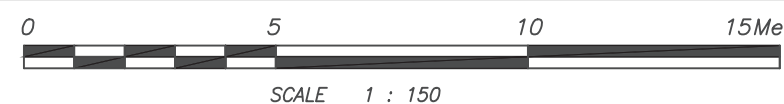


REFERENCE BEARING
Bearings are Astronomic and are Referred to the Southwesterly limit of Robinson Street being N 39° 05' 00" E as shown on Reg'd Plan 1.

METRIC
Distance shown on this plan are in metric and can be converted to feet by dividing by 0.3048.

BENCHMARK
Elevations are Geodetic and are Referred to the Town of Oakville Benchmark No. 85 having an Elevation of 88.537 m.
Topographic Survey completed on the 25th day of June, 2009.
Topographic Survey up-dated on October 21, 2010.
Updated Topographic Survey on June 6, 2013.



Name of Practice:
Enter address and contact information here.

Name of Project: MULTI FAMILY RESIDENTIAL TOWNHOUSE

Location: 78-80-82 TRAFALGAR ROAD, OAKVILLE, ONTARIO

Professional Engineer:
J. P. MARSH
90271099
AUG 03 2022
PROVINCE OF ONTARIO

Item	Ontario Building Code Data Matrix Parts 3 or 9		Building Code Reference	
	Part 3	Part 9	Part 3	Part 9
1 Project Description:	<input checked="" type="checkbox"/> New <input type="checkbox"/> Change of Use	<input type="checkbox"/> Part 11 <input type="checkbox"/> Part 11.4	<input type="checkbox"/> Part 3 1.1.2. [A]	<input checked="" type="checkbox"/> Part 9 1.1.2. [A] & 9.10.1.3
2 Major Occupancy(s)	RESIDENTIAL		3.1.2.1.(1)	9.10.2
3 Building Area (m ²)	Existing New 711.35 Total 711.35		1.4.1.2. [A]	1.4.1.2. [A]
4 Gross Area	Existing New 764.96 Total 764.96		1.4.1.2. [A]	1.4.1.2. [A]
5 Number of Storeys	Above grade 3 Below grade 3		1.4.1.2. [A] & 3.2.1.1.	1.4.1.2. [A] & 9.10.4
6 Number of Streets/Fire Fighter Access	3		3.2.2.10. & 3.2.5.	9.10.20
7 Building Classification	GROUP - C		3.2.2.20 - 83	9.10.2
8 Sprinkler System Proposed	<input type="checkbox"/> entire building <input type="checkbox"/> selected compartments <input type="checkbox"/> selected floor areas <input type="checkbox"/> basement <input type="checkbox"/> in lieu of roof rating <input checked="" type="checkbox"/> not required		3.2.2.20 - 83 3.2.1.5. 3.2.2.17. INDEX	9.10.8.2 9.10.8.2 INDEX
9 Standpipe required	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		3.2.9.	N/A
10 Fire Alarm required	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		3.2.4.	9.10.18.
11 Water Service/Supply is Adequate	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No		3.2.5.7.	N/A
12 High Building	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		3.2.6.	N/A
13 Construction Restrictions	<input checked="" type="checkbox"/> Combustible permitted <input checked="" type="checkbox"/> Non-combustible permitted <input type="checkbox"/> Non-combustible required <input type="checkbox"/> Both required		3.2.2.20 - 83	9.10.6
14 Mezzanine(s) Area m ²	<input type="checkbox"/> m ² /person <input type="checkbox"/> design of building		3.2.1.1.(3)-(8)	9.10.4.1.
15 Occupant load based on	Occupancy _____ Load _____ persons 1 st Floor _____ Load _____ persons 2 nd Floor _____ Load _____ persons 3 rd Floor _____ Load _____ persons (Additional floor areas contained on last page)		3.1.1.7.	9.9.1.3.
16 Barrier-free Design	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No (Explain) family residential		3.8.	9.5.2.
17 Hazardous Substances	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		3.3.1.2. & 3.3.1.19.	9.10.1.3.(4)

Required Fire Resistance Rating (FRR)	Horizontal Assemblies		Listed Design No. or Description (SG-2)	3.2.2.20 - 83 & 3.2.1.4.	9.10.8. 9.10.9.
	Floors	Hours			
Roof	3/4	Hours			
Mezzanine	Hours				
FRR of Supporting Members			Listed Design No. Or Description (SG-2)		
Floors	3/4	Hours			
Roof	3/4	Hours			
Mezzanine	Hours				

Male/Female Count @ 50% / 50% except as noted otherwise	Occupant Load		BC Table Number	Fixtures Required	Fixtures Provided
	Occupancy	N/A			
Basement	Occupancy	N/A			
1 st Floor	Occupancy	N/A			
2 nd Floor	Occupancy	N/A			
3 rd Floor	Occupancy	N/A			

Other (describe)	Occupant Load		BC Table Number	Fixtures Required	Fixtures Provided
	Occupancy	N/A			
15 (Occupant Load - Continued)	Occupancy	N/A			
Floor	Occupancy	Load	persons		
Floor	Occupancy	Load	persons		
Floor	Occupancy	Load	persons		
Floor	Occupancy	Load	persons		
Floor	Occupancy	Load	persons		
Floor	Occupancy	Load	persons		
Floor	Occupancy	Load	persons		
Floor	Occupancy	Load	persons		
Floor	Occupancy	Load	persons		

SITE STATISTICS - ZONE R-8

- LOT AREA = 232.0 m²/UNIT (624.57 m² TOTAL)
- LOT FRONTAGE = 31.86m (30.50m Minimum).
- AREAS FOR COVERAGE = 247.3 m².
(A) EX. MAIN DWELLING = 247.3 m²;
- LOT COVERAGE = 40% (30.0% Maximum).
- ESTABLISHED GRADE = 85.95m.
- BUILDING HEIGHTS:
- ROOF RIDGE = 12.97m (10.5m Maximum);
- SETBACKS:
- FRONT = 1.35m (7.50m Minimum);
- FLANKAGE = 2.72m (3.50m Minimum);
- REAR = 5.50m (7.50m Minimum);
- SIDES: 7.50m (3.50m Minimum);
- FLOOR AREA = 641.1m².
- FA/LOT RATIO = 102.6% (37% Maximum)

SITE STATISTICS - ZONE RM1

- LOT AREA = 135.0 m²/UNIT (624.57 m² TOTAL)
- LOT FRONTAGE = 31.86m (30.50m Minimum).
- AREAS FOR COVERAGE = 247.3 m².
(A) EX. MAIN DWELLING = 247.3 m²;
- LOT COVERAGE = 40% (40.0% Maximum).
- ESTABLISHED GRADE = 85.95m.
- BUILDING HEIGHTS:
- ROOF RIDGE = 12.97m (12.0m Maximum);
- SETBACKS:
- FRONT = 1.35m (4.50m Minimum);
- FLANKAGE = 2.72m (3.00m Minimum);
- REAR = 5.50m (6.00m Minimum);
- SIDES: 7.50m (1.20m Minimum);
- FLOOR AREA = 711.35m².
- FA/LOT RATIO = 114.8% (42% Maximum)

NOTE: FOR TOWN OF OAKVILLE THE MUNICIPAL BOULEVARD WILL BE RESTORED TO THE SATISFACTION OF TOWN OF OAKVILLE ENGINEERING & TRANSPORTATION

TREE PROTECTION PLAN
Hoarding denotes high visibility snow fence installed as per Town Standard.

X Denotes tree to be removed

Removals
3 Globe Maples 24 cm DBH
1 Norway Maple 20 cm. DBH
1 Silver Maple 70.38 cm DBH

Pruning
1 Norway Maple 33 cm DBH
1 Locust 28.34 cm DBH
1 Norway Maple 35.03 cm DBH

Protect
1 Red Oak 100cm DBH

NOTE: OAKVILLE HYDRO ANY RESULTING CONFLICTS WITH EXISTING HYDRO FACILITIES DUE TO CONSTRUCTION ARE TO BE REFLECTED AT THE OWNERS EXPENSE

NOTE: FOR TREE #9 NO CURB TO BE INSTALLED & ALL EXCAVATION IN THIS AREA SHALL BE AIR-SPADE OR SIMILAR UNDER DIRECTION OF THE OF THE PROJECT ARBORIST

NOTE: FOR TREE #4 & 6 EXCAVATION WITHIN THE TPZ SHALL BE COMPLETED USING AIR-SPADE/DRY-VAC TECHNOLOGY, UNDER SUPERVISION OF THE PROJECT ARBORIST

NOTE: THIS DRAWING TO BE READ IN CONJUNCTION WITH TRAFALGAR ENGINEERING LTD. SERVICING & GRADING PLAN

EXTERIOR LIGHTING SCHEDULE

	POT LIGHT (GARAGE)
	WALL MOUNTED LANTERN
	CANISTER WALL MOUNTED LIGHT UP & DOWN
	CEILING MOUNTED LANTERN
	LANDSCAPE ADJUSTABLE FLOOD LIGHT (UP TO THE BUILDING)
	LANDSCAPE BALLARD 360
	LANTERN ON METAL POST
	WALL MOUNTED CANISTER (DOWN)

EXTERIOR LIGHTING NOTE:
"ALL LIGHTING DEVICES SHALL BE FULL CUT OFF AND NIGHT SKY FRIENDLY, AND SHALL BE MITIGATED AT THE SOURCE SO THAT NO LIGHT (0.0 fc) WILL BE DIRECTLY PROJECTED ONTO ADJACENT PROPERTIES"

General Notes

THE ARCHITECT / DESIGNER IS NOT RESPONSIBLE FOR THE ACCURACY OF SURVEY, STRUCTURAL, MECHANICAL, ELECTRICAL OR ANY ENGINEERING INFORMATION SHOWN ON THE DRAWING. REFER TO THE APPROPRIATE ENGINEERING DRAWINGS TO THE ARCHITECT BEFORE PROCEEDING WITH THE WORK. REPORT ANY DISCREPANCIES BETWEEN ARCHITECTURAL AND ENGINEERING DRAWINGS TO THE ARCHITECT BEFORE PROCEEDING WITH THE WORK. GENERAL CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND REPORT ALL ERRORS AND OMISSIONS TO THE ARCHITECT. CONSTRUCTION MUST CONFORM TO ALL APPLICABLE CODES AND REQUIREMENTS OF AUTHORITIES HAVING JURISDICTION.

THIS DRAWING IS NOT TO BE SCALED.

SITE ACCREDITATION:
PLAN OF TOPOGRAPHY OF PART OF LOT C, BLOCK 16 REGISTERED PLAN 1 TOWN OF OAKVILLE (REGIONAL MUNICIPALITY OF HALTON) INFORMATION TAKEN FROM A SURVEY PREPARED BY: J.H. GELBLOOM SURVEYING LTD. ONTARIO LAND SURVEYORS

METRIC
DISTANCES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048.

SITE LEGEND:

	PROPERTY LINE
	EXISTING GRADE
	FINISHED GRADE
	FINISHED FLOOR ELEVATION
	FINISHED BASEMENT ELEVATION
	TOP OF FOUNDATION WALL
	FINISHED PORCH ELEVATION
	MAIN ENTRANCE
	SECONDARY ENTRANCE
	EXISTING BUILDING
	OUTLINE OF EXISTING STRUCTURES
	TREE HOARDING
	EXISTING TREE TO REMAIN
	EXISTING TREE TO BE REMOVED

No.	Date	Revision/Issue
1	02.08.2022	ISSUED FOR SPA APPLICATION
12	09.03.15	AS PER CITY COMMENTS
11	05.03.15	REVISED DRIVEWAY WIDTH
10	10.02.15	REVISED DRIVEWAY WIDTH
9	28.05.14	REVISED
8	14.05.14	REVISED FOR SPA
7	05.03.14	REVISED FOR SPA
6	03.02.14	REVISED FOR SPA
5	10.01.14	REVISED FOR SPA
4	11.11.13	REVISED FOR SPA
3	24.09.13	REVISED FOR SPA
2	10.08.13	REVISED FOR SPA
1	25.06.13	ISSUED FOR SPA APPLICATION

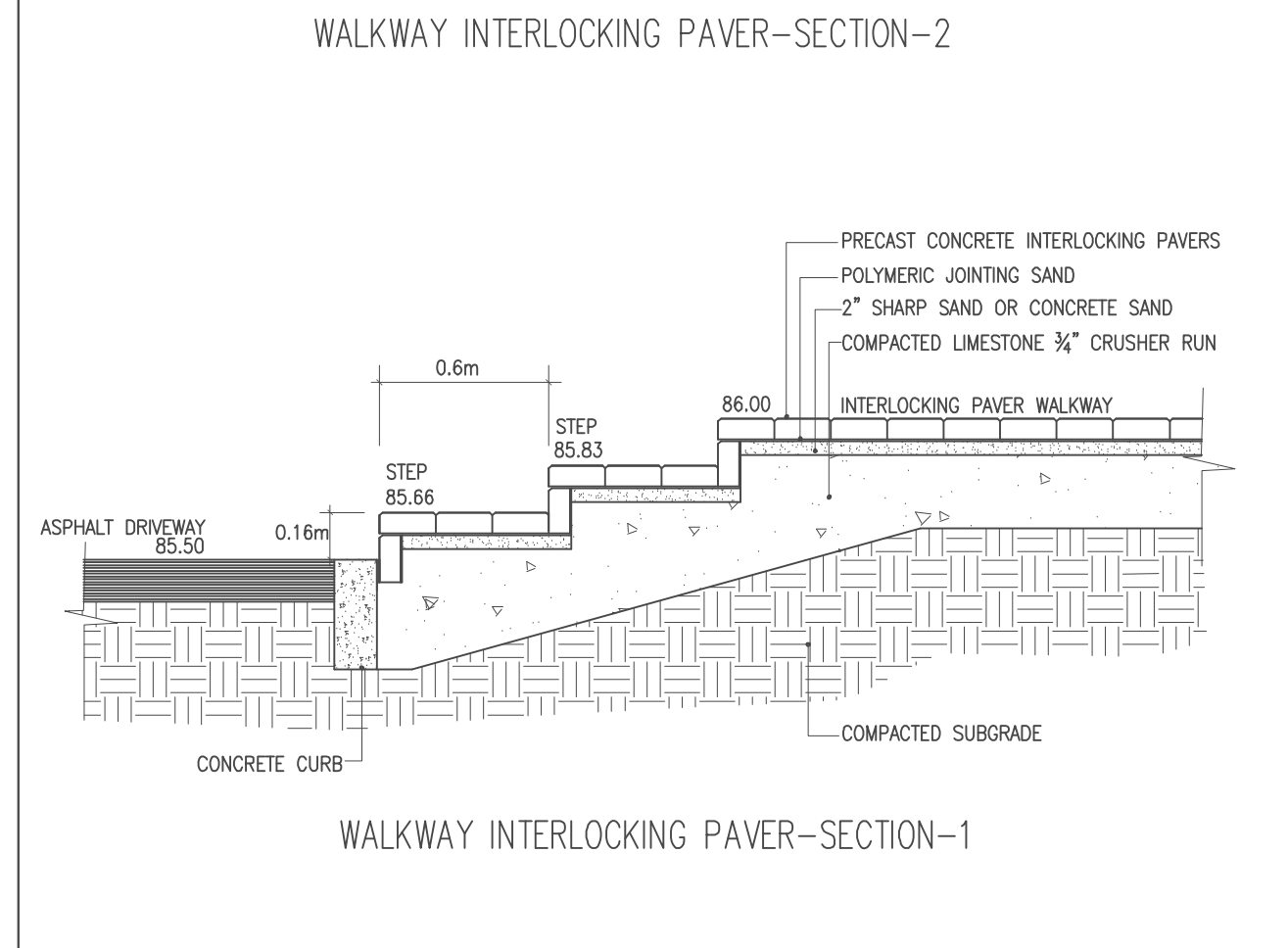
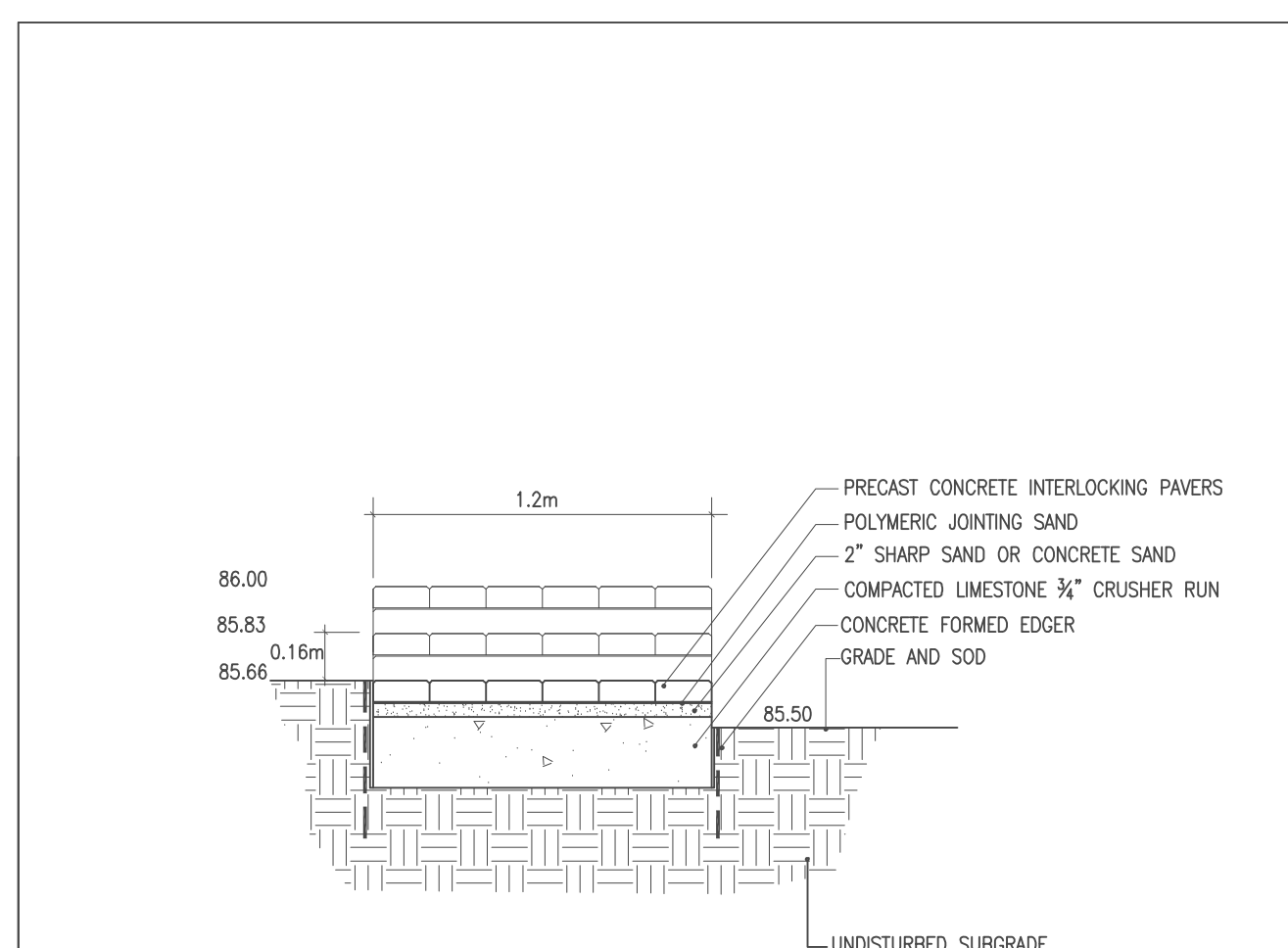
LEGEND

MPG	Mid Point Grade
F.F.	Finished Floor
GW	Guy Wire
UP	Utility Pole
DEC.	Deciduous
Ø	Diameter
TOC	Top of Curb
BOC	Bottom of Curb
BF	Board Fence
CB	Catch Basin
MH	Maintenance Hole
OHW	Over head Wire
WV	Water Valve
X _{92.13}	Elevations

Project Name and Address
78-80-82 TRAFALGAR RD. OAKVILLE, ON. (PROPOSED 78, 80 & 82 TRAFALGAR RD.)

DRAWING TITLE
SITE PLAN & TREE PROTECTION PLAN S.P.1713.040/02

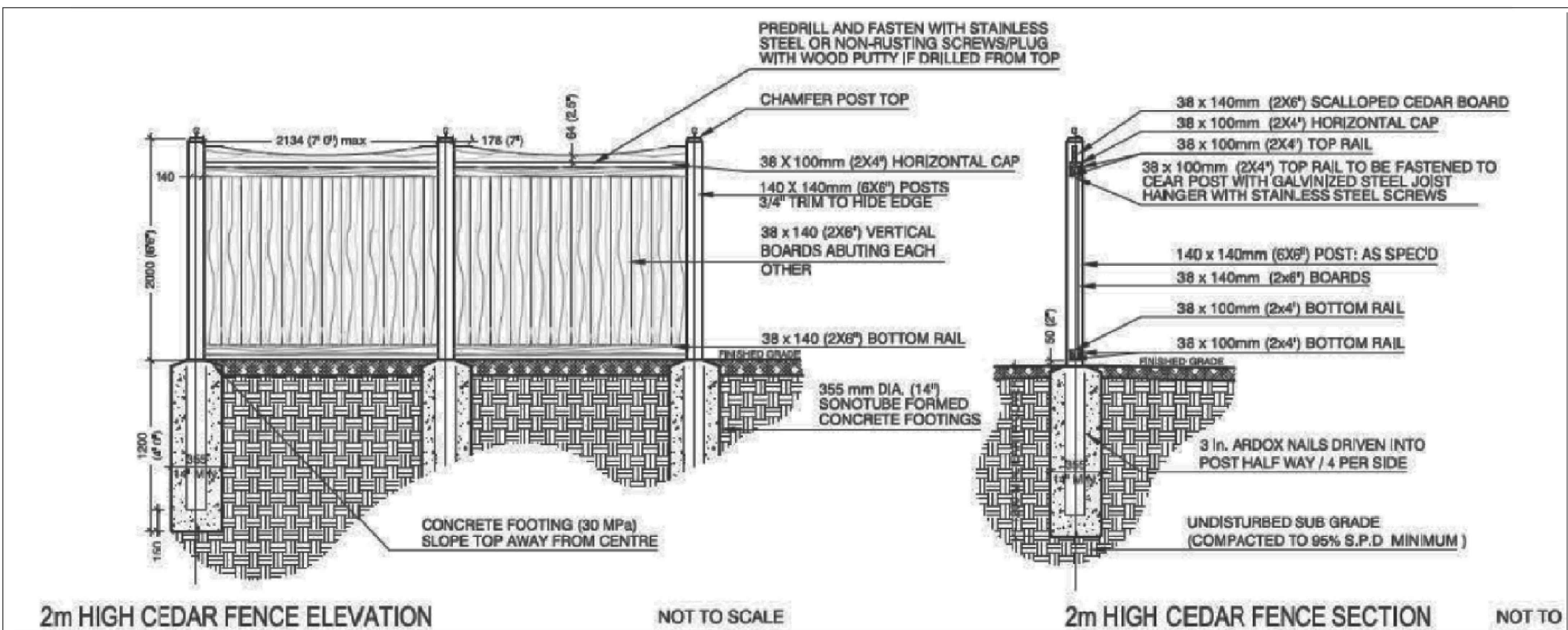
Project	Sheet
Drawn By: RR	SP-1
Date JULY 19, 2013	
Scale 1: 150	



PRINCEBAY LUXURY HOMES
78, 89 & 82 TRAFALGAR RD.

PAGE NUMBER: **RW-06**

SCALE: N.T.S.



2m HIGH CEDAR FENCE ELEVATION NOT TO SCALE

6'-6" CEDAR FENCE DETAILS (TYP.)

2m HIGH CEDAR FENCE SECTION NOT TO SCALE

2 M HIGH CEDAR FENCE DETAIL

PAGE NUMBER: **RW-05**

SCALE: N.T.S.

General Notes

THE ARCHITECT / DESIGNER IS NOT RESPONSIBLE FOR THE ACCURACY OF SURVEY, STRUCTURAL, MECHANICAL, ELECTRICAL OR ANY ENGINEERING INFORMATION SHOWN ON THE DRAWING. REFER TO THE APPROPRIATE ENGINEERING DRAWINGS BEFORE PROCEEDING WITH THE WORK. REPORT ANY DISCREPANCIES BETWEEN ARCHITECTURAL AND ENGINEERING DRAWINGS TO THE ARCHITECT BEFORE PROCEEDING WITH THE WORK. GENERAL CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND REPORT ALL ERRORS AND OMISSIONS TO THE ARCHITECT. CONSTRUCTION MUST CONFORM TO ALL APPLICABLE CODES AND REQUIREMENTS OF AUTHORITIES HAVING JURISDICTION.

THIS DRAWING IS NOT TO BE SCALED.

SITE ACCREDITATION:

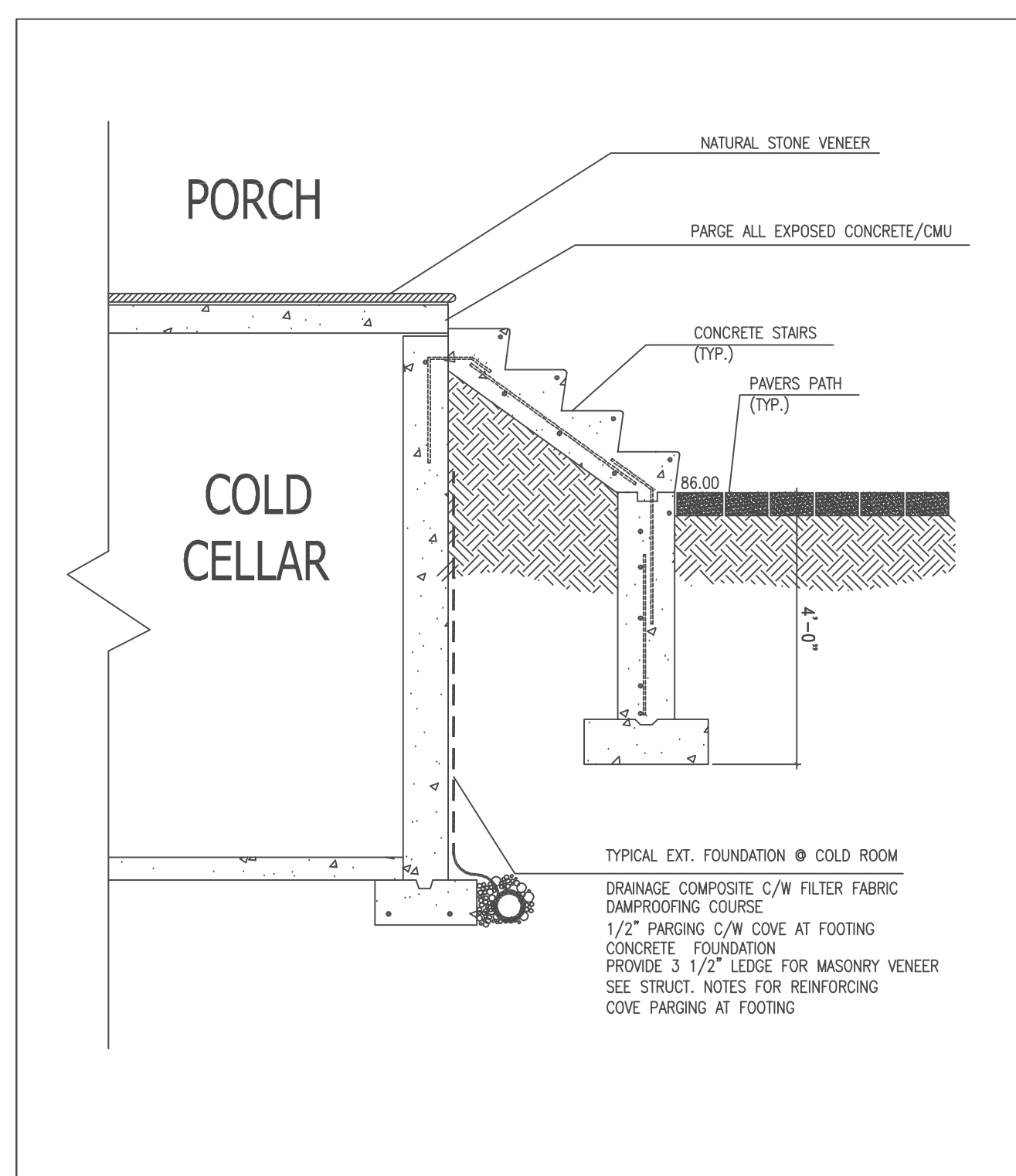
PLAN OF TOPOGRAPHY OF PART OF LOT C, BLOCK 16 REGISTERED PLAN 1 TOWN OF OAKVILLE (REGIONAL MUNICIPALITY OF HALTON) INFORMATION TAKEN FROM A SURVEY PREPARED BY: J.H. GELBLOOM SURVEYING LTD. ONTARIO LAND SURVEYORS

METRIC DISTANCES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048.

SITE LEGEND:

---	PROPERTY LINE
---	EXISTING GRADE
86.00	FINISHED GRADE
F.F.E.	FINISHED FLOOR ELEVATION
F.B.E.	FINISHED BASEMENT ELEVATION
T.F.W.	TOP OF FOUNDATION WALL
F.P.E.	FINISHED PORCH ELEVATION
▲	MAIN ENTRANCE
■	SECONDARY ENTRANCE
---	EXISTING BUILDING
---	OUTLINE OF EXISTING STRUCTURES
---	TREE HOARDING
○	EXISTING TREE TO REMAIN
⊗	EXISTING TREE TO BE REMOVED
11	WALKWAY DETAILS

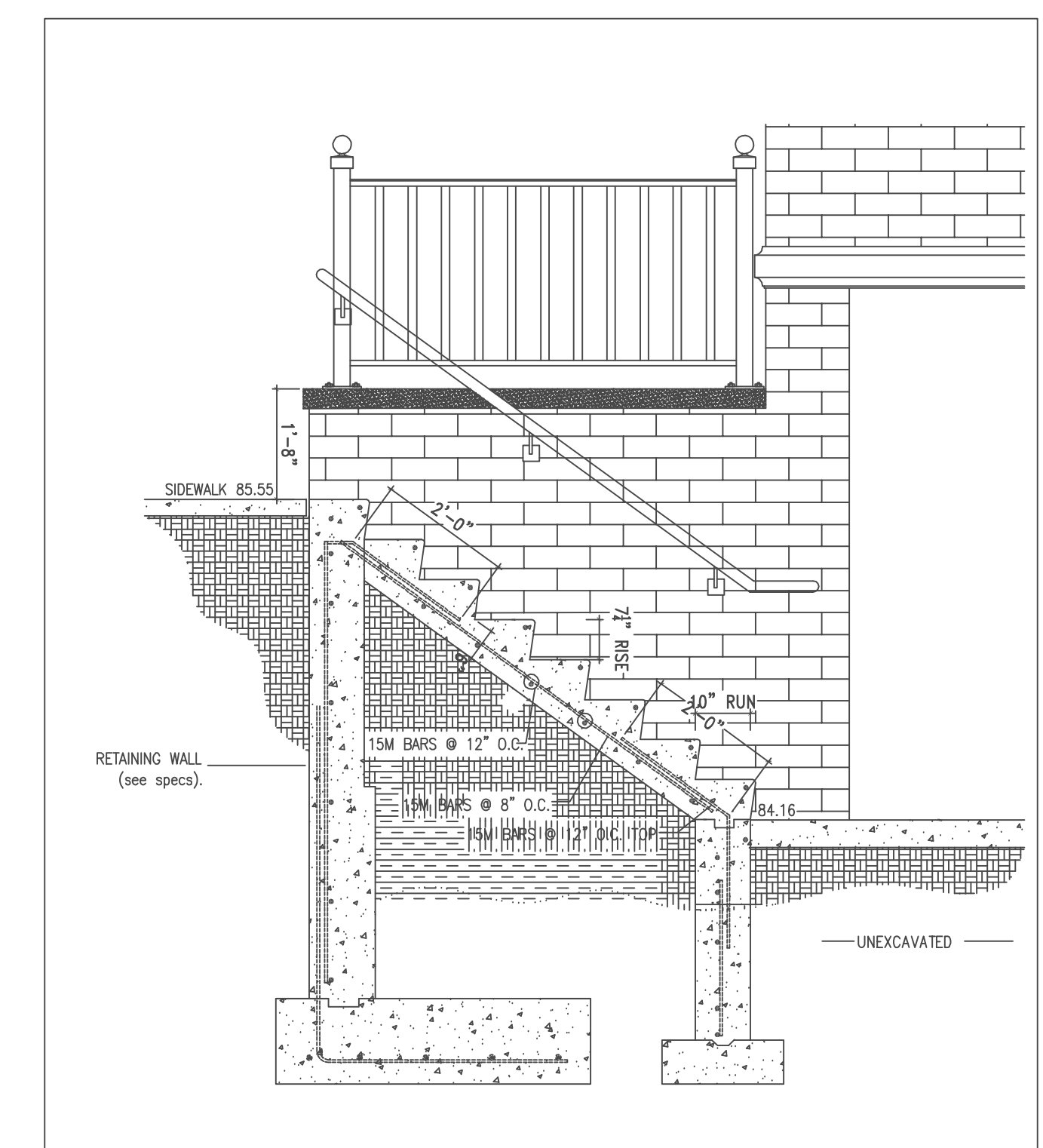
No.	Date	Revision/Issue
10	10.12.14	REVISED
9	28.05.14	REVISED
8	14.05.14	REVISED FOR SPA
7	05.03.14	REVISED FOR SPA
6	03.02.14	REVISED FOR SPA
5	10.01.14	REVISED FOR SPA
4	11.11.13	REVISED FOR SPA
3	24.09.13	REVISED FOR SPA
2	10.08.13	REVISED FOR SPA
1	25.06.13	ISSUED FOR SPA APPLICATION



PRINCEBAY LUXURY HOMES
78, 89 & 82 TRAFALGAR RD.

PAGE NUMBER: **RW-04**

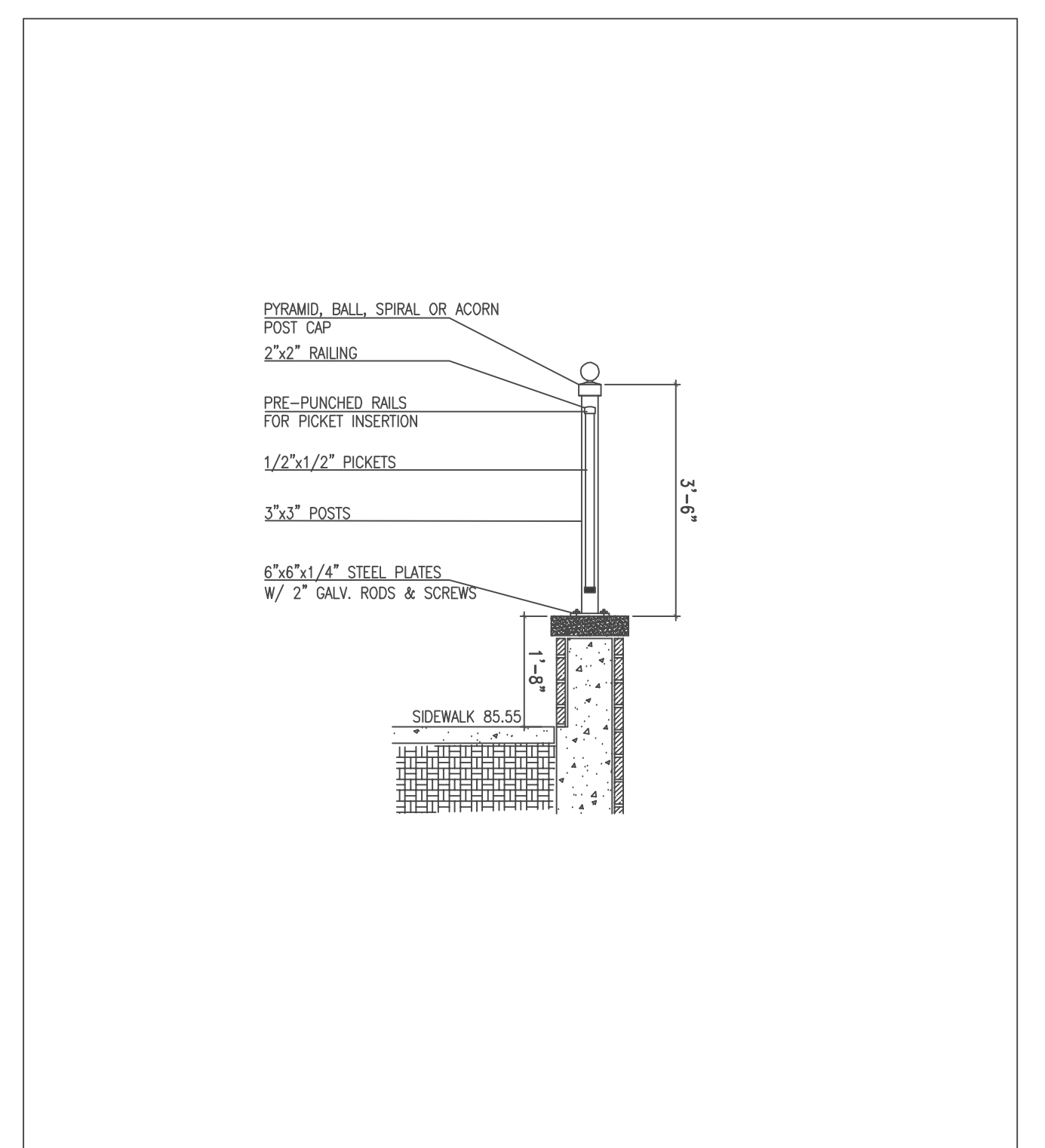
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PRINCEBAY LUXURY HOMES
78, 89 & 82 TRAFALGAR RD.

PAGE NUMBER: **RW-03**

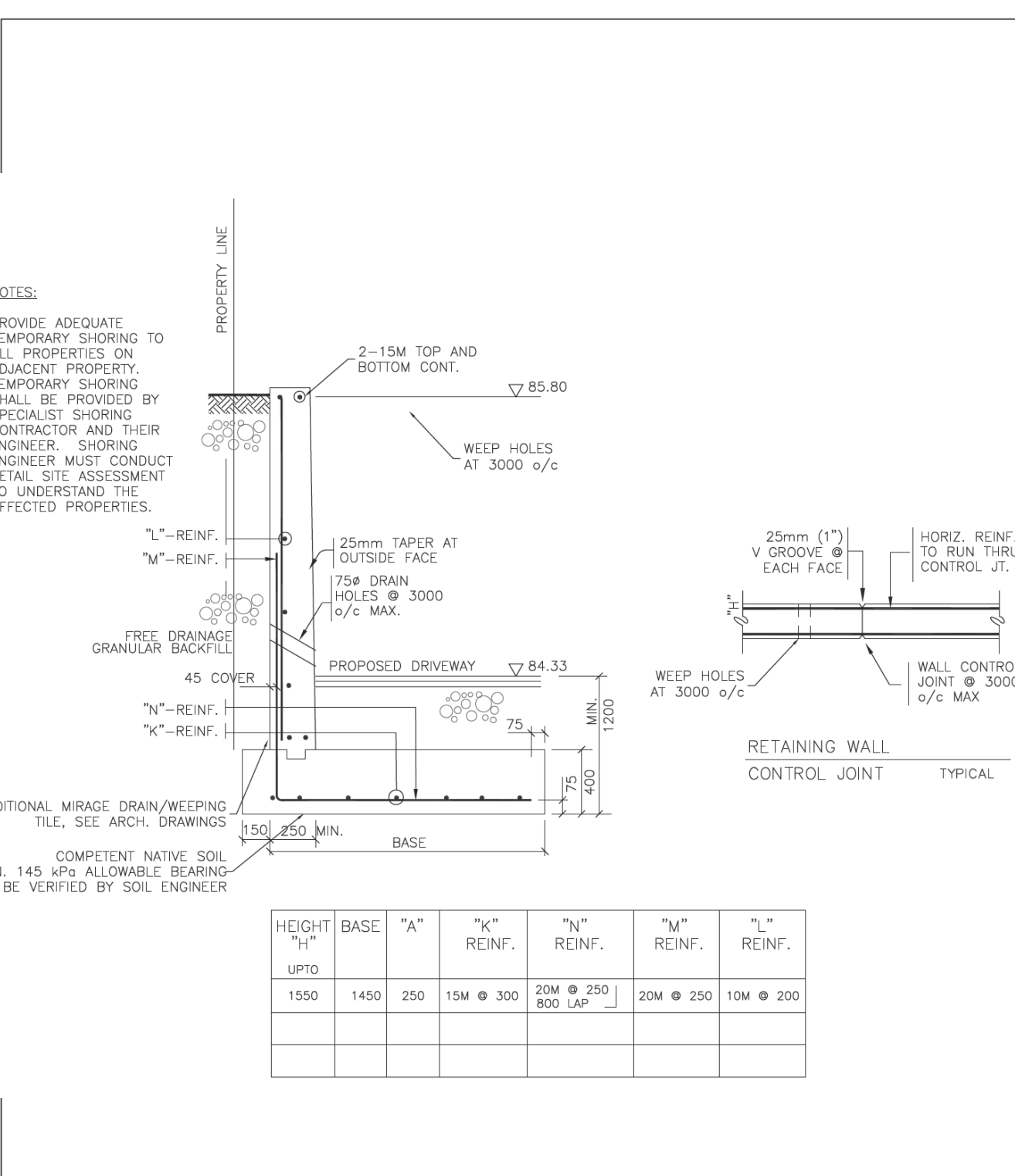
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PRINCEBAY LUXURY HOMES
78, 89 & 82 TRAFALGAR RD.

PAGE NUMBER: **RW-02**

SCALE: 1/2" = 1'-0"



PRINCEBAY LUXURY HOMES
78, 89 & 82 TRAFALGAR RD.

PAGE NUMBER: **RW-01**

SCALE: 1/2" = 1'-0"

Project Name and Address

TOWNHOUSE DEVELOPMENT

78-80-82 TRAFALGAR RD. OAKVILLE, ON. (PROPOSED 78, 80 & 82 TRAFALGAR RD.)

DRAWING TITLE

SITE PLAN DETAILS S.P.1713.040/02

Project	Sheet
Date	SP-2
Scale	1:150