

ZONING SCHEDULE FOR 3308 LAKESHORE		
ZONING DESIGNATION: RL2-0		
SITE DATA		
ZONING REGULATION	REQUIRED	PROPOSED
MAX. FLOOR AREA RATIO	29%	21.40%
MAX. LOT COVERAGE	25% INCLUDING GARAGE	12.05%
MIN. FRONT YARD SETBACK	1 m LESS THAN EXISTING (20.92 - 1.0) = 19.92 m	20.87 m
MAX. FRONT YARD SETBACK	MIN. PLUS 5.5 m (25.42 m)	23.76 m
MAIN WALL PROPORTIONALITY	50% OF ALL MAIN WALL IN FRONT	65.56%
BALCONY AND DECK PROJECTION	0	0 m
DWELLING HEIGHT	2 STOREYS AND 9.0 m	9.23 m
ACCESSORY BUILDING COVERAGE	INCLUDED IN 25%	N/A
MAX. HEIGHT FOR ACC. BLDG.	4 m	N/A
SET BACK FOR ACC. BLDG.	2.4 m	N/A
MIN. LOT AREA	836 m <sup>2</sup>	4206.82 m <sup>2</sup>
SIDE (SOUTH) YARD SETBACK	2.4 m	4.88 m
SIDE (NORTH) YARD SETBACK	2.4 m	5.25 m
REAR YARD SETBACK	7.5 m	44.21 m
MIN. SETBACK FROM STABLE TOP OF BANK OF LAKE ONTARIO	15 m	31.34 m
MAX. DWELLING DEPTH	N/A	N/A
PARKING	2 (1 UNDER COVER)	3
STALL SIZE IN A GARAGE	5.7 x 5.8 m FOR DOUBLE	6.18 x 9.35 m
MIN. WIDTH OF DRIVEWAY	2.4 m	3.8 m
MAX. WIDTH OF DRIVEWAY	9 m	10.31 m
LOCATION OF DRIVEWAY	2.4 m	4.79 m
MAX. PROJECTION BEYOND FACE OF DWELLING	1.5 m	N/A
MAX. DRIVEWAY COVERAGE IN FRONT YARD	50% OF FRONT YARD	33.18%

CALCULATIONS & ADDITIONAL INFORMATION		
ITEM	REQUIRED	PROPOSED
ESTABLISHED GRADE		80.96 m <sup>2</sup>
BASEMENT FLOOR AREA		439 m <sup>2</sup>
WALKOUT		59.22 m <sup>2</sup>
1ST FLOOR AREA, EXCLUDING GARAGE & COVERED PORCH*		397.36 m <sup>2</sup>
GARAGE		64.28 m <sup>2</sup>
COVERED PORCH		45.55 m <sup>2</sup>
2ND FLOOR AREA, EXCLUDING OPEN TO BELOW*		354.14 m <sup>2</sup>
OPEN TO BELOW		84.73 m <sup>2</sup>
GROSS FLOOR AREA (TOTAL OF AREA WITH "" SUFFIX)		751.50 m <sup>2</sup>
FLOOR AREA RATIO (GFA/LOT AREA) 751.50m <sup>2</sup> /4206.82m <sup>2</sup>	29%	17.86%
LOT COVERAGE (1ST FLOOR AREA + PARKING SPACE + COVERED PORCH) / LOT AREA) 507.19m <sup>2</sup> /4206.82m <sup>2</sup>	25%	12.05%
MAIN WALL PROPORTIONALITY MAIN WALL LENGTH = 34.35m	50%	65.56%
	17.175m	22.52m

FRONT YARD LANDSCAPING CALCULATION		
FRONT YARD AREA		1239.87m <sup>2</sup>
DRIVEWAY / ASPHALT	50%	33.18%
		411.38m <sup>2</sup>
SOFTSCAPE		797.13m <sup>2</sup>
HARDSCAPE		31.50m <sup>2</sup>

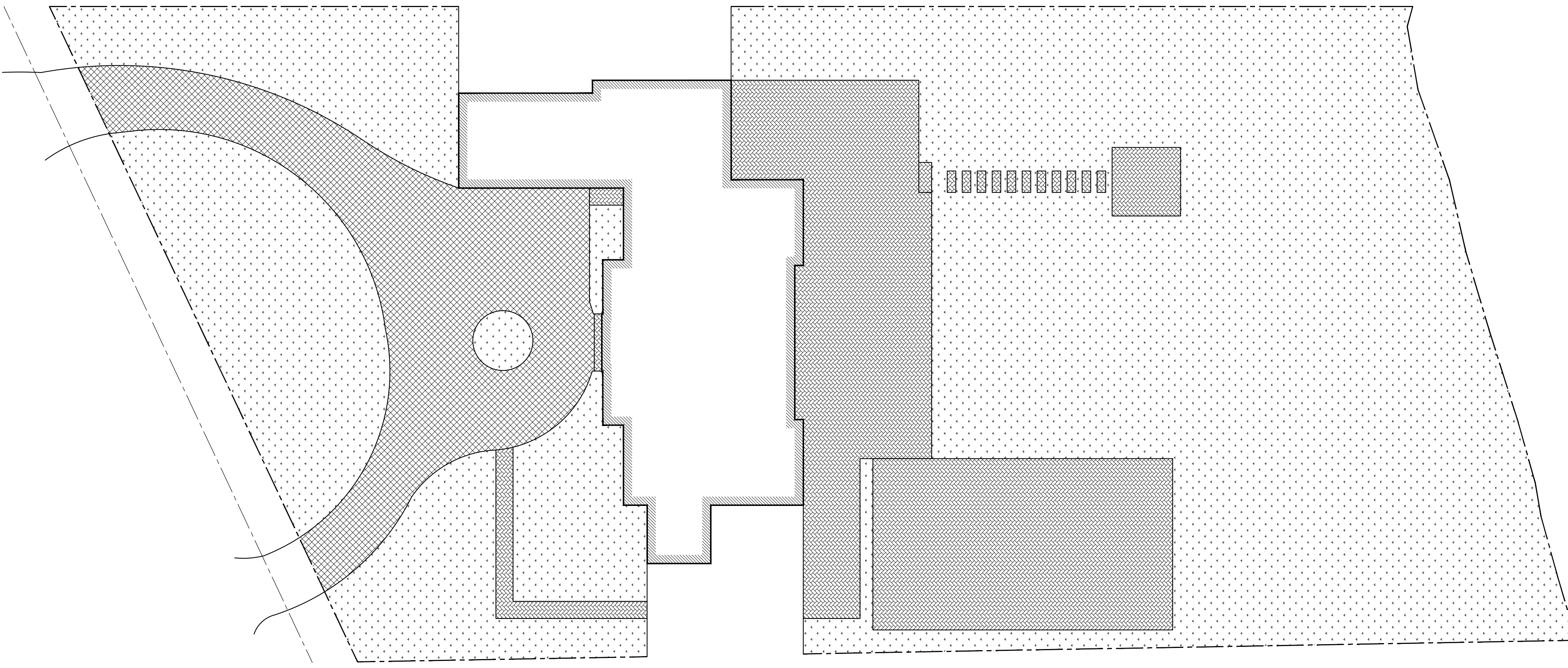
REAR YARD LANDSCAPING CALCULATION		
REAR YARD AREA		2294.72m <sup>2</sup>
SOFTSCAPE		72.8%
		1670.88m <sup>2</sup>
HARDSCAPE		623.83m <sup>2</sup>

SOFT LANDSCAPING		
HARD LANDSCAPING		
DRIVEWAY		



3308 LAKESHORE RD W  
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10		
9		
8		
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1	ZONING REVIEW SUBMITTAL	06/16/21
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SHEET TITLE:  
**SITE PLAN**

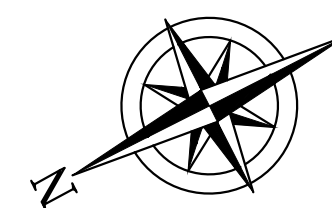
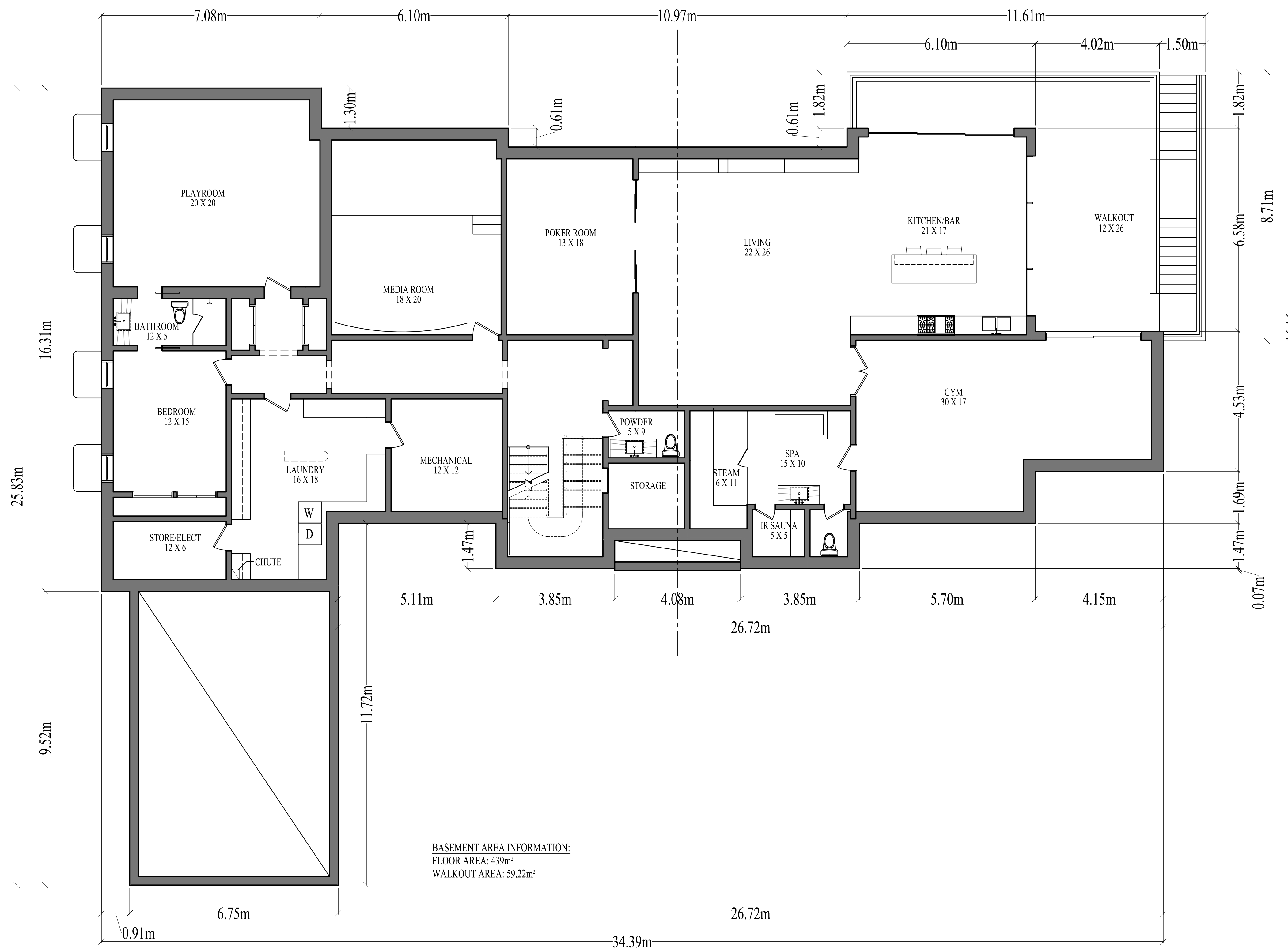
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DATE: <b>06/04/2021</b>	SCALE: <b>1:200</b>
PROJECT NO.:	DRAWING NO.:
<b>A0</b>	





**JASON CUTAJAR**  
ARCHITECTURAL DESIGN  
P 416-277-0179 F 416-241-8125  
39 BRAWIN DRIVE  
TORONTO, ONTARIO  
M9P 2N9  
CANADA

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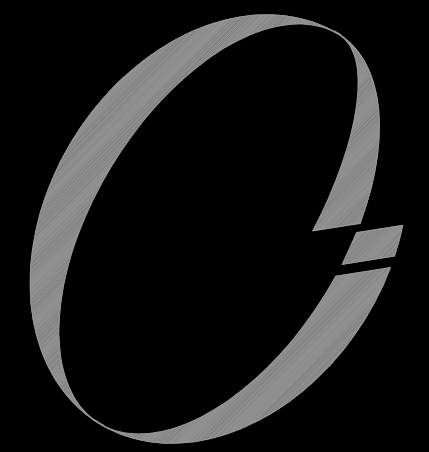
**BASEMENT PLAN**

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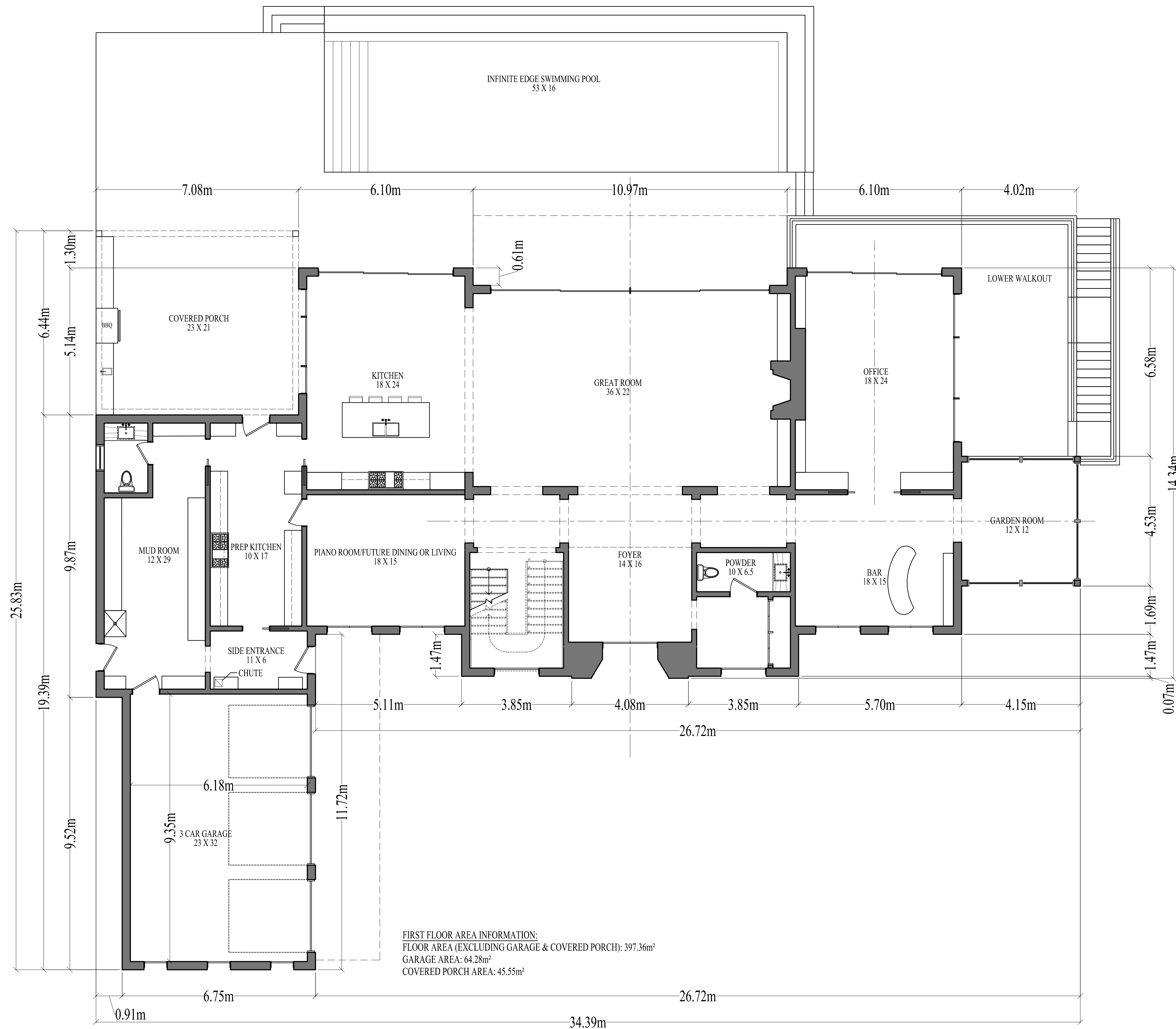
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**A1**

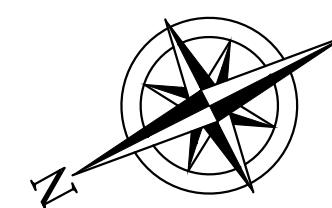


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FIRST FLOOR AREA INFORMATION:  
FLOOR AREA (EXCLUDING GARAGE & COVERED PORCH): 397.36m<sup>2</sup>  
GARAGE AREA: 64.28m<sup>2</sup>  
COVERED PORCH AREA: 45.55m<sup>2</sup>



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9		
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SHEET TITLE:  
**GROUND FLOOR PLAN**

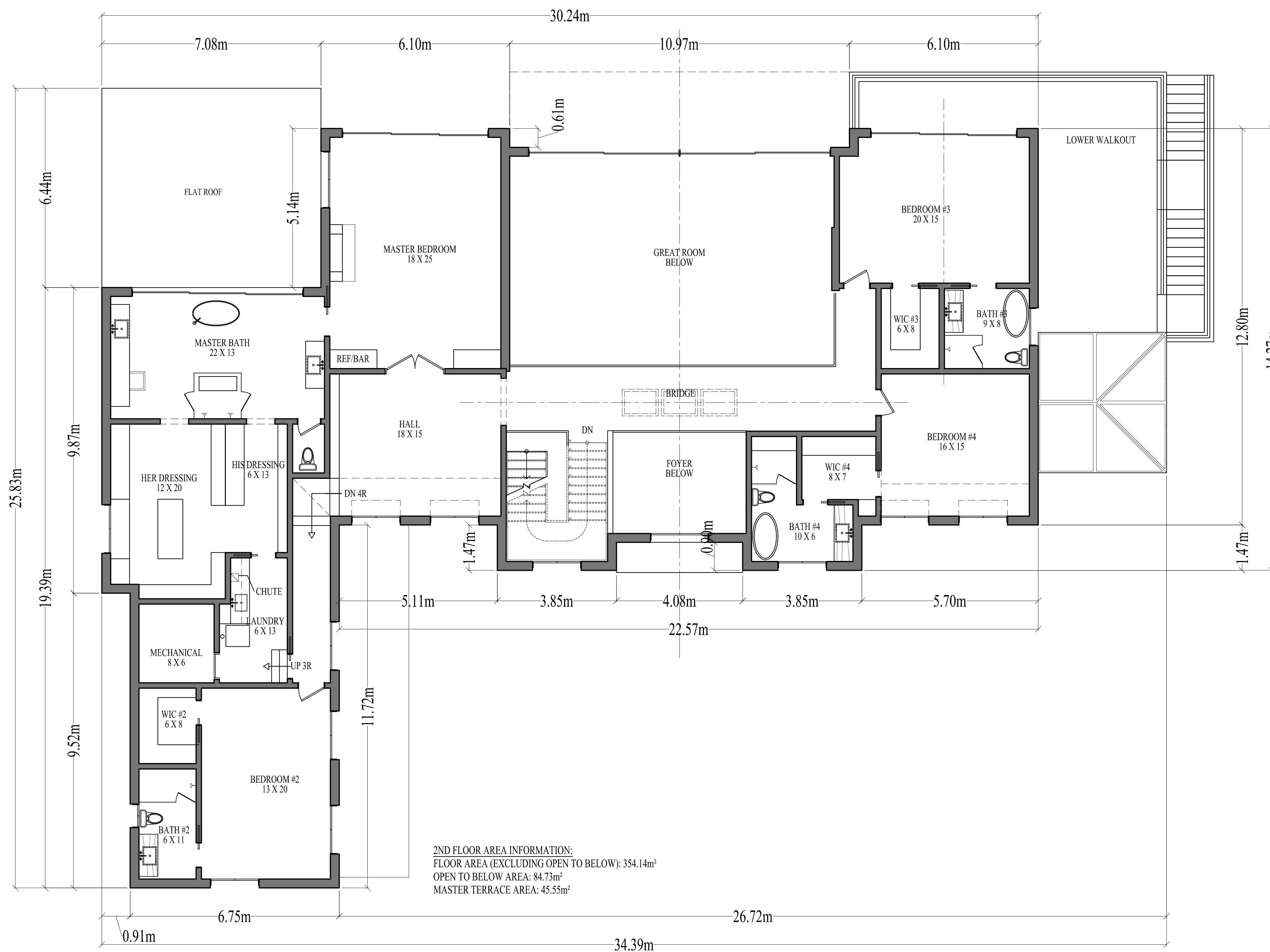
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**A2**



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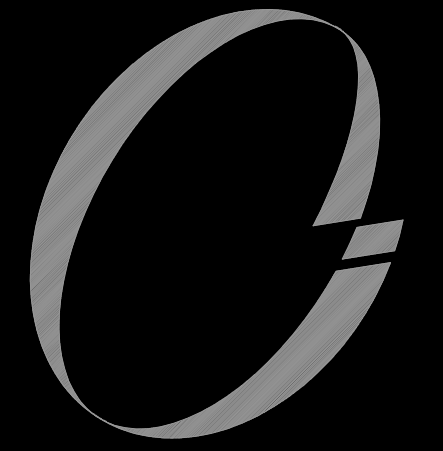


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SHEET TITLE:  
**SECOND FLOOR PLAN**

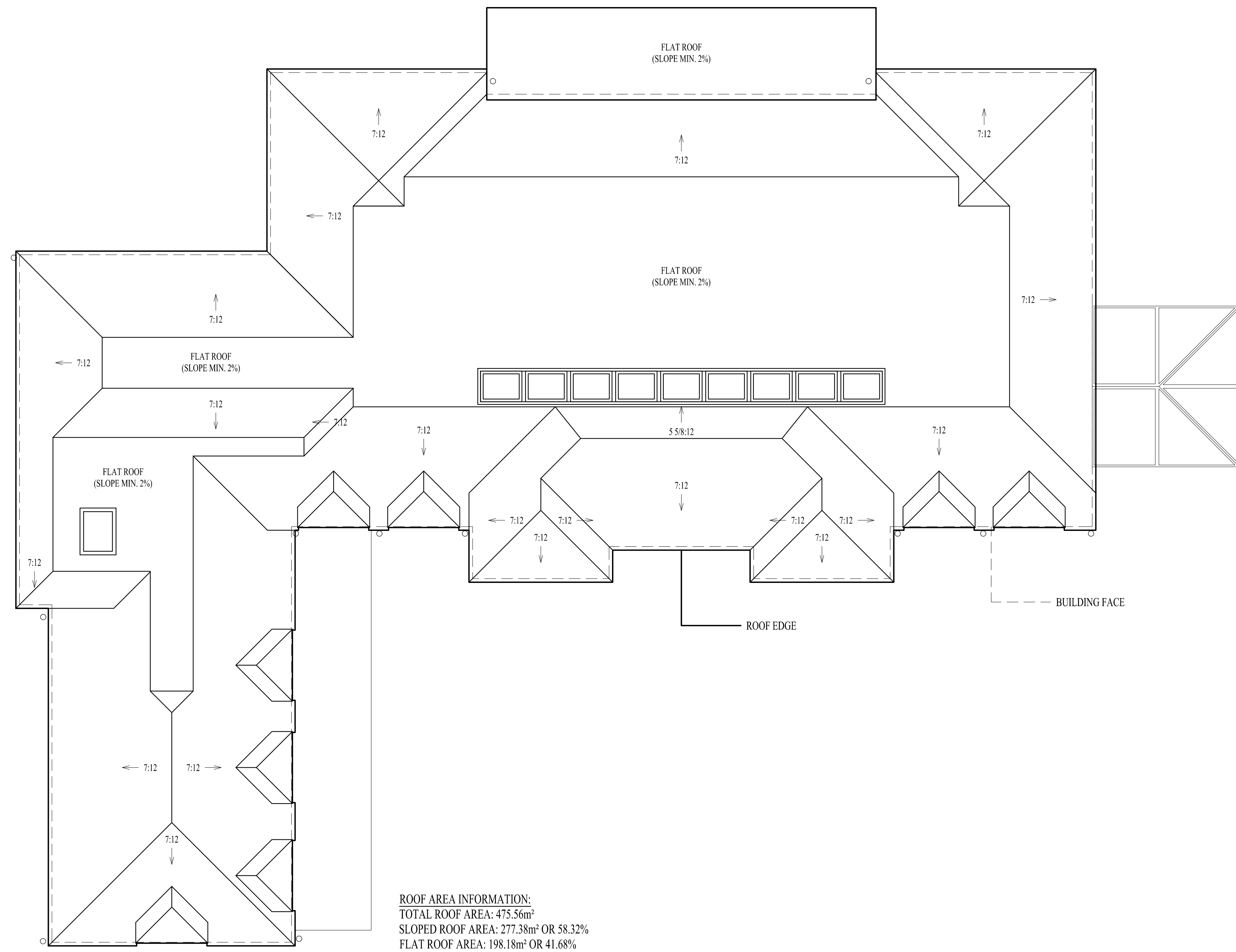
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**A3**



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ROOF AREA INFORMATION:  
TOTAL ROOF AREA: 475.56m<sup>2</sup>  
SLOPED ROOF AREA: 277.38m<sup>2</sup> OR 58.32%  
FLAT ROOF AREA: 198.18m<sup>2</sup> OR 41.68%

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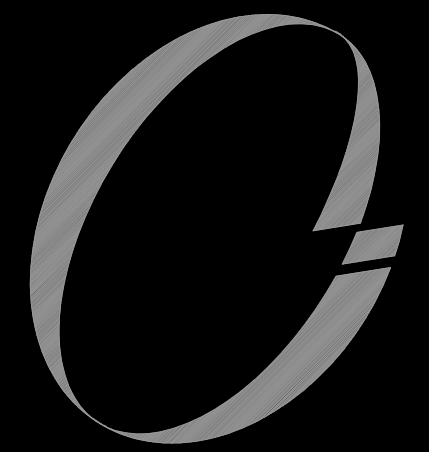
SHEET TITLE:

ROOF PLAN

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A4

MATERIAL SCHEDULE	
◇	ASPHALT SHINGLES
◇	ZINC GUTTER / FLASHING
◇	STUCCO MOULDING
◇	STUCCO
◇	SHOT SAWN LIMESTONE
◇	SMOOTH CUT LIMESTONE
◇	LIMESTONE WASHCOURSE
◇	ALUMINUM CLADDING
◇	PARGING



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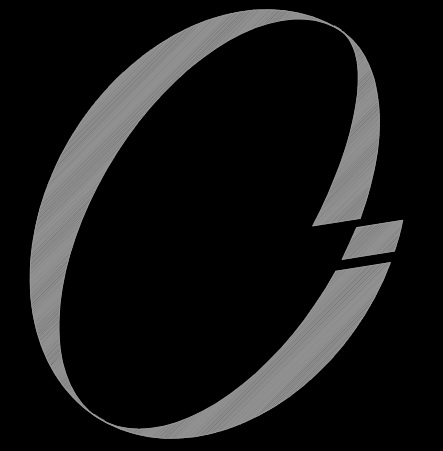
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SHEET TITLE:  
**FRONT (WEST)  
 ELEVATION**

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PROJECT NO.:	DRAWING NO.:

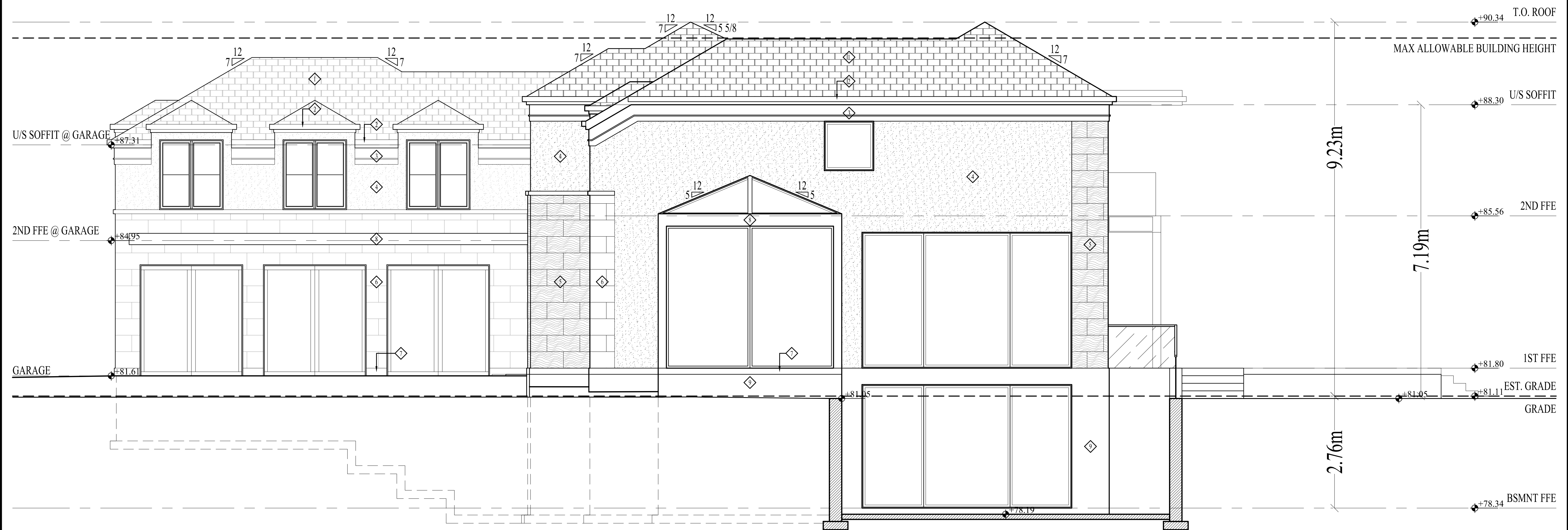
A5

MATERIAL SCHEDULE	
◇	ASPHALT SHINGLES
◇	ZINC GUTTER / FLASHING
◇	STUCCO MOULDING
◇	STUCCO
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◇	SMOOTH CUT LIMESTONE
◇	LIMESTONE WASHCOURSE
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◇	PARGING



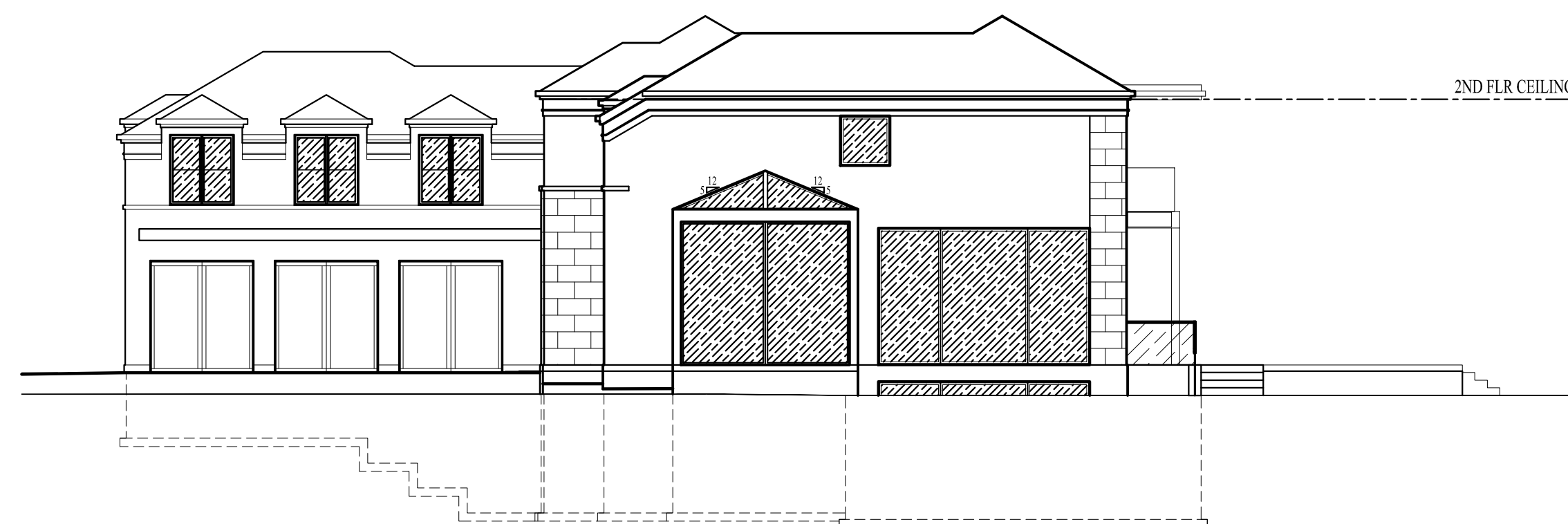
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9		
8		
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SOUTH ELEVATION - UNPROTECTED OPENING DIAGRAM



UNPROTECTED OPENING CALCULATIONS	
LIMITING DISTANCE	6.63 m (21.75 ft)
ALLOWABLE UNPROTECTED OPENING (6.63 m x 6.63 m)	43.95 m <sup>2</sup> (473.07 ft <sup>2</sup> )
PROPOSED GLAZING AREA	38.73 m <sup>2</sup> (416.90 ft <sup>2</sup> )

SHEET TITLE:

**RIGHT (SOUTH)  
ELEVATION**

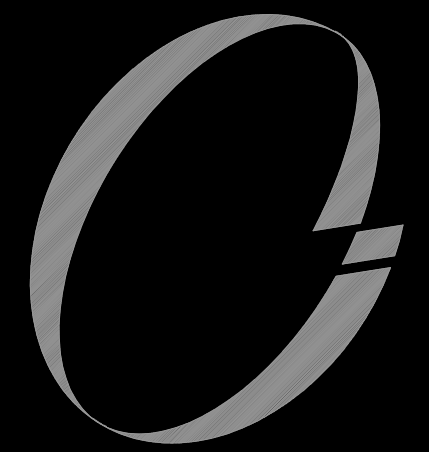
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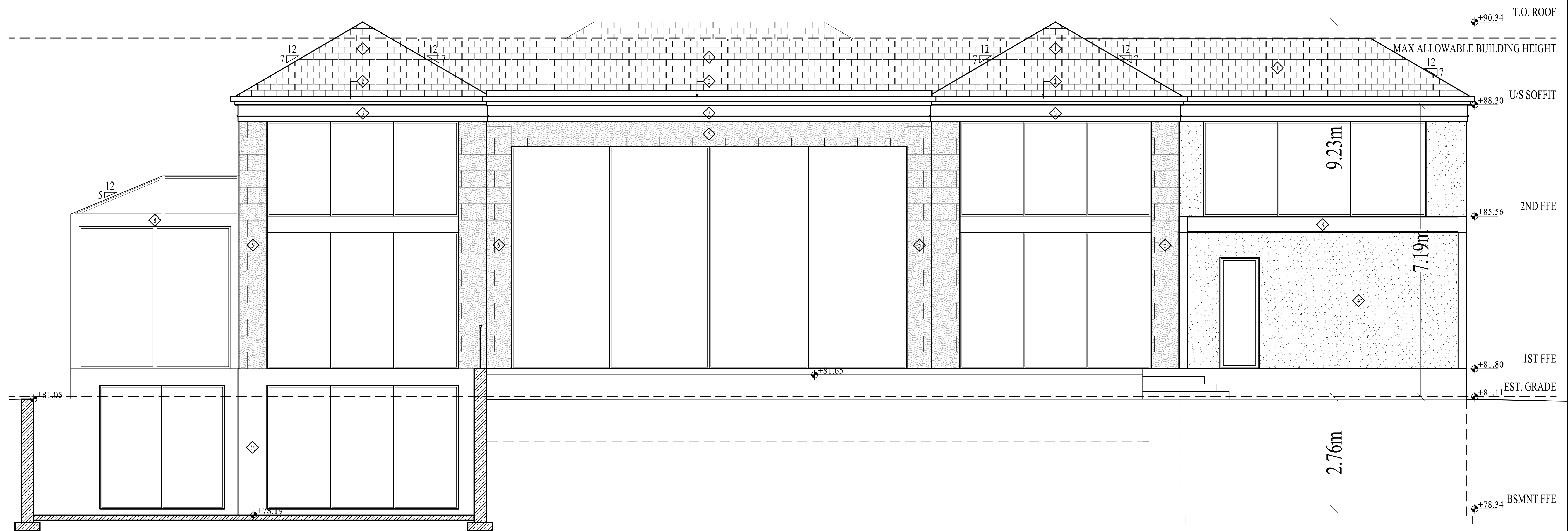
**A6**

MATERIAL SCHEDULE	
◇	ASPHALT SHINGLES
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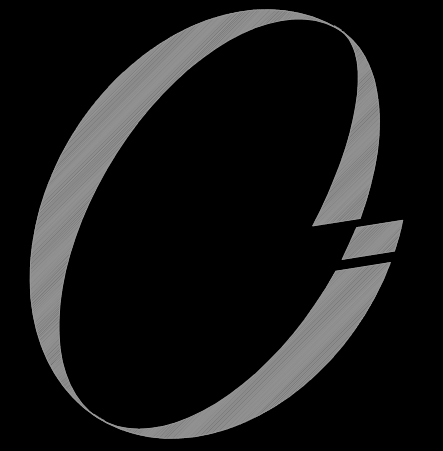
**REAR (EAST)  
 ELEVATION**

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**A7**

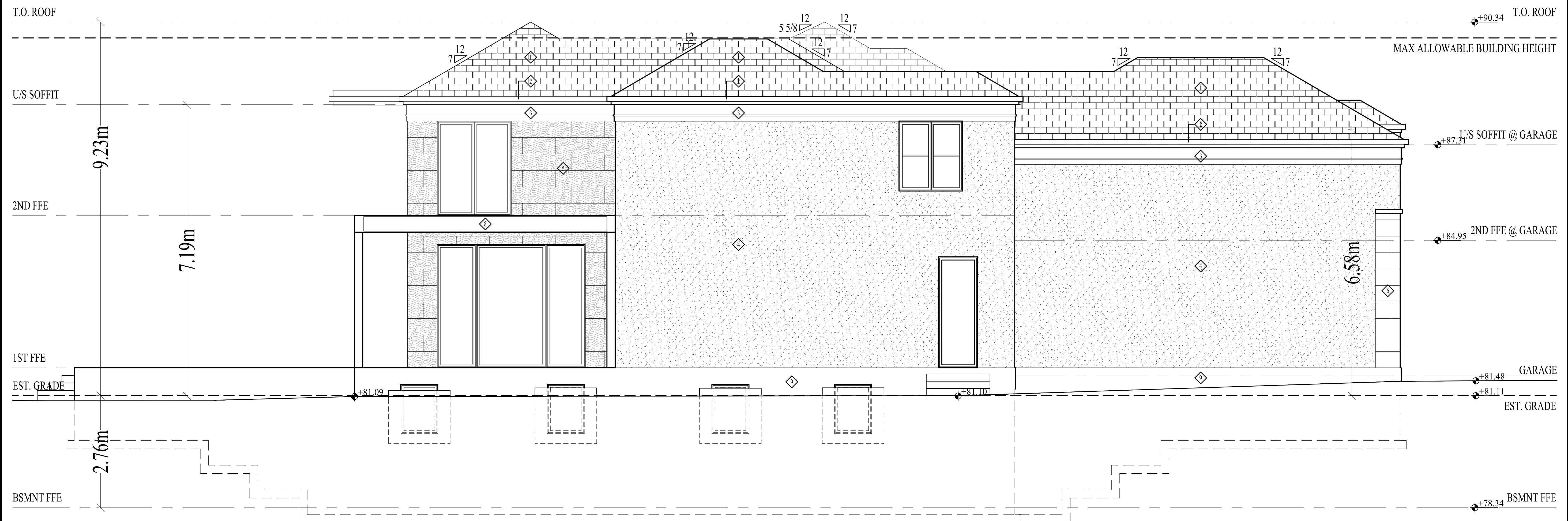


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SHEET TITLE:  
**LEFT (NORTH)  
ELEVATION**

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**A8**