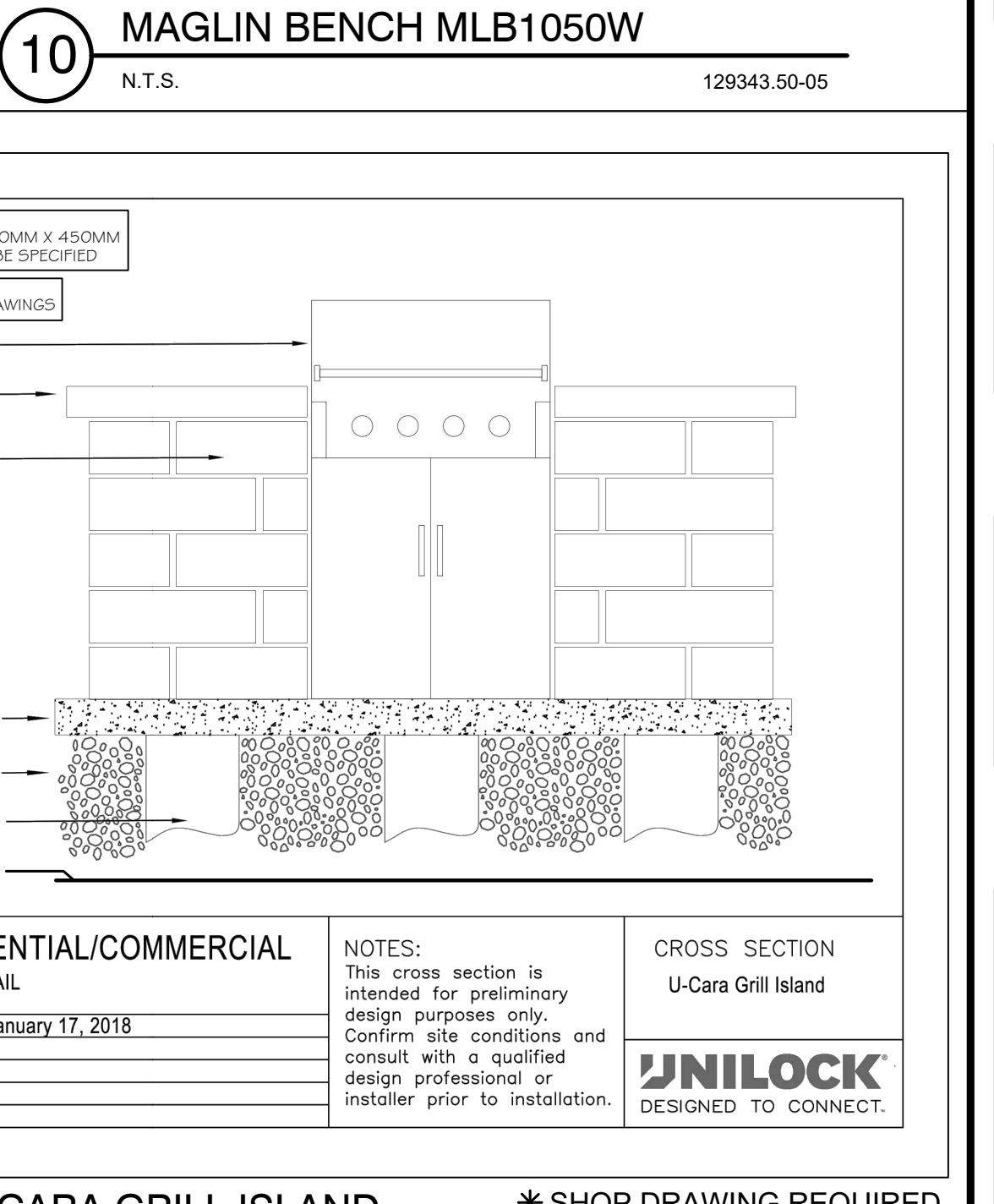
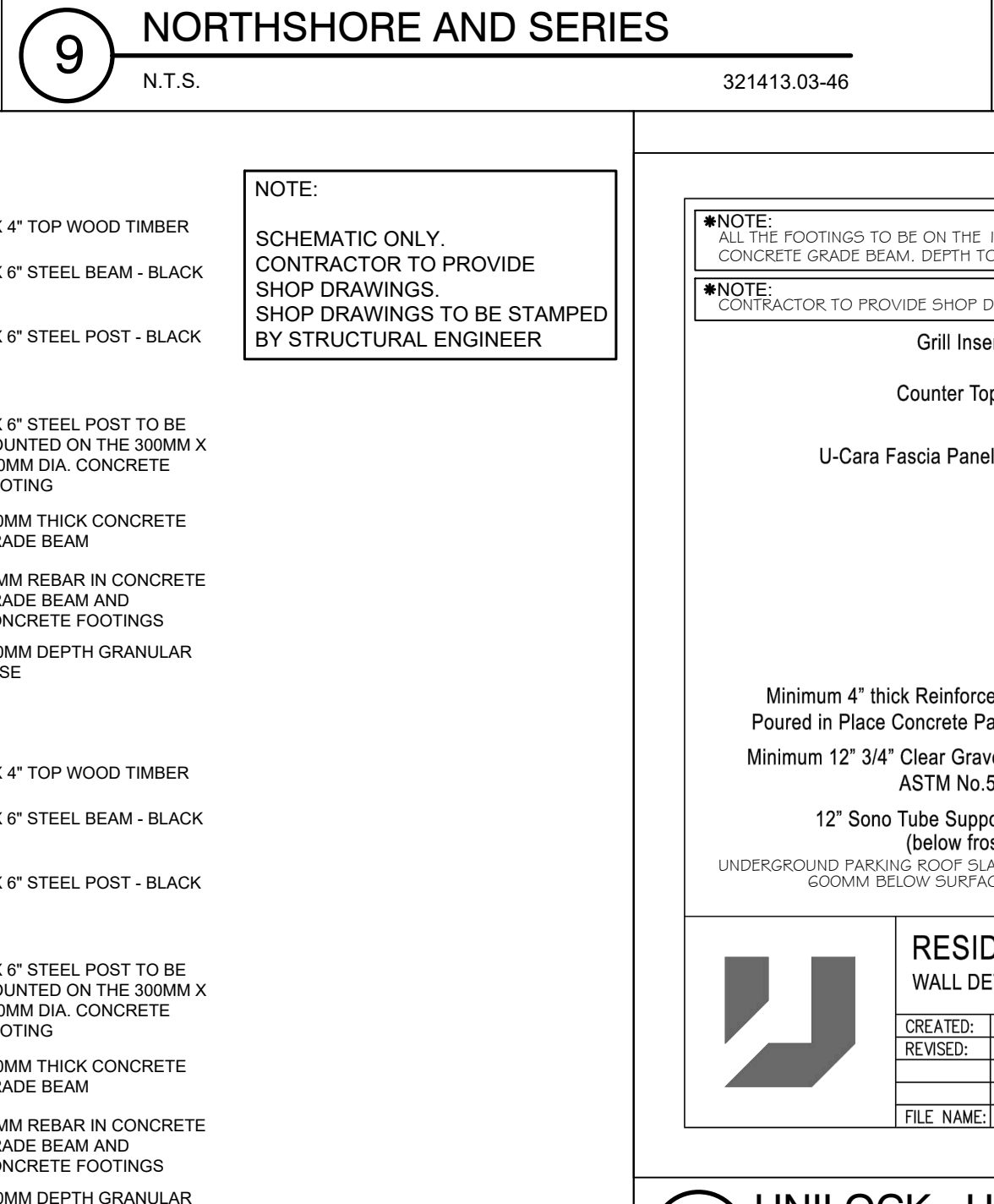
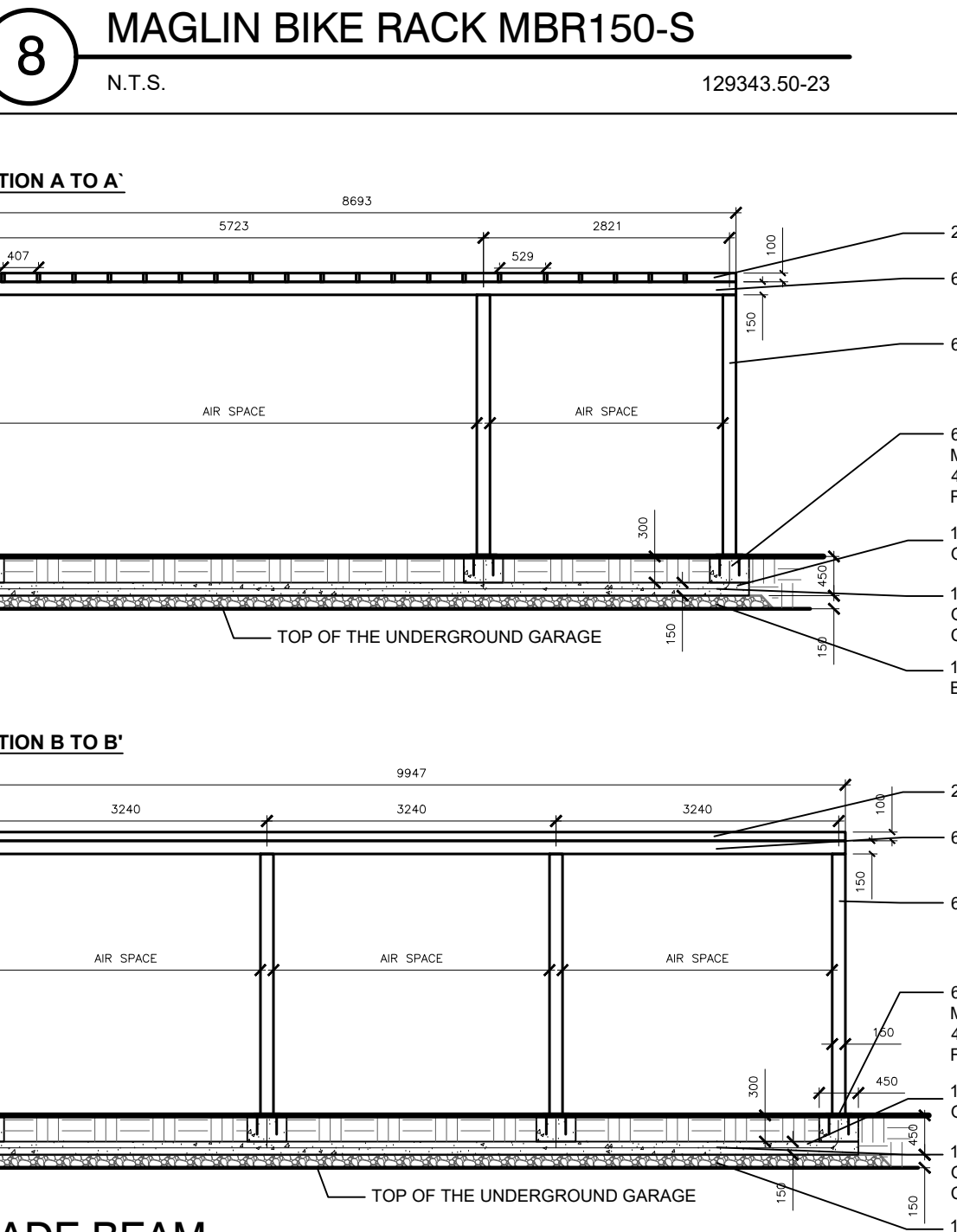
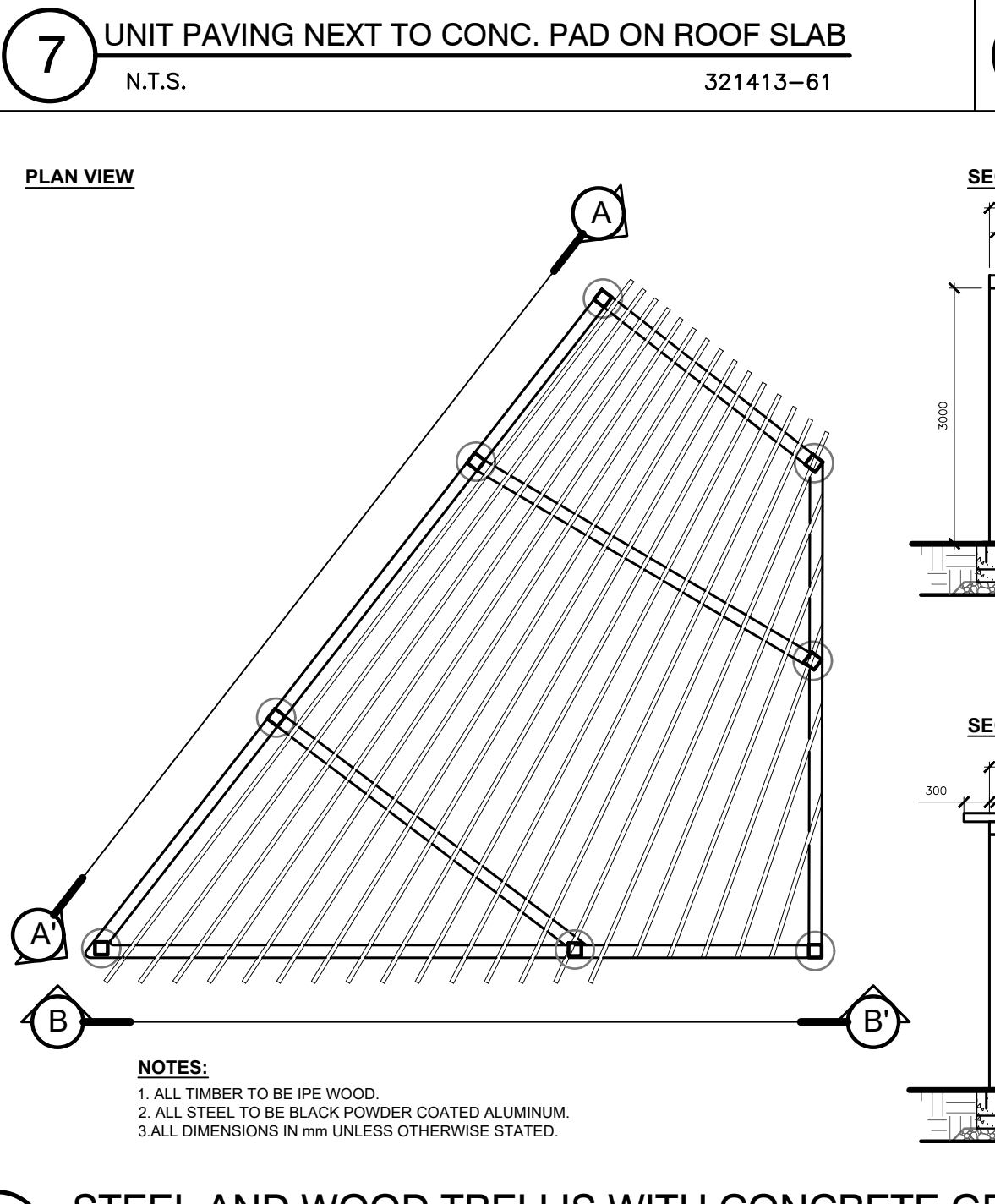
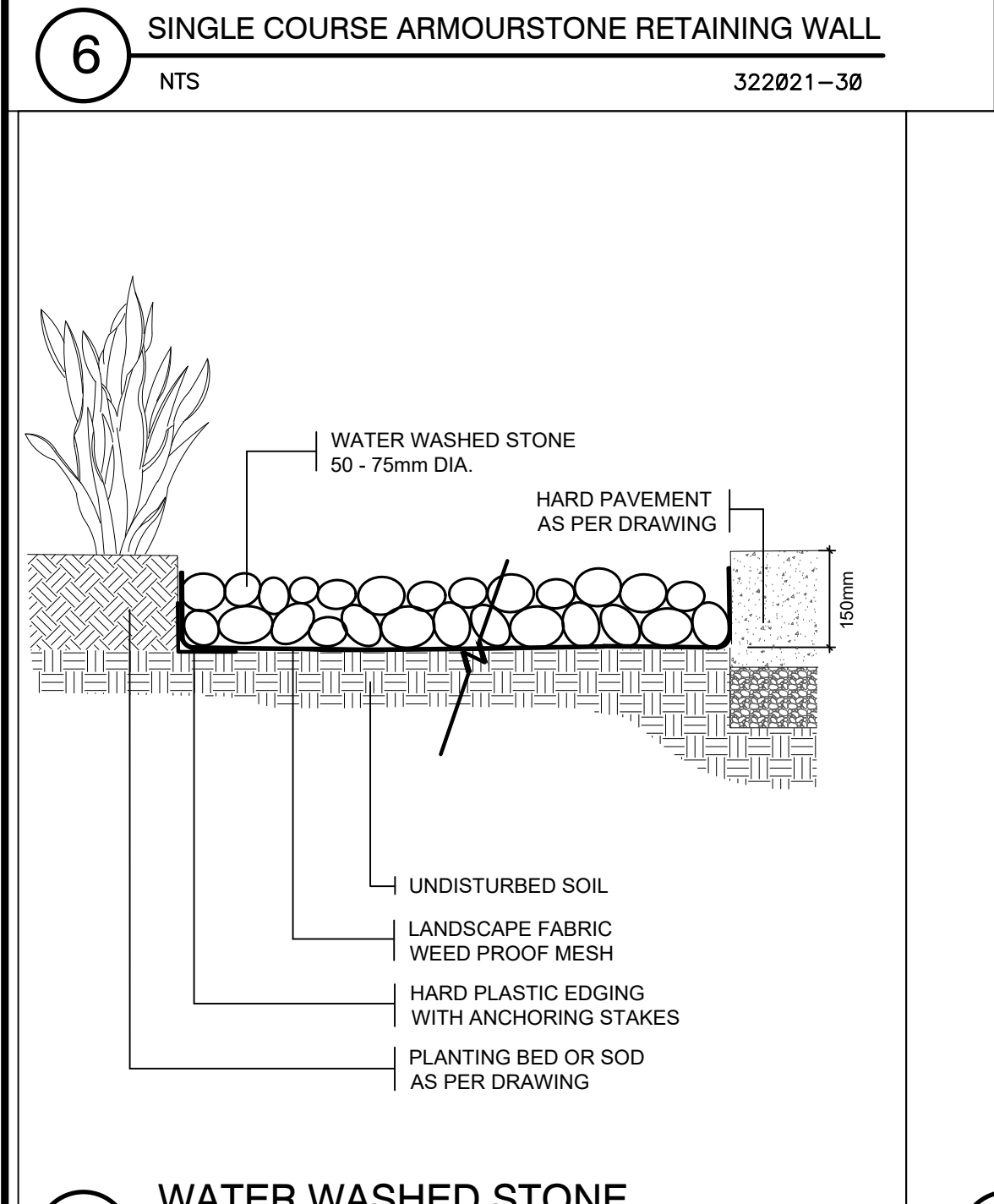
CONSTRUCTION MUST CONFORM TO ALL CODES AND REQUIREMENTS OF AUTHORITIES HAVING JURISDICTION.

REVISIONS

NO.	DATE	NOTES	BY
11	2022-05-05	ISSUED FOR PERMIT	LZH
10	2022-03-21	REVISED PER COMMENTS	LZH
9	2021-12-13	REVISED PER NEW BASE	LZH
8	2021-11-26	REVISED PER NEW BASE	KL
7	2021-07-15	REVISED PER COMMENTS	KL
6	2021-07-12	REVISED UPDATED BASE	KL
5	2021-06-09	REVISED AS PER COMMENTS	KL
4	2021-01-27	REVISED AS PER UPDATED SITE PLAN	LZH
3	2021-01-12	THREE PRESERVATION PLAN UPDATED	LZH
2	2020-12-23	REVISED AS PER UPDATED SITE PLAN	LZH
1	2020-06-12	SET UP DRAWING	KL

LEGEND

CONCEPTUAL TENDER
PRELIMINARY CONTRACT
SITE PLAN CONSTRUCTION
PERMIT AS-BUILT



HENRY KORTEKAAS & ASSOCIATES INC.
LANDSCAPE ARCHITECTS, ARBORISTS, ENVIRONMENTAL & RECREATIONAL PLANNERS
589 LIVERPOOL ROAD, PICKERING, ON L1W 1R1 EMAIL: INFO@HKA.CA
TEL: 905-888-6999

THESE DRAWINGS ARE INSTRUMENTS OF SERVICE AND THE LANDSCAPE ARCHITECT RETAINS OWNERSHIP OF THESE DRAWINGS. THEY ARE FOR SITE PLAN APPROVAL ONLY AND MAY REQUIRE FURTHER CONSTRUCTION DETAILING AND COORDINATION WITH OTHER ASSOCIATED PROFESSIONAL DESIGN SERVICES BEFORE ACTUAL TENDER AND CONSTRUCTION COMMENCES. DIMENSIONS ARE TO BE VERIFIED PRIOR TO CONSTRUCTION. DRAWINGS ARE NOT TO BE SCALED. IT IS ADVISED THAT CONTRACTORS CONTACT THE LANDSCAPE ARCHITECT PRIOR TO CONSTRUCTION TO ENSURE THE USE OF THE LATEST REVISED DRAWINGS. THE LANDSCAPE ARCHITECT IS NOT LIABLE FOR ERRORS OR OMISSIONS ARISING FROM UTILIZATION OF THESE PLANS BEFORE THE SAID DRAWINGS ARE SCALED, SIGNED AND DATED. THE LANDSCAPE ARCHITECT IS CONTRACTED TO PROVIDE CONSTRUCTION ADMINISTRATION AND CERTIFICATION SERVICES BY THE OWNER. ALL APPARENT DISCREPANCIES ARE TO BE REPORTED IN WRITING TO THE LANDSCAPE ARCHITECT BEFORE CONSTRUCTION COMMENCES.

PROJECT: ISSUED FOR PERMIT
224 & 234 KERR STREET
OAKVILLE, ON L6K 3A8

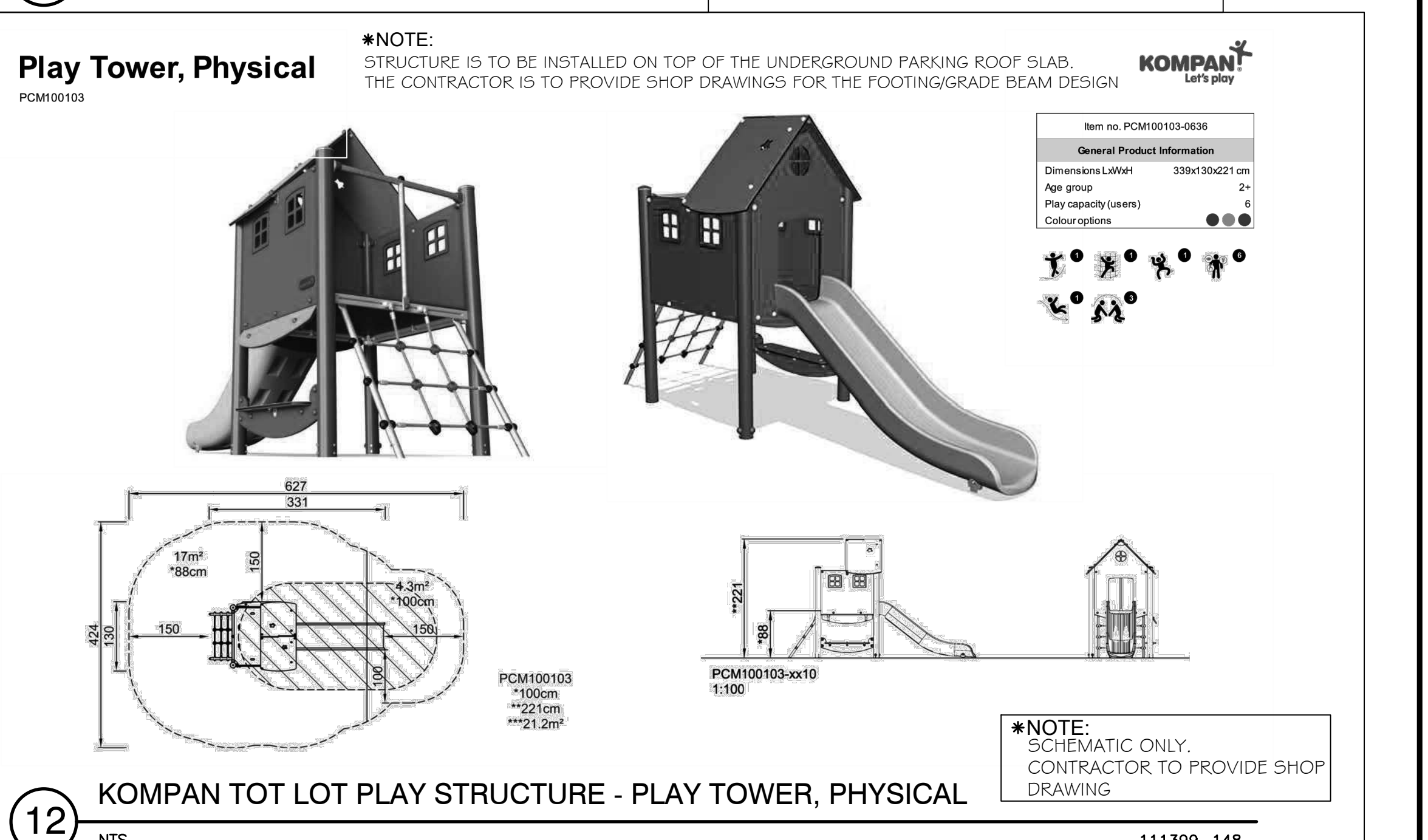
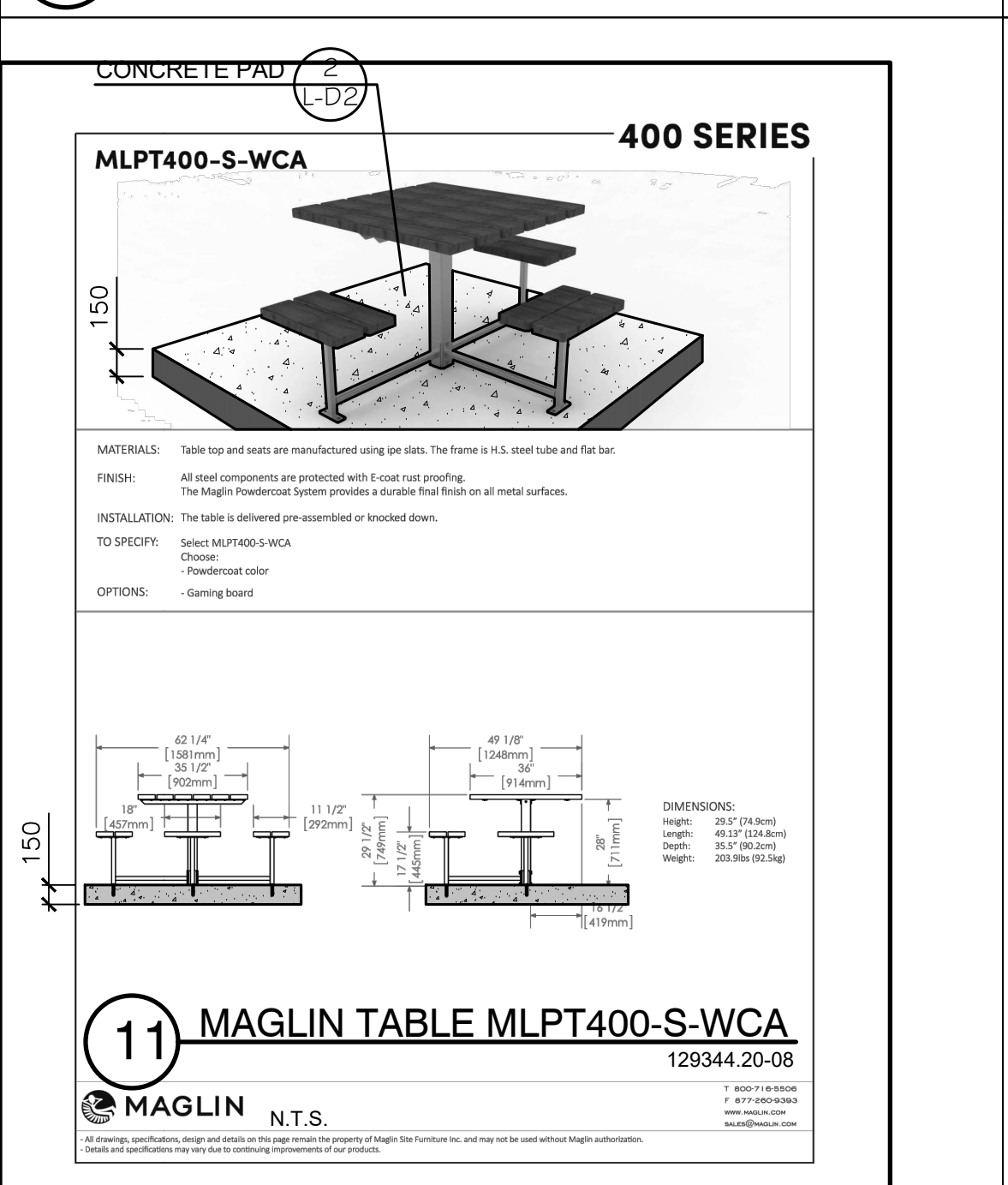
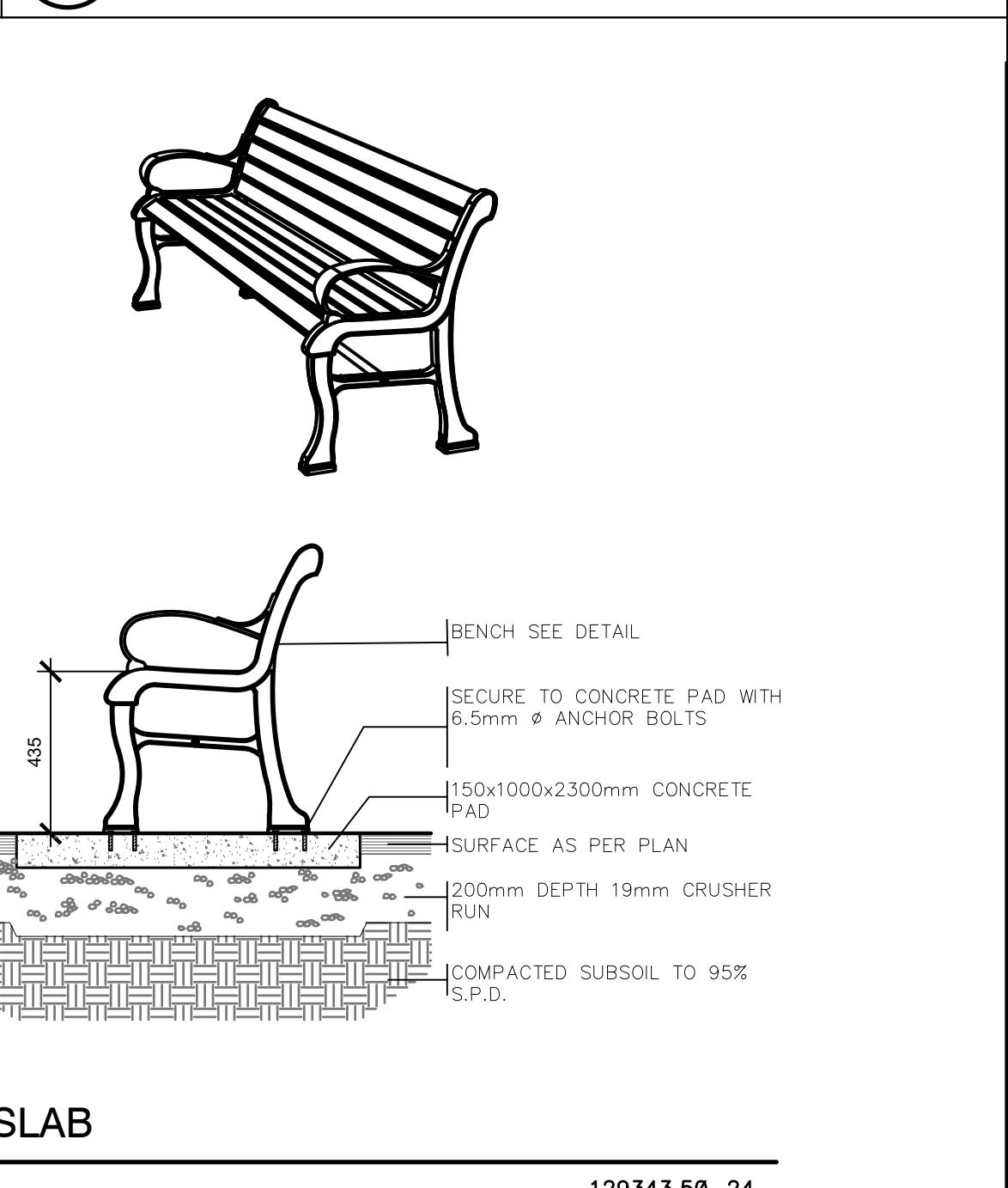
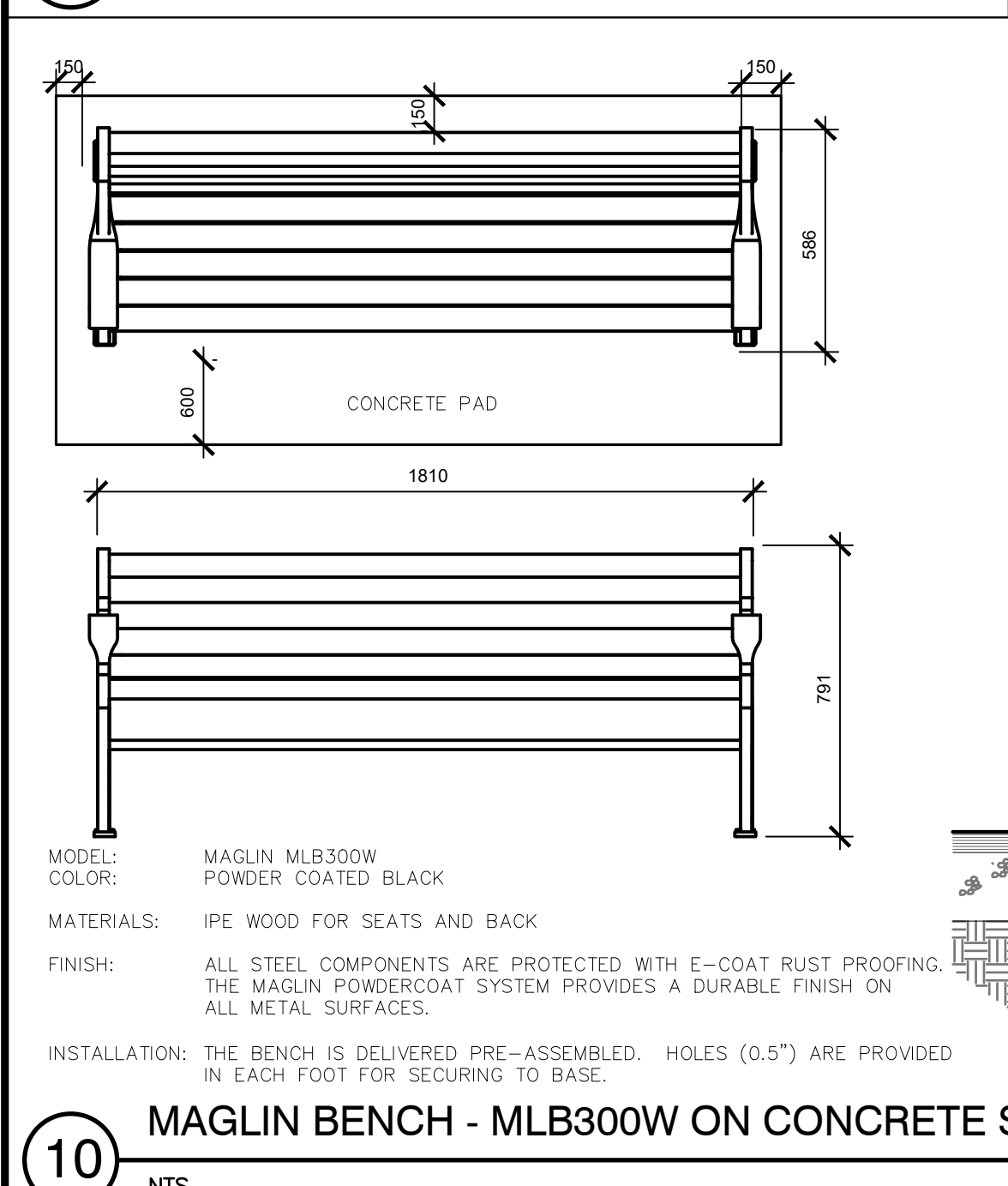
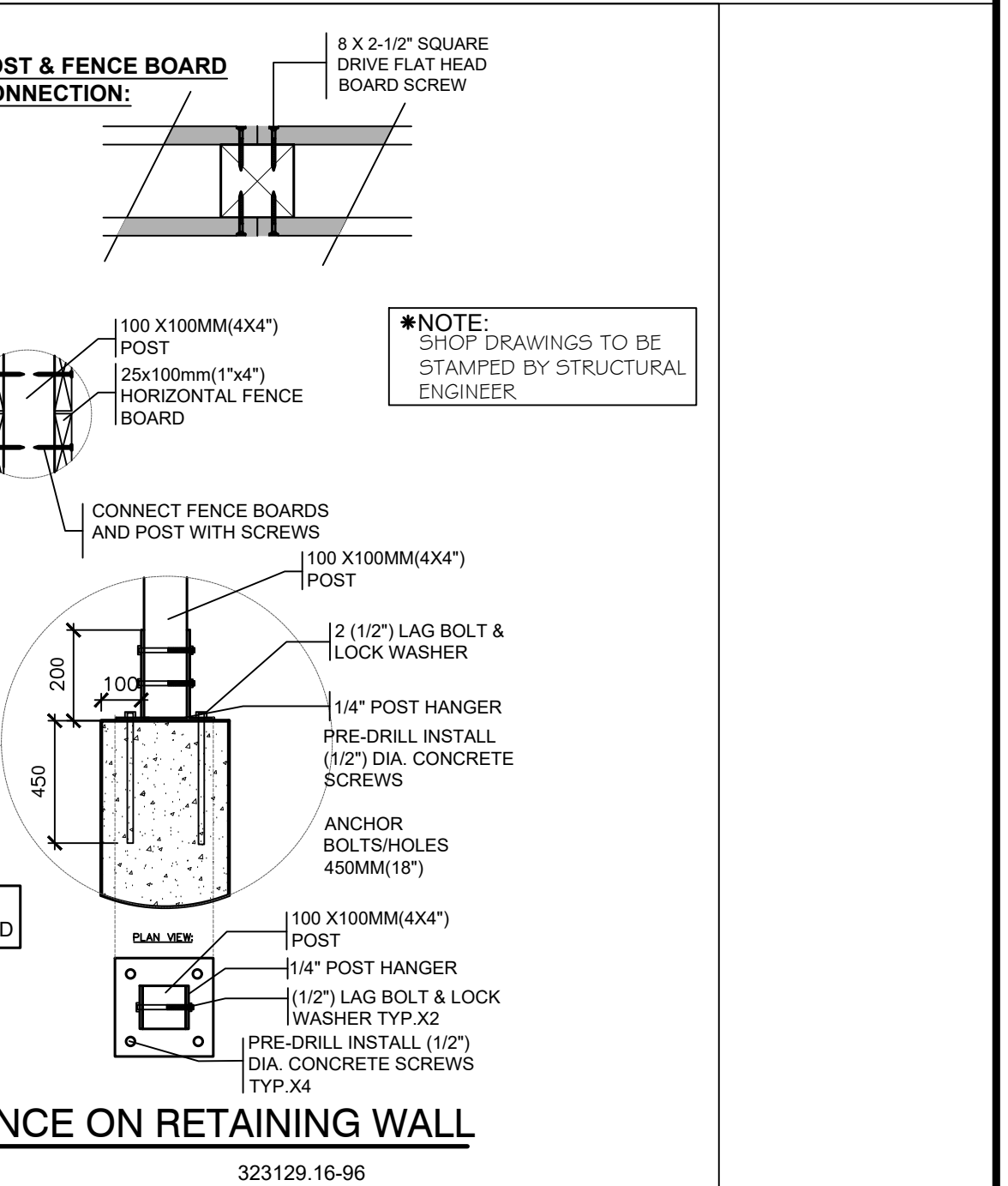
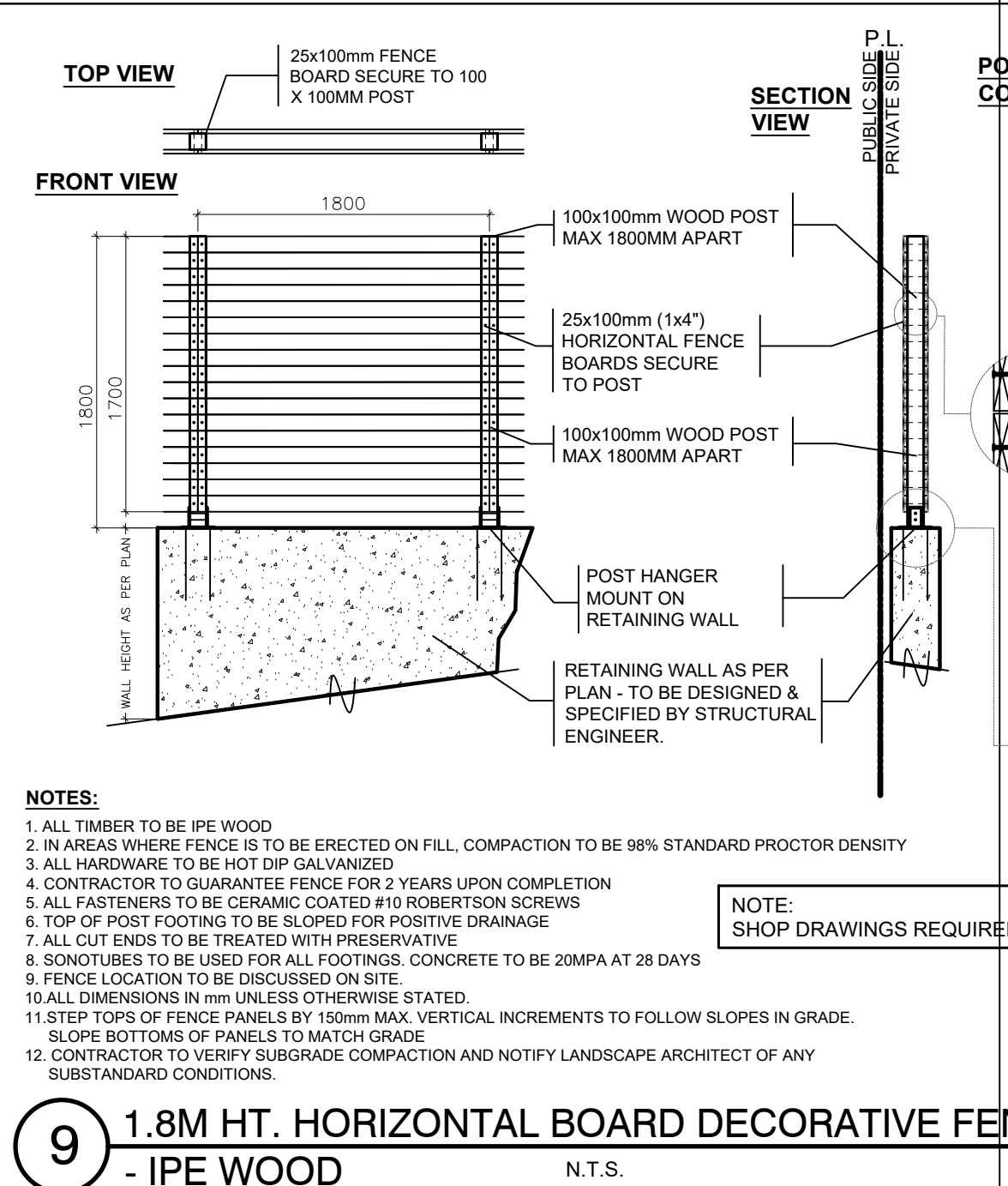
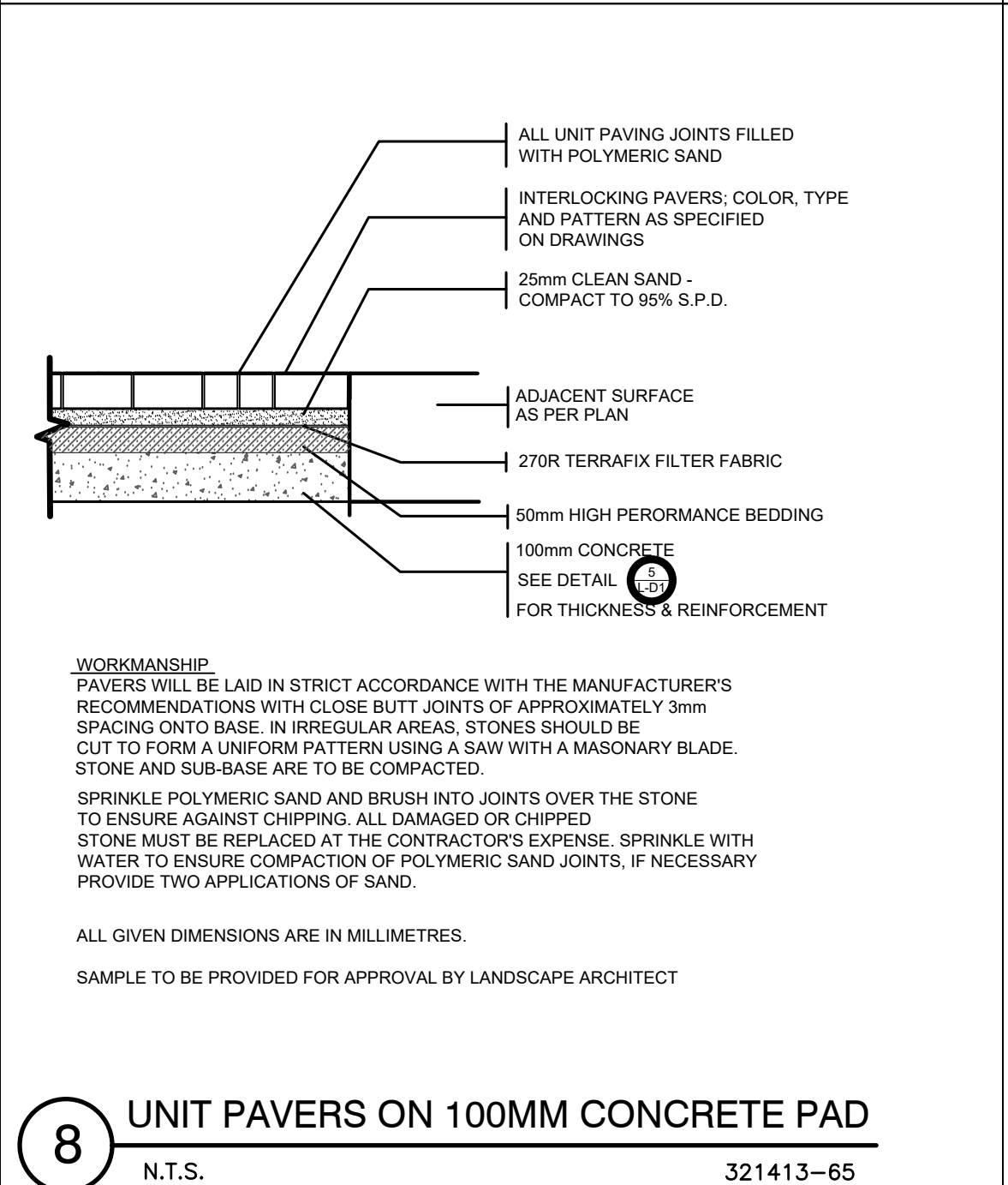
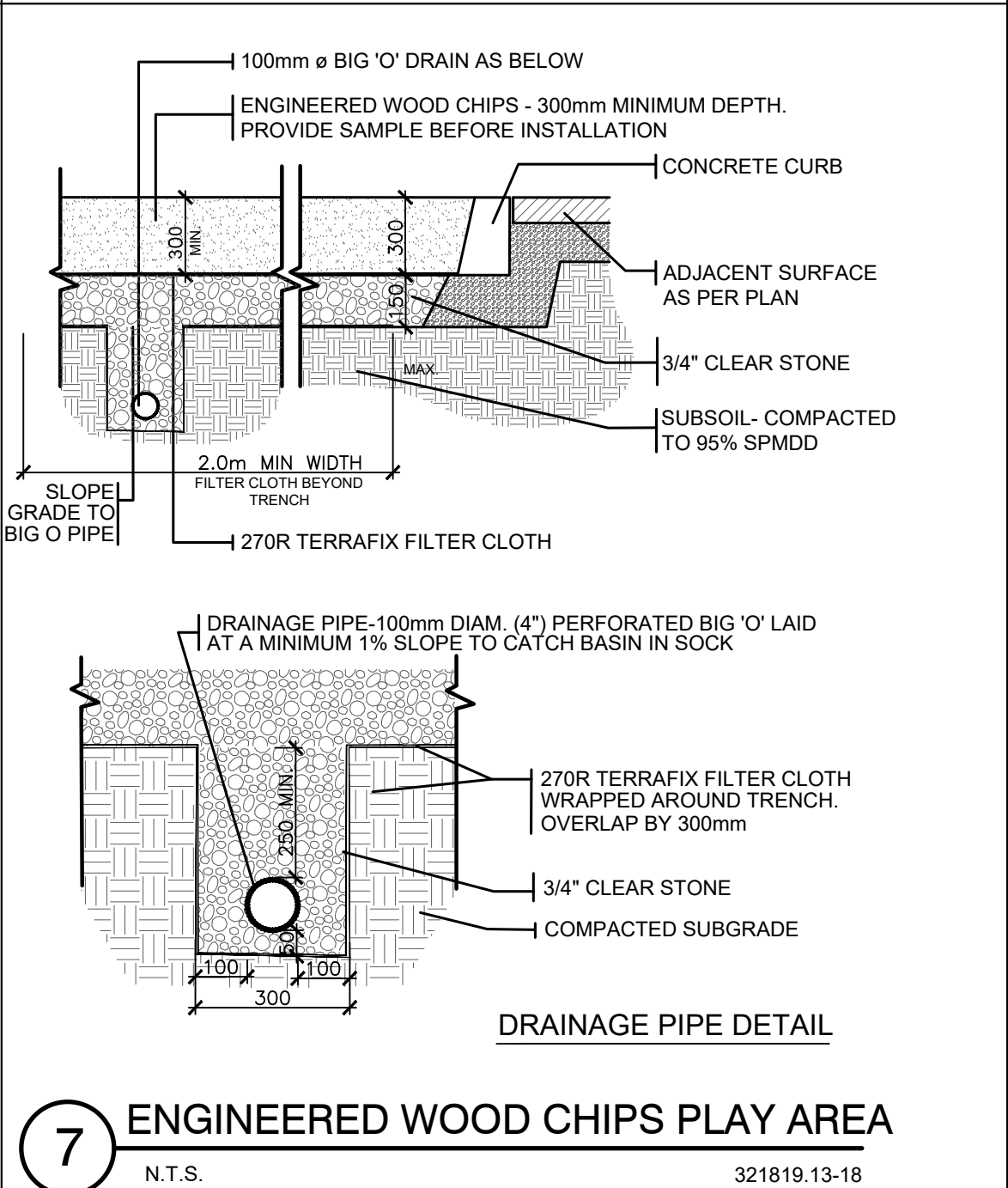
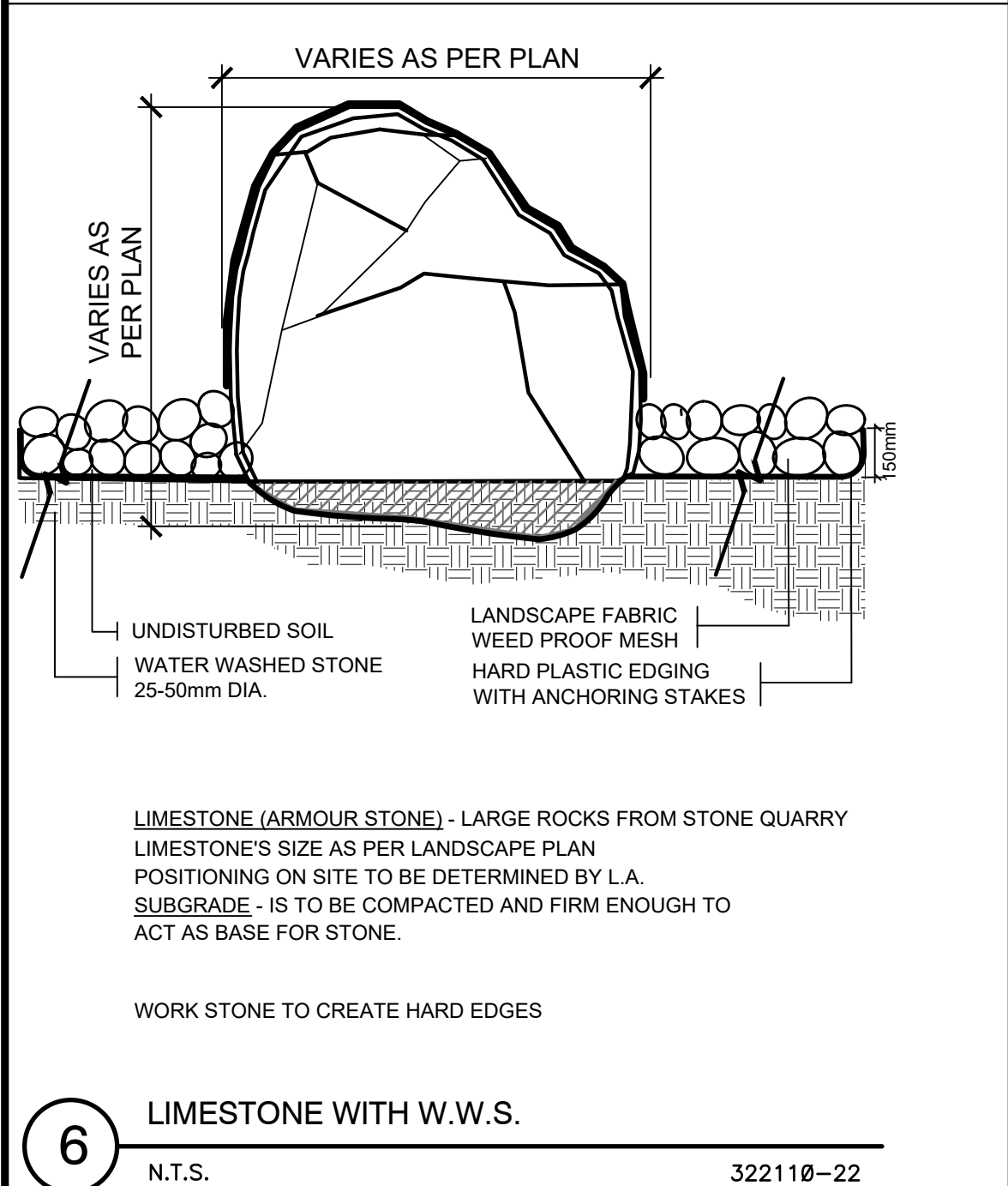
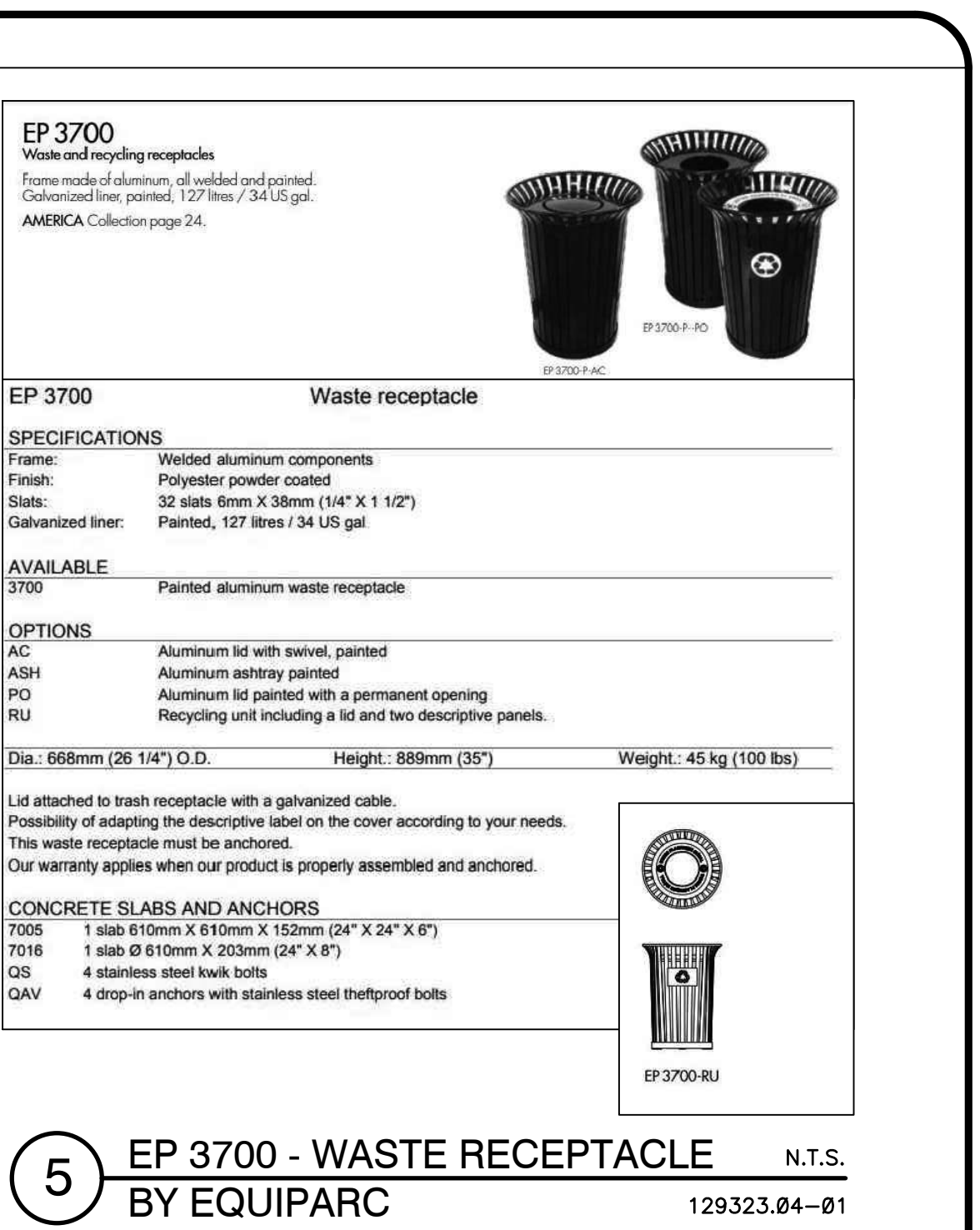
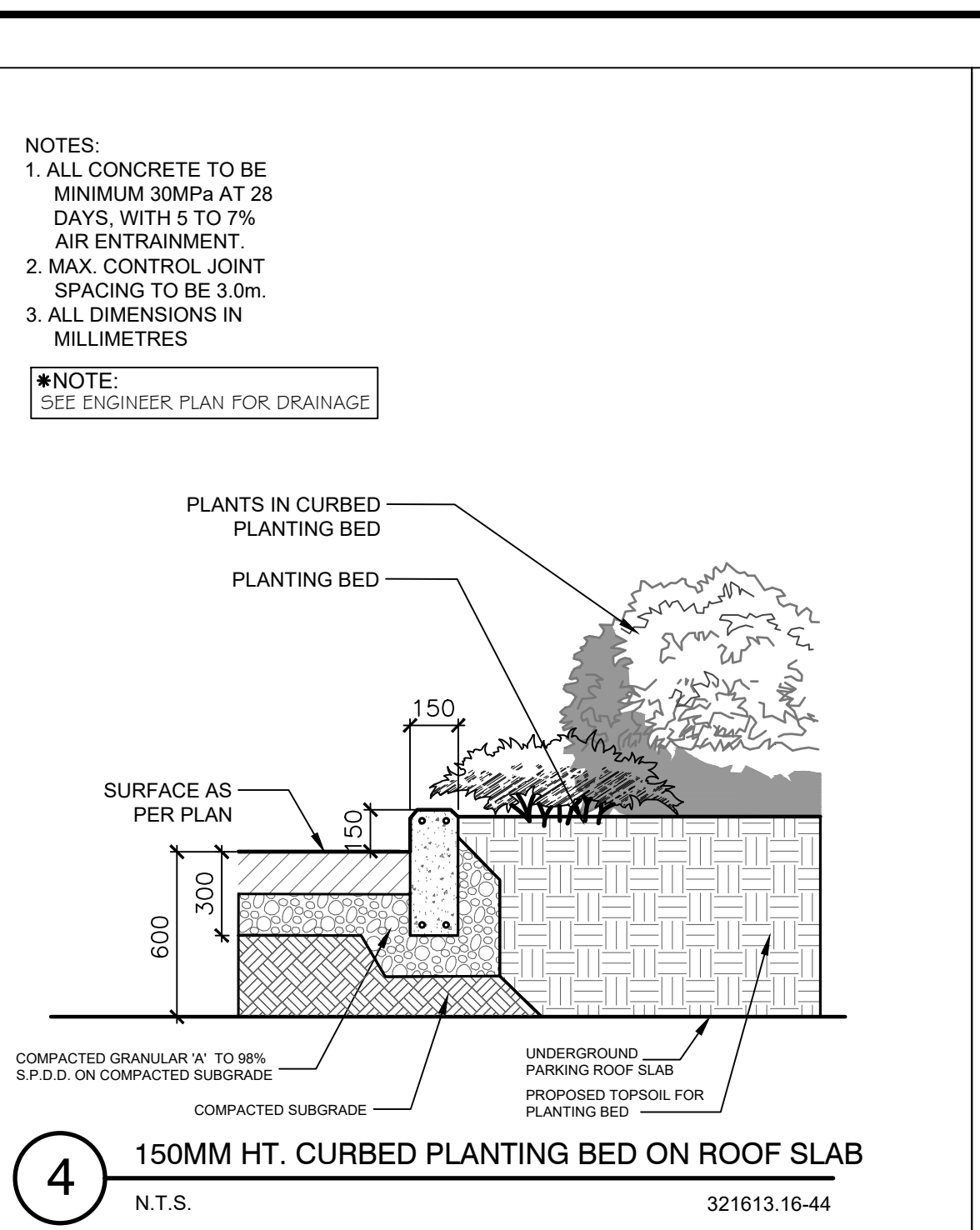
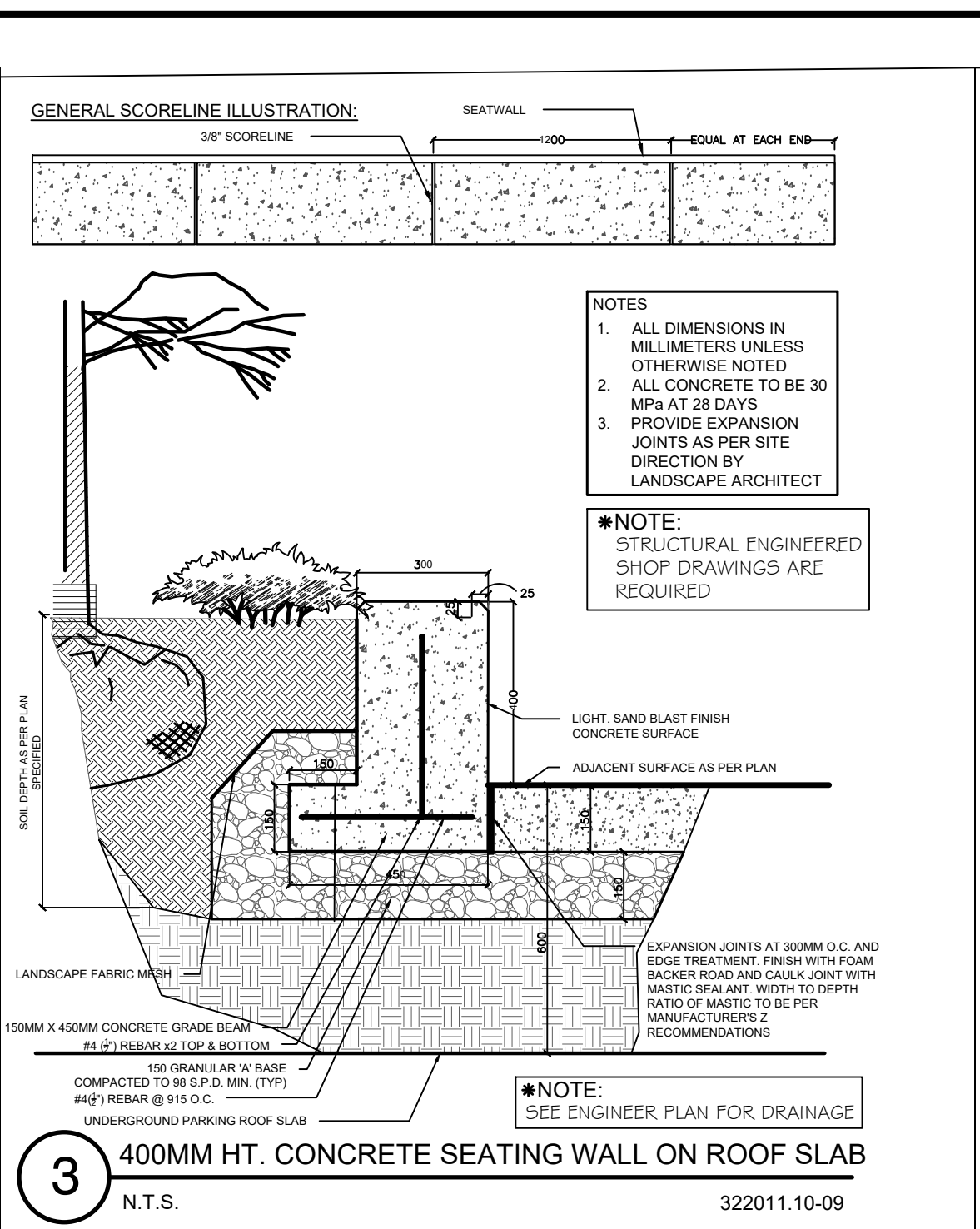
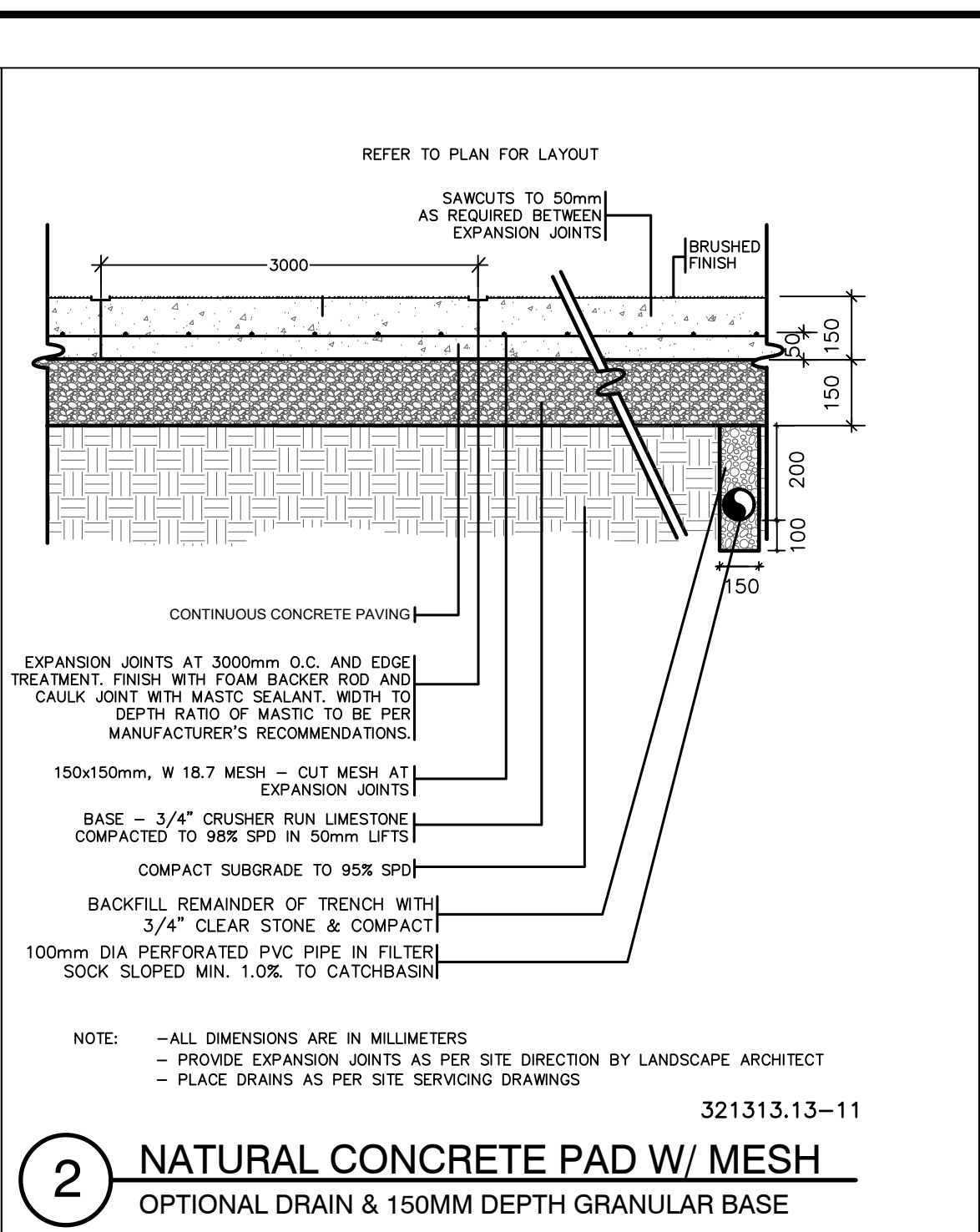
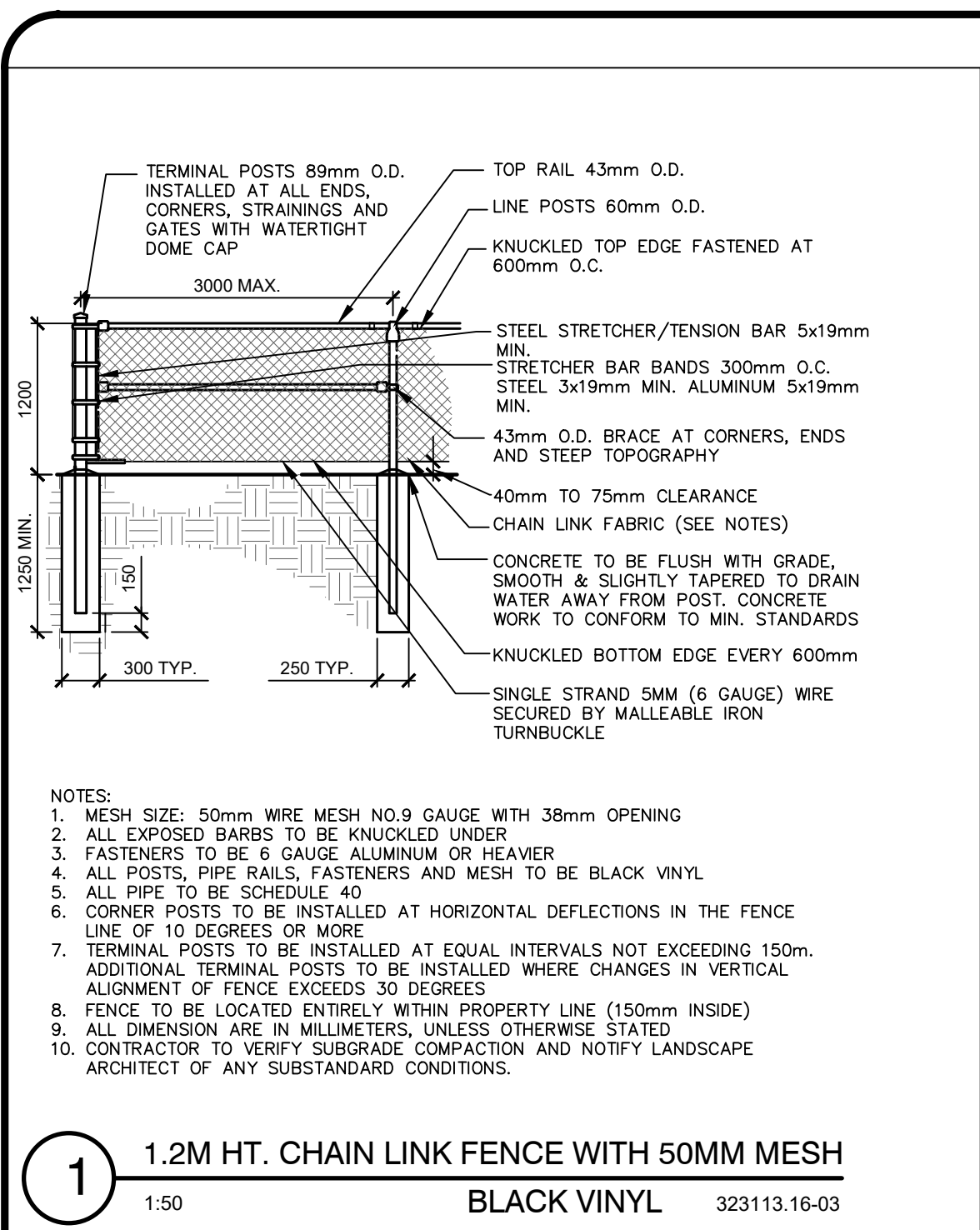
DRAWING: DETAILS

DRAWN BY: KL
CHECKED BY: HJK
JOB NO.: 2020-052

SCALE: 1:200
DATE: 2020-06-12

L-D1
DRAWING 6 OF 8

File #2020-052



LOCATION MAP

GENERAL NOTES

THE LOCATION OF PROPERTY LINES, ELEVATIONS AND FACILITIES ON THIS PLAN WERE DRAWN ON THE BASIS OF A DIGITAL SITE PLAN OR SURVEY DATA PROVIDED BY OTHER CONSULTANTS.

IT IS THE RESPONSIBILITY OF THE CLIENT AND HIS CONTRACTORS TO CONFIRM THE ACCURACY OF THE SETBACKS, LOCATIONS AND GRADES ETC. ANY VARIATIONS BETWEEN EXISTING CONDITIONS AND THIS PLAN SHOULD BE ADVISED ON SITE AND REPORTED TO THE CONSULTING LANDSCAPE ARCHITECT TO DETERMINE THE IMPACT OF THE VARIATIONS ON THE SUITABILITY OF THE PROPOSED DEVELOPMENT.

CONSTRUCTION MUST CONFORM TO ALL CODES AND REQUIREMENTS OF AUTHORITIES HAVING JURISDICTION.

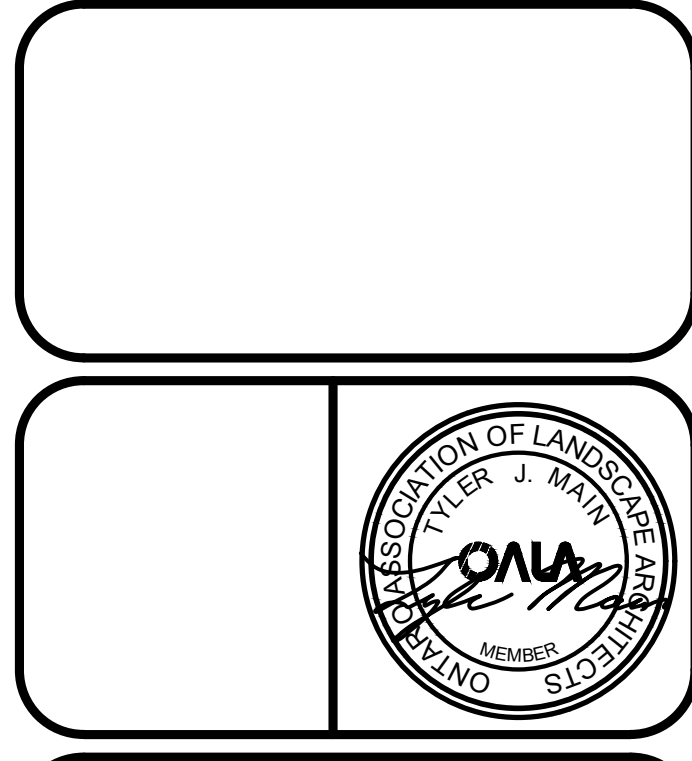
REVISIONS

NO.	DATE	NOTES	BY
11	2022-05-05	ISSUED FOR PERMIT	LZH
10	2022-03-21	REVISED PER COMMENTS	LZH
9	2021-12-13	REVISED PER NEW BASE	LZH
8	2021-11-26	REVISED PER NEW BASE	KL
7	2021-07-15	REVISED PER COMMENTS	KL
6	2021-07-12	REVISED UPDATED BASE	KL
5	2021-06-09	REVISED AS PER COMMENTS	KL
4	2021-01-27	REVISED AS PER UPDATED SITE PLAN	LZH
3	2021-01-12	THREE PRESERVATION PLAN UPDATED	LZH
2	2020-12-23	REVISED AS PER UPDATED SITE PLAN	LZH
1	2020-06-12	SET UP DRAWING	KL

NO. DATE NOTES BY

THESE LANDSCAPE DRAWINGS SHALL ONLY BE USED FOR THE PURPOSES INDICATED BELOW AS NOTED AND WHEN SIGNED BY THE CONSULTING LANDSCAPE ARCHITECT.

CONCEPTUAL TENDER
 PRELIMINARY CONTRACT
 SITE PLAN CONSTRUCTION
 PERMIT AS-BUILT



HENRY KORTEKAAS & ASSOCIATES INC.
LANDSCAPE ARCHITECTS, ARBORISTS, ENVIRONMENTAL & RECREATIONAL PLANNERS

589 LIVERMORE ROAD
PICKERING, ON L1W 1R1 EMAIL: INFO@HKLGA.CA
TEL: 905-688-5599

THESE DRAWINGS ARE INSTRUMENTS OF SERVICE AND THE LANDSCAPE ARCHITECT RETAINS OWNERSHIP OF THESE DRAWINGS. THEY ARE FOR SITE PLAN APPROVAL ONLY AND MAY REQUIRE FURTHER CONSTRUCTION DETAILING AND COORDINATION WITH OTHER ASSOCIATED PROFESSIONAL DESIGN SERVICES BEFORE ACTUAL TENDER AND CONSTRUCTION COMMENCES. DIMENSIONS ARE TO BE VERIFIED PRIOR TO CONSTRUCTION. DRAWINGS ARE NOT TO BE SCALED. IT IS ADVISED THAT CONTRACTORS CONTACT THE LANDSCAPE ARCHITECT PRIOR TO CONSTRUCTION TO ENSURE THE USE OF THE LATEST REVISED DRAWINGS. THE LANDSCAPE ARCHITECT IS NOT LIABLE FOR ERRORS OR OMISSIONS ARISING FROM UTILIZATION OF THESE PLANS BEFORE THE SAID DRAWINGS ARE SCALED, SIGNED AND DATED, AND THE LANDSCAPE ARCHITECT IS CONTRACTED TO PROVIDE CONSTRUCTION ADMINISTRATION AND CERTIFICATION SERVICES BY THE OWNER. ALL APPARENT DISCREPANCIES ARE TO BE REPORTED IN WRITING TO THE LANDSCAPE ARCHITECT BEFORE CONSTRUCTION COMMENCES.

PROJECT: ISSUED FOR PERMIT
224 & 234 KERR STREET
OAKVILLE, ON L6K 3A8

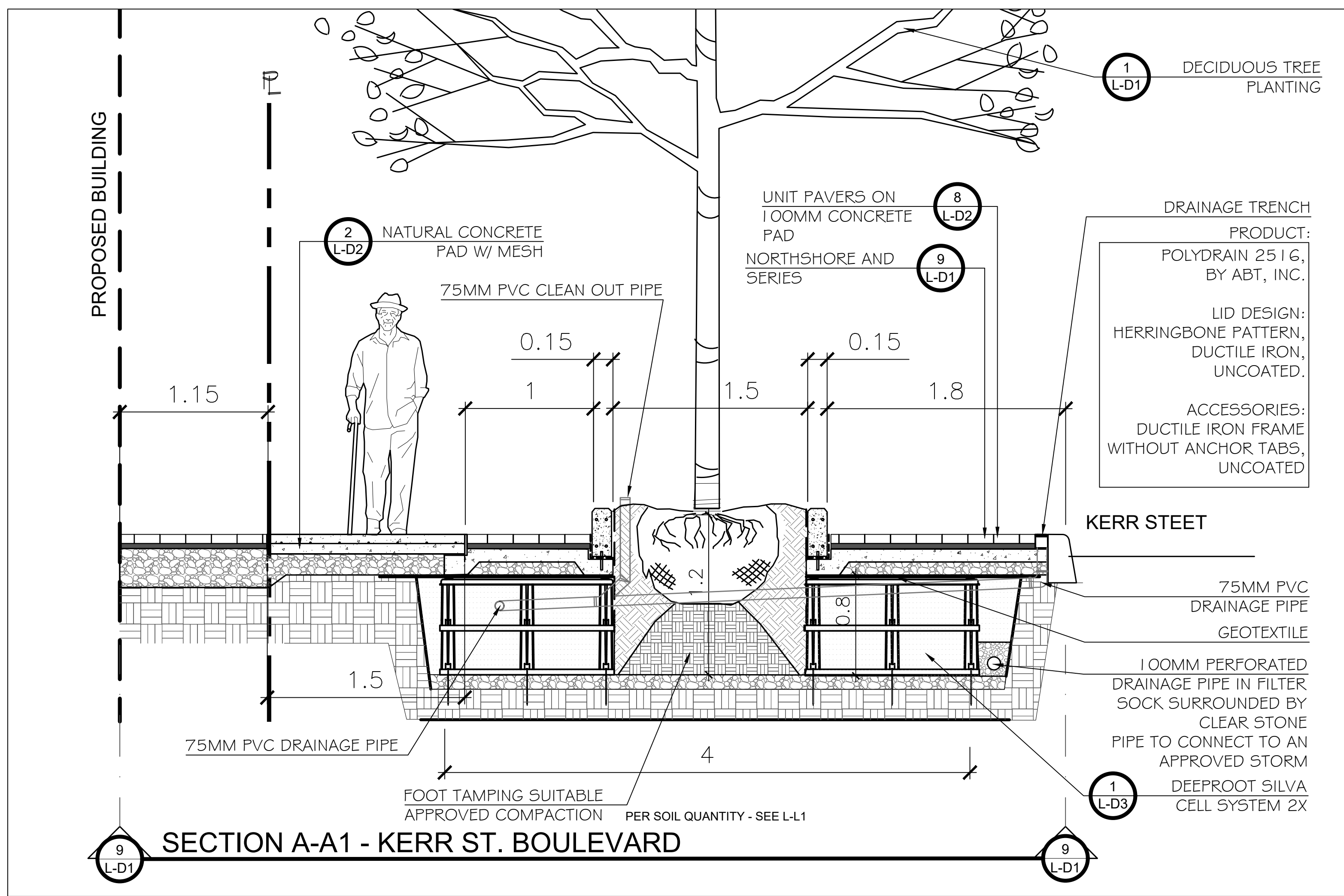
DRAWING: DETAILS

DRAWN BY: KL SCALE: AS SHOWN
CHECKED BY: HJK DATE: 2020-06-12
JOB NO.: 2020-052

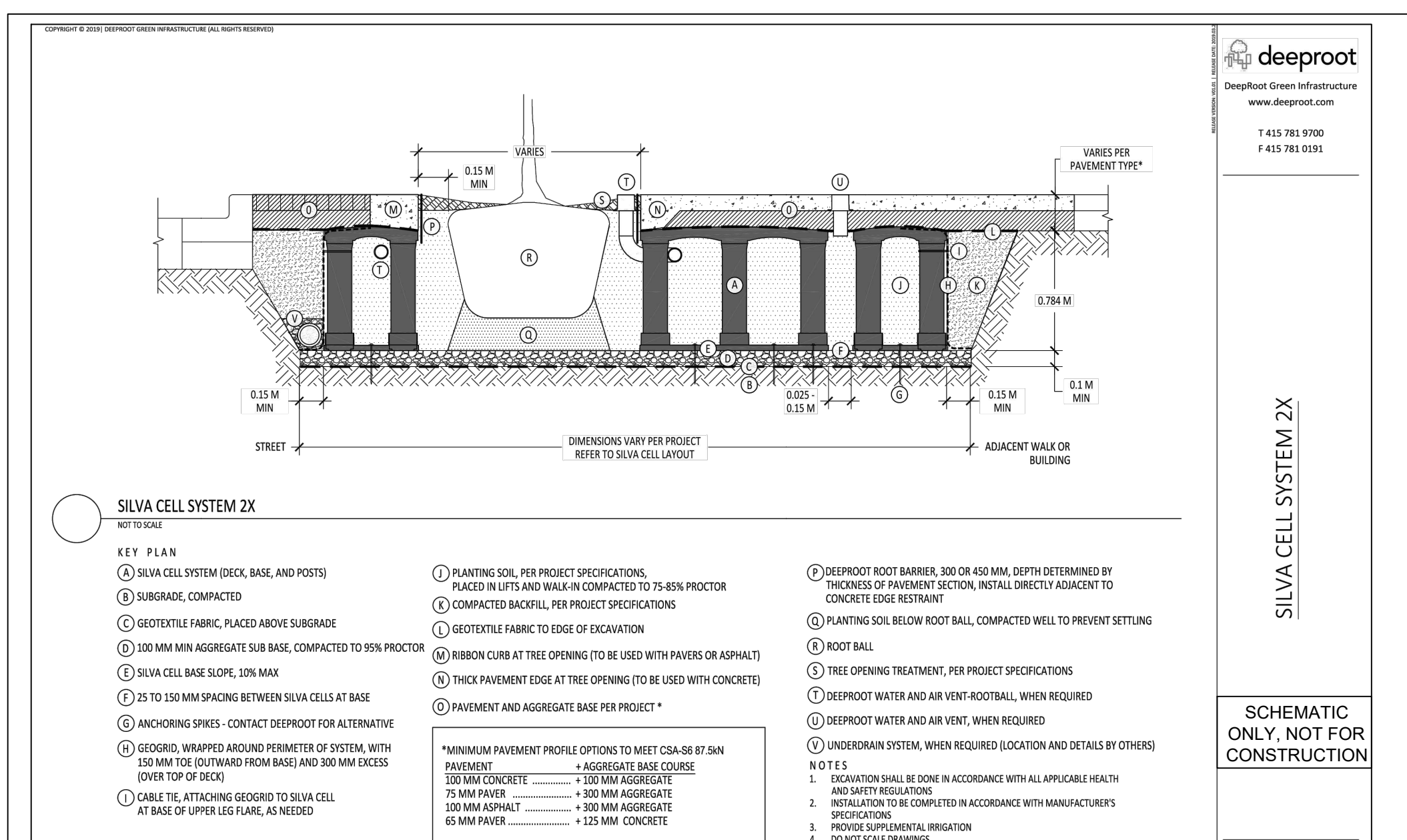
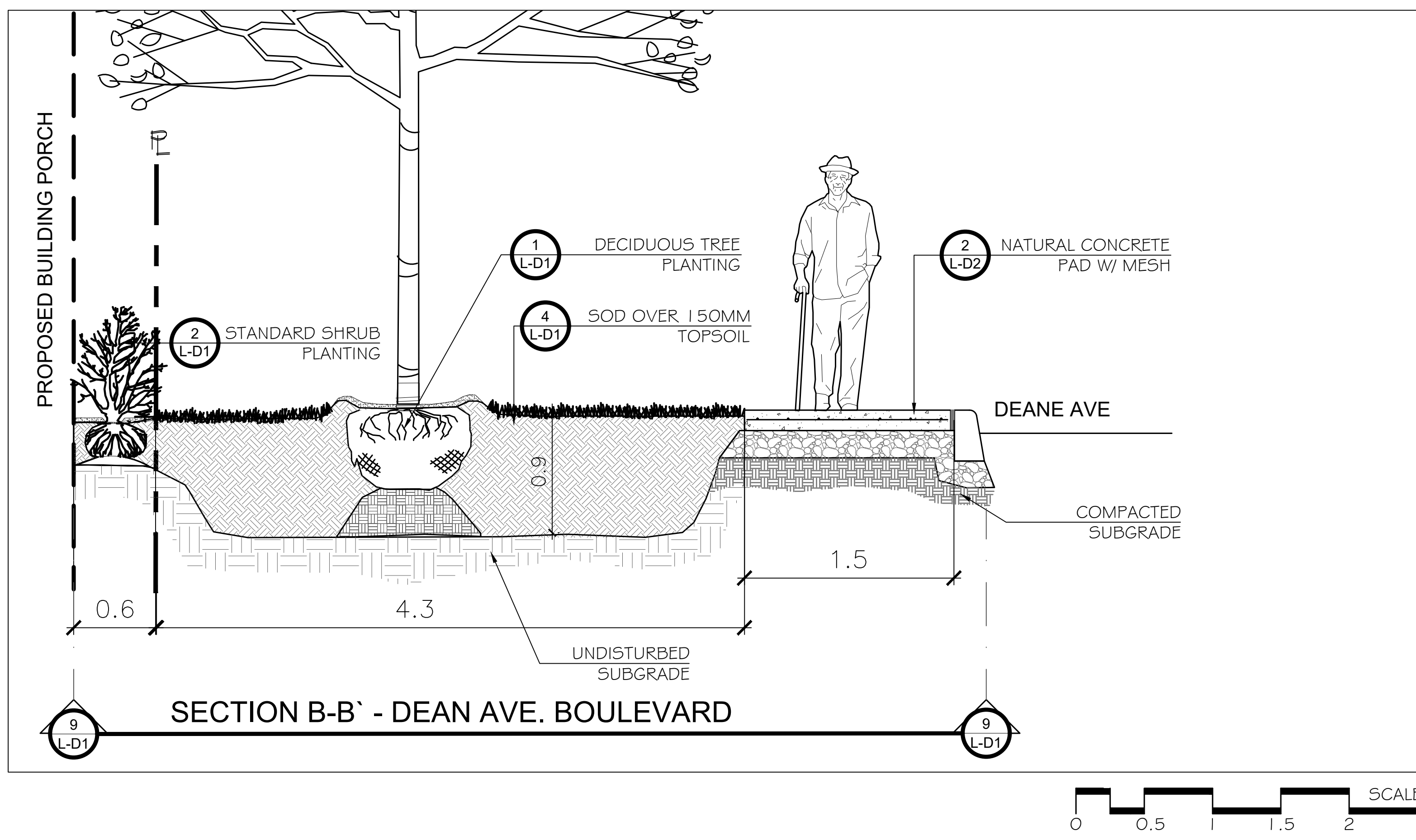
L-D2 DRAWING 7 of 8

111399-148

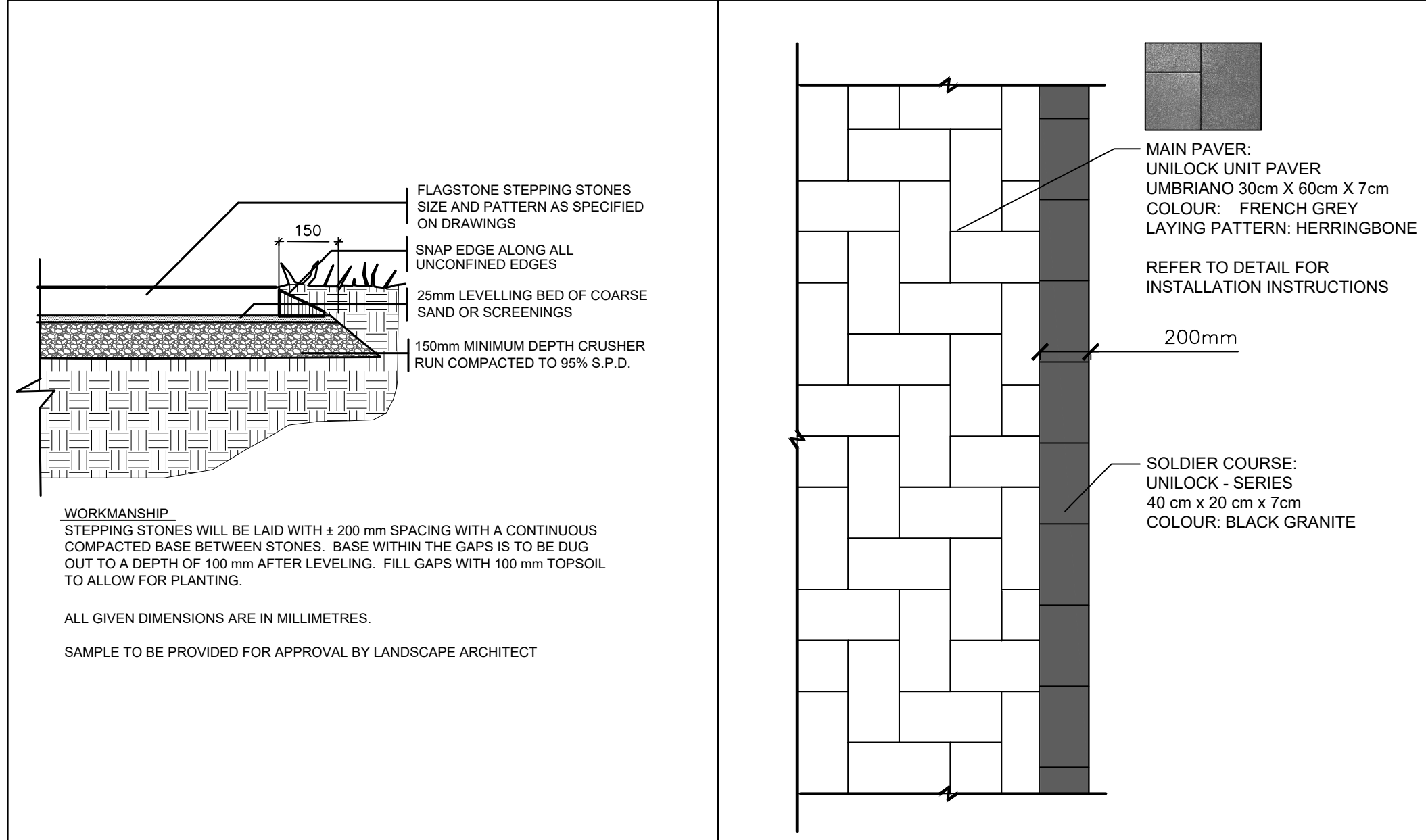
File #2020-052



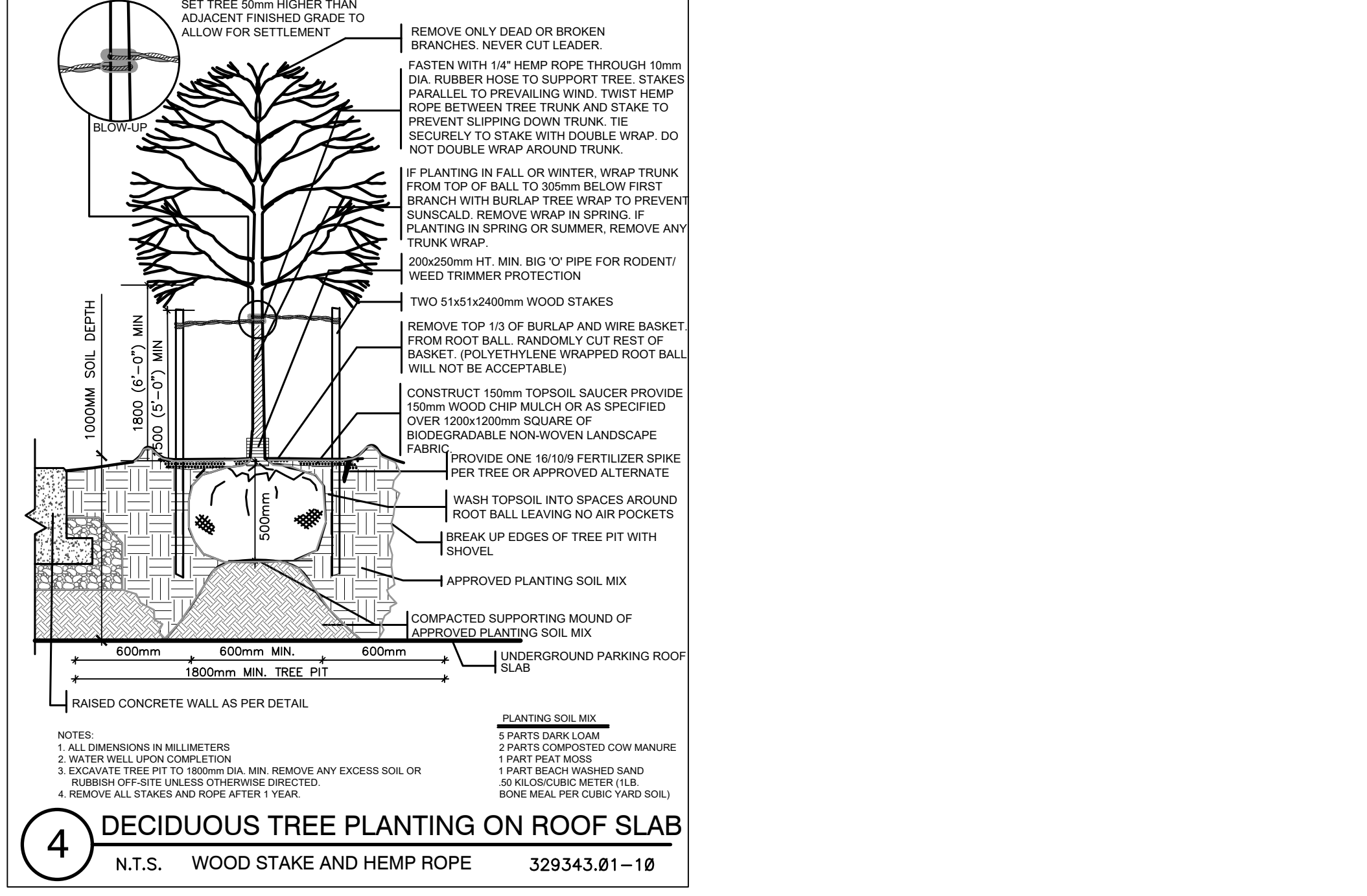
***NOTE:**
REFER TO LANDSCAPE PLAN L-L1
REGARDING SOIL QUANTITY AND
DEPTH.



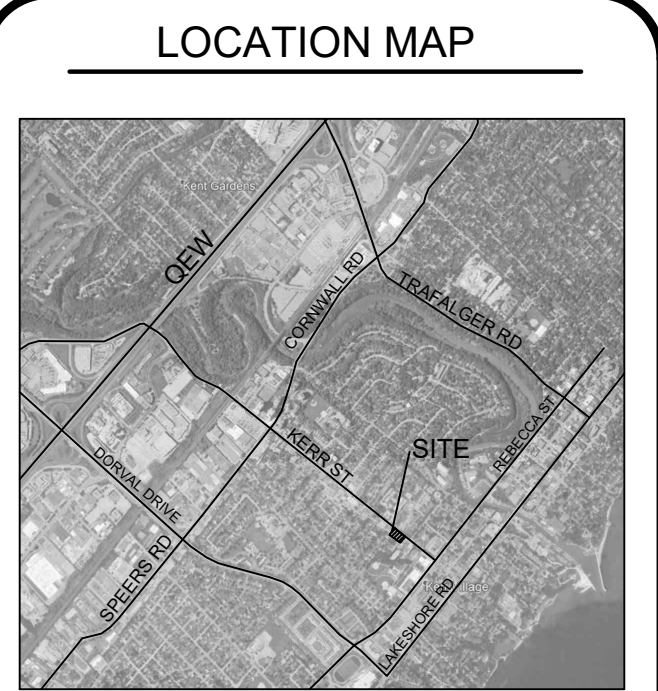
1 DEEPROOT SILVA CELL SYSTEM 2X
N.T.S. 329423-14



2 FLAGSTONE STEPPING STONES N.T.S. 321417-01
3 UNMBRIANO AND SERIES N.T.S. 321413.03-52



4 DECIDUOUS TREE PLANTING ON ROOF SLAB
N.T.S. WOOD STAKE AND HEMP ROPE 329343.01-10



GENERAL NOTES

THE LOCATION OF PROPERTY LINES, ELEVATIONS AND FACILITIES ON THIS PLAN WERE DRAWN ON THE BASIS OF A DIGITAL SITE PLAN OR SURVEY DATA PROVIDED BY OTHER CONSULTANTS.

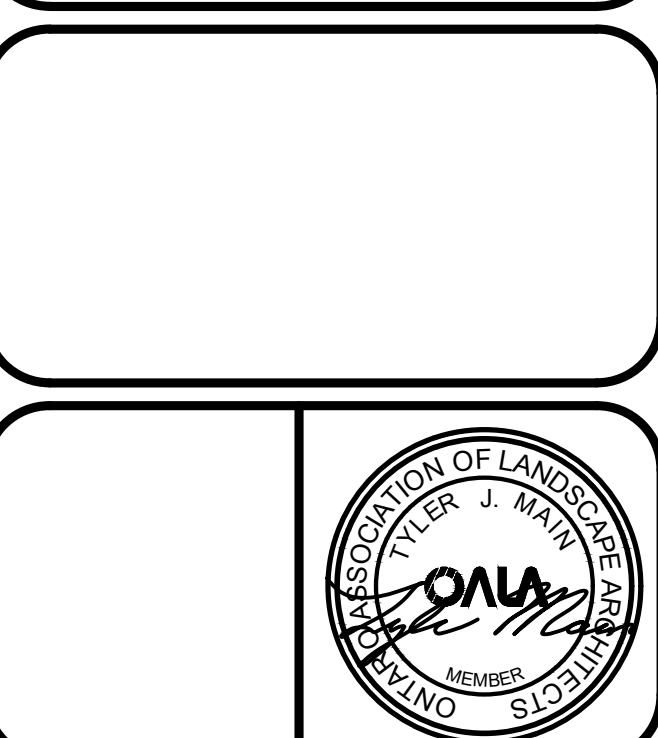
IT IS THE RESPONSIBILITY OF THE CLIENT AND HIS CONTRACTORS TO CONFIRM THE ACCURACY OF THE SETBACKS, LOCATIONS AND GRADES ETC. ANY VARIATIONS BETWEEN EXISTING CONDITIONS AND THIS PLAN SHOULD BE ADVISED ON SITE AND REPORTED TO THE CONSULTING LANDSCAPE ARCHITECT TO DETERMINE THE IMPACT OF THE VARIATIONS ON THE SUITABILITY OF THE PROPOSED DEVELOPMENT.

CONSTRUCTION MUST CONFORM TO ALL CODES AND REQUIREMENTS OF AUTHORITIES HAVING JURISDICTION.

NO.	DATE	NOTES	BY
11	2022-05-05	ISSUED FOR PERMIT	LZH
10	2022-03-21	REVISED PER COMMENTS	LZH
9	2021-12-13	REVISED PER NEW BASE	LZH
8	2021-11-26	REVISED PER NEW BASE	KL
7	2021-07-15	REVISED PER COMMENTS	KL
6	2021-07-12	REVISED UPDATED BASE	KL
5	2021-06-09	REVISED AS PER COMMENTS	KL
4	2021-01-27	REVISED AS PER UPDATED SITE PLAN	LZH
3	2021-01-12	TREE PRESERVATION PLAN UPDATED	LZH
2	2020-12-23	REVISED AS PER UPDATED SITE PLAN	LZH
1	2020-06-12	SET UP DRAWING	KL

THESE LANDSCAPE DRAWINGS SHALL ONLY BE USED FOR THE PURPOSES INDICATED BELOW AS NOTED AND WHEN SIGNED BY THE CONSULTING LANDSCAPE ARCHITECT.

<input type="checkbox"/> CONCEPTUAL	<input type="checkbox"/> TENDER
<input type="checkbox"/> PRELIMINARY	<input type="checkbox"/> CONTRACT
<input type="checkbox"/> SITE PLAN	<input type="checkbox"/> CONSTRUCTION
<input type="checkbox"/> PERMIT	<input type="checkbox"/> AS-BUILT



HENRY KORTEKAAS & ASSOCIATES INC.
LANDSCAPE ARCHITECTS,
ARBORISTS,
ENVIRONMENTAL &
RECREATIONAL PLANNERS
595 LIVERPOOL ROAD
PICKERING, ON L1W 1R1 EMAIL: INFO@HKA.CA

THESE DRAWINGS ARE INSTRUMENTS OF SERVICE AND THE LANDSCAPE ARCHITECT RETAINS OWNERSHIP OF THESE DRAWINGS. THEY ARE FOR SITE PLAN APPROVAL ONLY AND MAY REQUIRE FURTHER CONSTRUCTION DETAILING AND COORDINATION WITH OTHER ASSOCIATED PROFESSIONAL DESIGN SERVICES BEFORE ACTUAL TENDER AND CONSTRUCTION COMMENCES. DIMENSIONS ARE TO BE VERIFIED PRIOR TO CONSTRUCTION. DRAWINGS ARE NOT TO BE SCALED. IT IS ADVISED THAT CONTRACTORS CONTACT THE LANDSCAPE ARCHITECT PRIOR TO CONSTRUCTION TO ENSURE THE USE OF THE LATEST REVISED DRAWINGS. THE LANDSCAPE ARCHITECT IS NOT LIABLE FOR ERRORS OR OMISSIONS ARISING FROM UTILIZATION OF THESE PLANS BEFORE THE SAID DRAWINGS ARE SCALED, SIGNED AND DATED. AND THE LANDSCAPE ARCHITECT IS CONTRACTED TO PROVIDE CONSTRUCTION ADMINISTRATION AND CERTIFICATION SERVICES BY THE OWNER. ALL APPARENT DISCREPANCIES ARE TO BE REPORTED IN WRITING TO THE LANDSCAPE ARCHITECT BEFORE CONSTRUCTION COMMENCES.

PROJECT: ISSUED FOR PERMIT
224 & 234 KERR STREET
OAKVILLE, ON L6K 3A8

DRAWING: DETAILS
DRAWN BY: KL
CHECKED BY: HJK
JOB NO.: 2020-052
SCALE: AS SHOWN
DATE: 2020-06-12
L-D3
DRAWING
8 of 8

File #2020-052