

BDP. Quadrangle

Quadrangle Architects Limited
The Well, 8 Spadina Avenue, Suite 2100, Toronto, ON M5V 0S8
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217-227 Cross Avenue and 571-587 Argus Road

for
Distrikt Developments

Project No. 19072
Date 28 March 2024
Issued for ZBA & OPA Resubmission

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PLANNING CONSULTANT

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Oakville, ON L6K 3W6
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Janet Rosenberg & Studio Inc.
148 Kenwood Ave
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150 Pinebush Rd #5A
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STRUCTURAL CONSULTANT

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3 Concorde Gate, Unit 400
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MECHANICAL & ELECTRICAL CONSULTANT

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INTERIOR DESIGN CONSULTANT

Figure 3
200 University Avenue, Suite 200
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3 CONTEXT PLAN
A101.S

2 KEY PLAN
A101.S

217-227 Cross Ave and 571-587 Argus Rd Distrikt Developments			
Gross Lot Area:	12598	sf	135604
Area of Road Conveyances:	2686		28910
Area of Promenade Conveyances:	0		0
Net Lot Area:	9912		106694
POPS Area (not conveyed):	2846		30539

BUILDING A 37 STOREY	Proposed Residential											
	Floor	Floor Area/Typ. Floor (sm)	No. Typ. Floors	Gross Floor Area**		Residential GFA (sm)	Non-Res GFA (sm)		Indoor Amenity GFA (sm)	Outdoor Amenity (sm)	Residential Net Saleable Area - RNSA (sm)	No. of Units
				sm	sf		Retail (sm)	Office (sm)				
Tower A	MPH	0	1	0	0	0	0	0	0	0	0	0
	Level 9-37	850	29	24650	265333	24650	0	0	0	19343	348	
	Level 8	850	1	850	9149	850	0	0	0	627	12	
Podium A	Level 7	621	1	621	6689	372	0	0	224	241	5	
	Level 3-6	1543	4	6171	65430	6175	0	0	0	5091	88	
	Level 2	1279	1	1279	13765	0	0	0	867	462	0	
	Mezzanine	889	1	889	9570	0	0	0	0	0	0	
	Ground	1692	1	1692	18212	1105	460	0	0	0	0	
Building A Total				36153	389148	33152	460	0	1092	1181	453	100%

BUILDING B 49 STOREY	Proposed Residential											
	Floor	Floor Area/Typ. Floor (sm)	No. Typ. Floors	Gross Floor Area**		Residential GFA (sm)	Non-Res GFA (sm)		Indoor Amenity GFA (sm)	Outdoor Amenity (sm)	Residential Net Saleable Area - RNSA (sm)	No. of Units
				sm	sf		Retail (sm)	Office (sm)				
Tower B	MPH	0	1	0	0	0	0	0	0	0	0	
	Level 9-49	850	41	34850	375125	34850	0	0	0	27709	530	
	Level 8	850	1	850	9149	850	0	0	0	679	13	
Podium B	Level 7	850	1	850	9149	850	0	0	0	679	13	
	Level 3-6	1239	4	4958	53364	4958	0	0	0	4169	68	
	Level 2	1298	1	1298	13972	0	0	0	881	190	0	
	Mezzanine	882	1	882	9492	0	0	0	0	0	0	
	Ground	1137	1	1137	12240	907	230	0	107	0	0	
Building B Total				44825	482493	42415	230	0	881	297	624	100%

BUILDING C 65 STOREY	Proposed Residential											
	Floor	Floor Area/Typ. Floor (sm)	No. Typ. Floors	Gross Floor Area**		Residential GFA (sm)	Non-Res GFA (sm)		Indoor Amenity GFA (sm)	Outdoor Amenity (sm)	Residential Net Saleable Area - RNSA (sm)	No. of Units
				sm	sf		Retail (sm)	Office (sm)				
Tower C	MPH	0	1	0	0	0	0	0	0	0	0	
	Level 33-65	850	35	29750	320229	29750	0	0	0	23252	455	
	Level 32	850	1	850	9149	850	0	0	0	625	10	
	Level 9-31	850	21	17850	192137	17850	0	0	0	13951	273	
	Level 8	972	1	972	10457	657	0	0	314	255	7	
Podium C	Level 7	1164	1	1164	12525	0	0	0	847	951	0	
	Level 3-6	2058	4	8233	88624	8233	0	0	0	6753	116	
	Level 2	2694	1	2694	29002	0	0	0	2694	0	0	
	Mezzanine	1596	1	1596	17175	0	0	0	612	0	0	
	Ground	2652	1	2652	28547	1777	875	0	111	32	0	
Building C Total				65761	707846	59118	875	2694	1885	1239	4967	861

Total Floor Area, Gross**	146,738 sm	± 1,579,487 sf
Total Residential Net Saleable Area:	103,503 sm	± 1,114,109 sf
FSI:	11.65	
Total No. of Units	1938	

Parking			
	Min. Rate	Min. No.	Provided
Resident	0.5	920	920
Visitor	0.15	276	291
Retail	1.08	17	17
Office	1.08	29	29
TOTAL		1242	1257

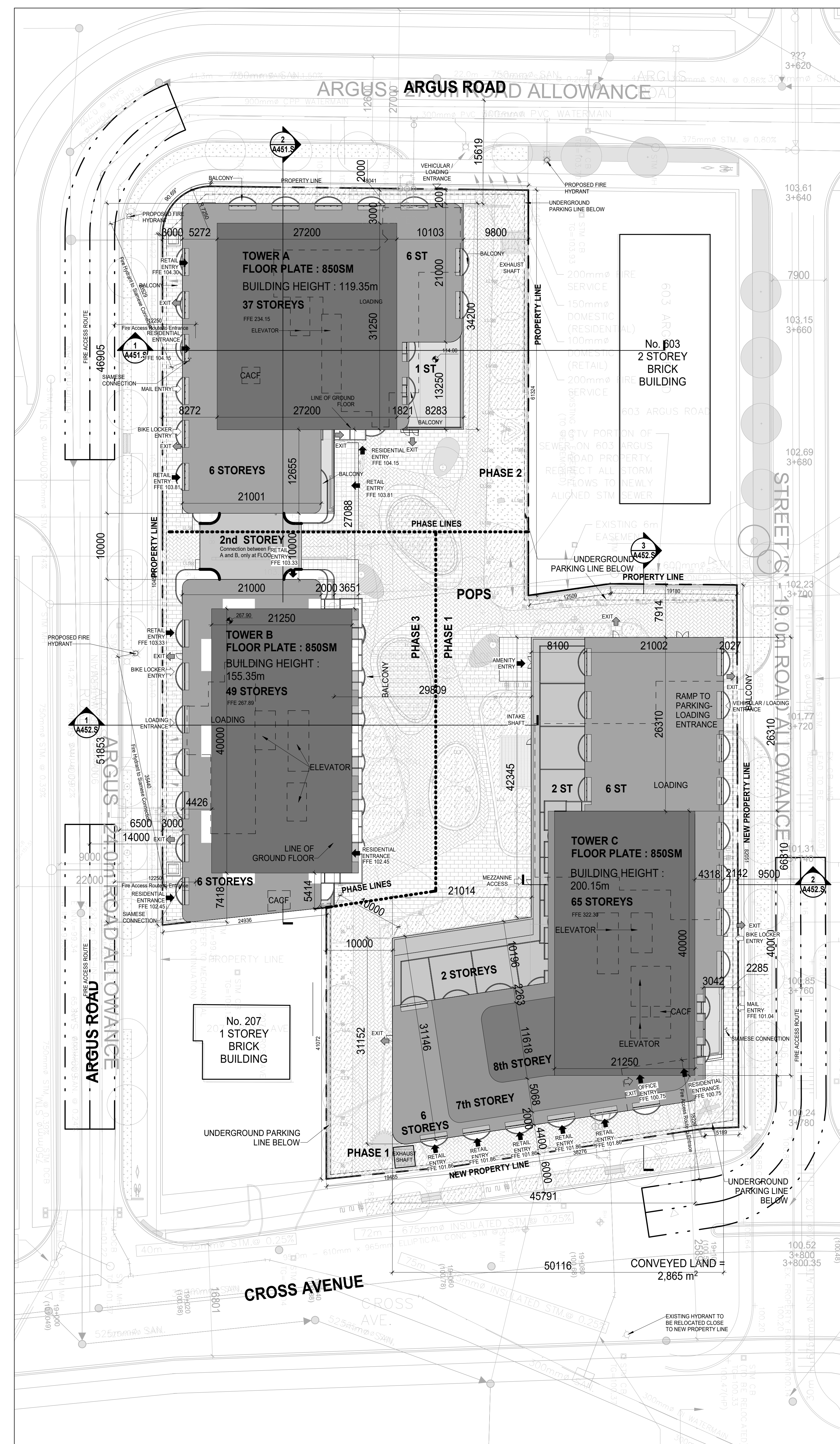
Bicycle Parking			
	Min. Rate	Min. No.	Provided
Long Term	0.75	1454	1454
Short Term	0.25	485	485
Retail	1	2	2
Office	1	3	3
TOTAL		1942	1944

Residential Amenity			
	Provided	Rate	
Indoor	3857	1.99	
Outdoor	2717	1.40	
TOTAL	6574		

Approx. Unit Mix			
	1B	2B	3B
Studios	98	1,164	542
	5%	60%	28%

Definitions of Gross Floor Area, Net Floor Area and FSI are taken from Oakville By Law 2014-014, 2015-018 and 2023-065
 * FSI - Floor Space Index By-Law 2014-014: means the net floor area of all buildings on a lot divided by the lot area.
 Amended by 2023-065 to read: means the gross floor area of all buildings on a lot divided by the lot area.
 ** Gross Floor Area Definition By-Law 2023-065: means the total area of all of the floors in a building measured from the exterior faces of the exterior walls, but shall not include an attic, basement or mechanical penthouse.

STATISTICS



1 SITE PLAN
A101.S
SCALE: 1:300

SITE PLAN LEGEND

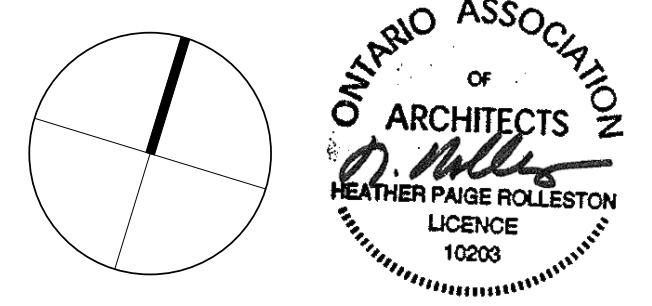
- PROPERTY LINE
- LINE OF UNDER GROUND GARAGE BELOW
- MAIN BUILDING ENTRANCE
- RETAIL ENTRANCE
- EXIT
- VEHICLE / LOADING ENTRANCE / EXIT
- FIRE HYDRANT
- SIAMMSE CONNECTION
- MANHOLE COVER
- AREA DRAIN
- CATCH BASIN
- FLOOR DRAIN (PARKING SLAB)
- FLOOR DRAIN (INTERIOR)
- EXISTING LIGHT
- TYPICAL PARKING SPACE
- TYPICAL B.F. PARKING SPACE
- F.F.E.
- EXISTING ELEVATION
- PROPOSED ELEVATION
- TOP OF FLOOR
- BUILDING ENVELOPE
- FIRE ACCESS ROUTE HEAVY DUTY PAVING ASSEMBLY TO BE DESIGNED TO MEET THE LOADS IMPOSED BY FIRE FIGHTING EQUIPMENT.
- GREEN ROOF
- TERRACE PAVERS

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2022-04-19	1	Issued for Rezoning

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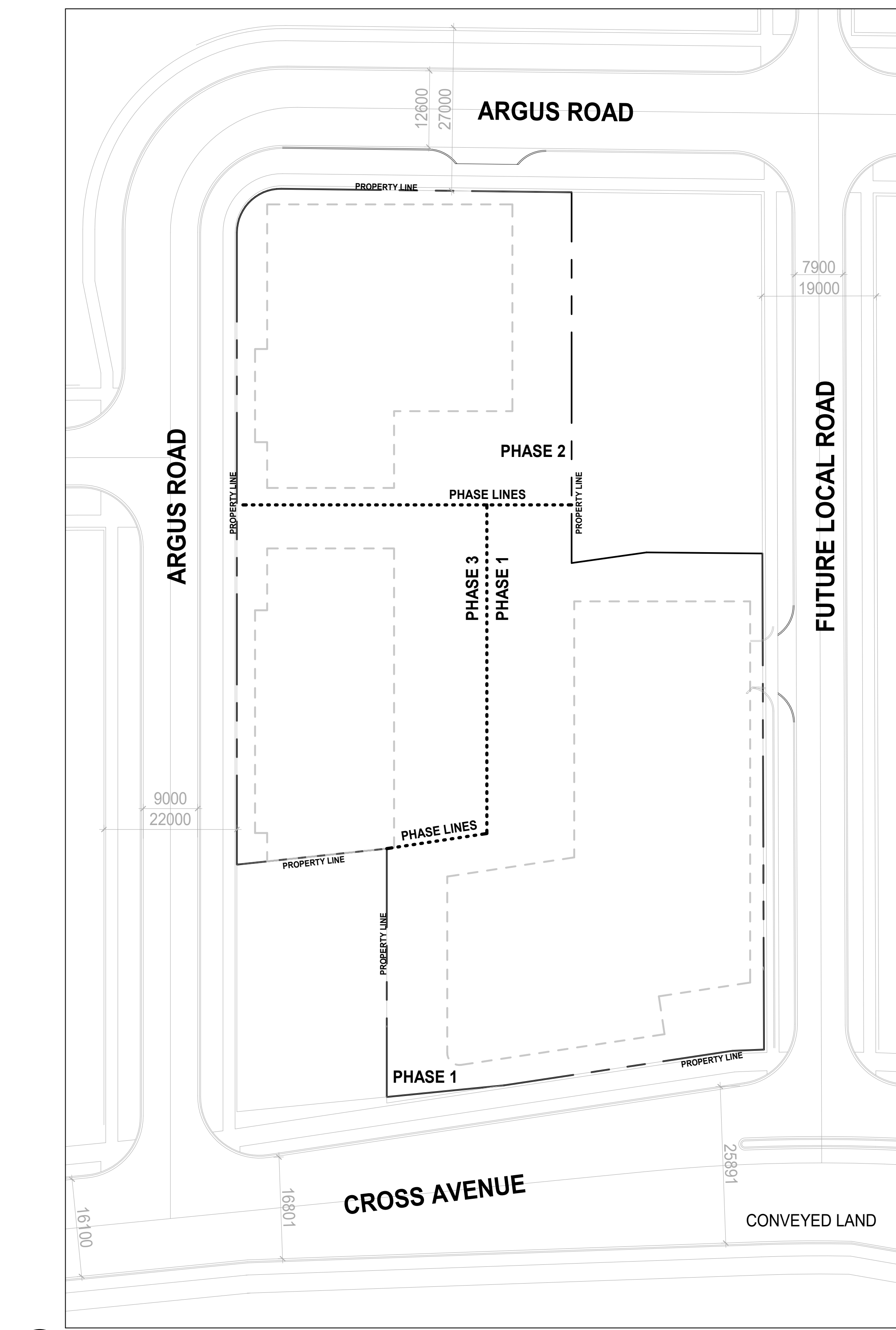
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19072 1:300 UI KVE
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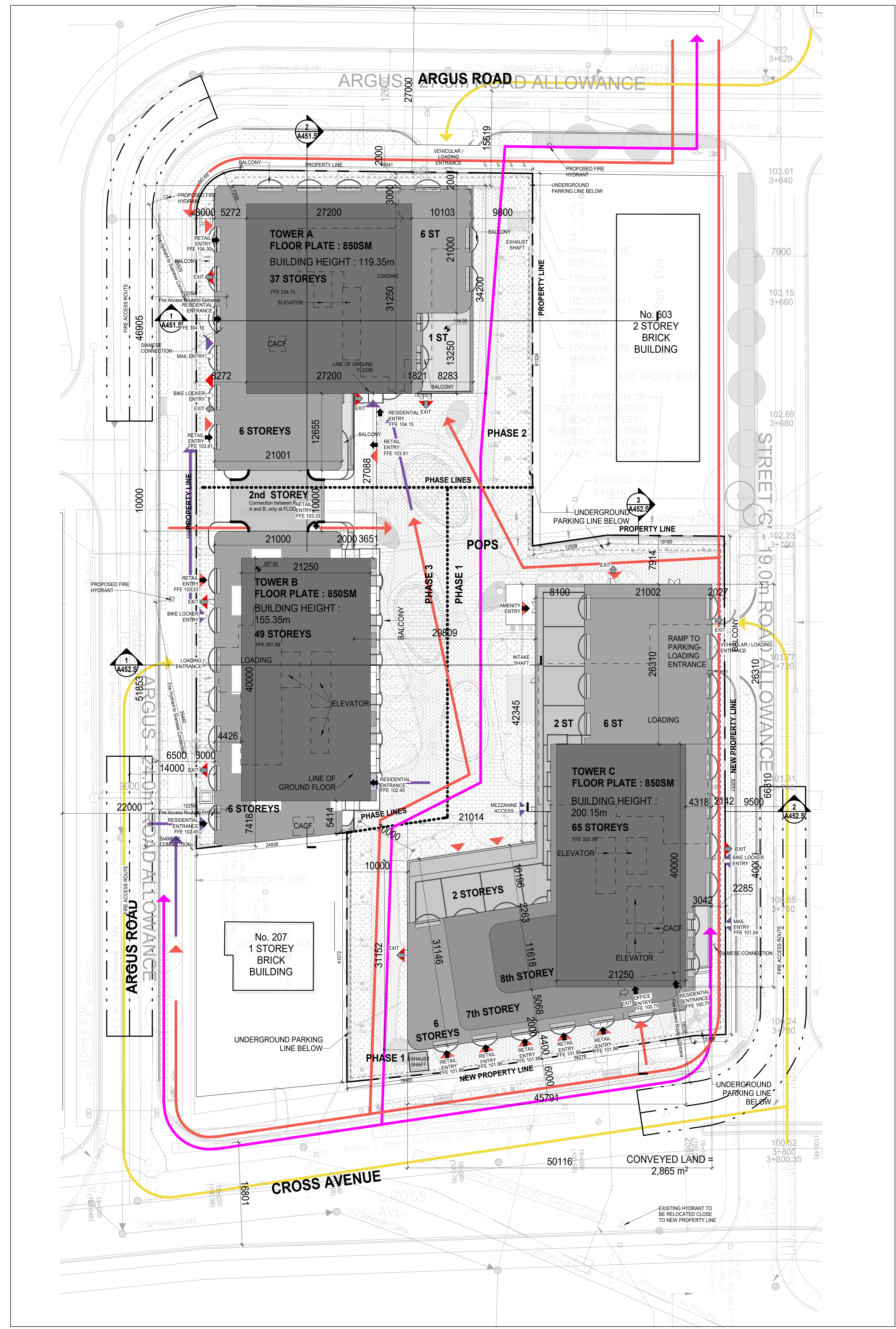
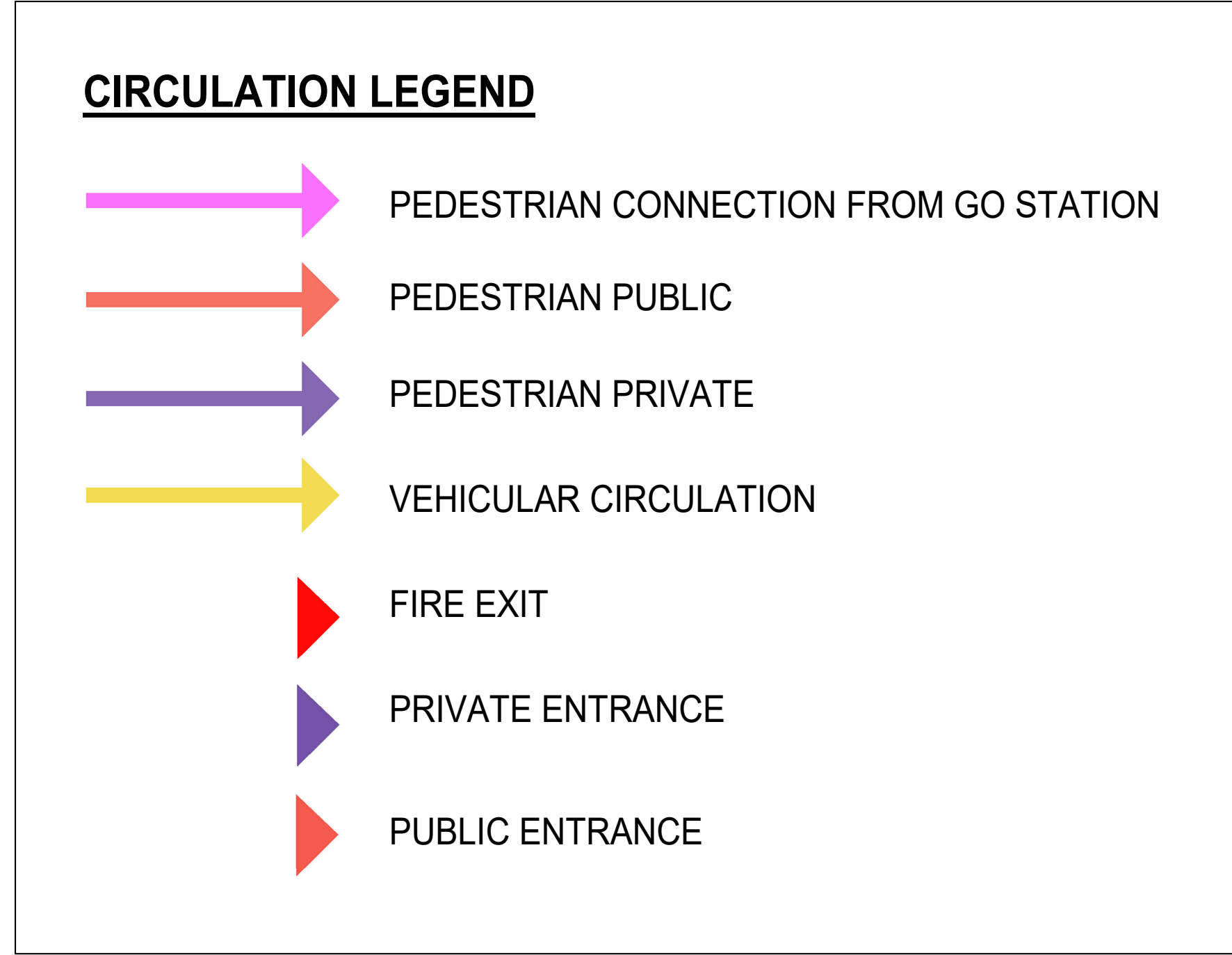
Site Plan and Statistics

A101.S

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3
A102.S
PHASING PLAN



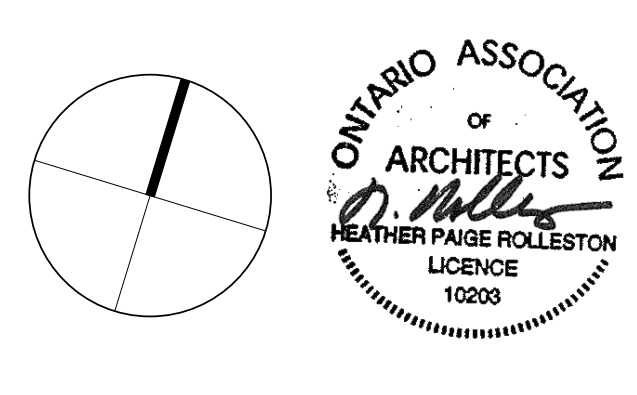
1
A102.S
SITE PLAN

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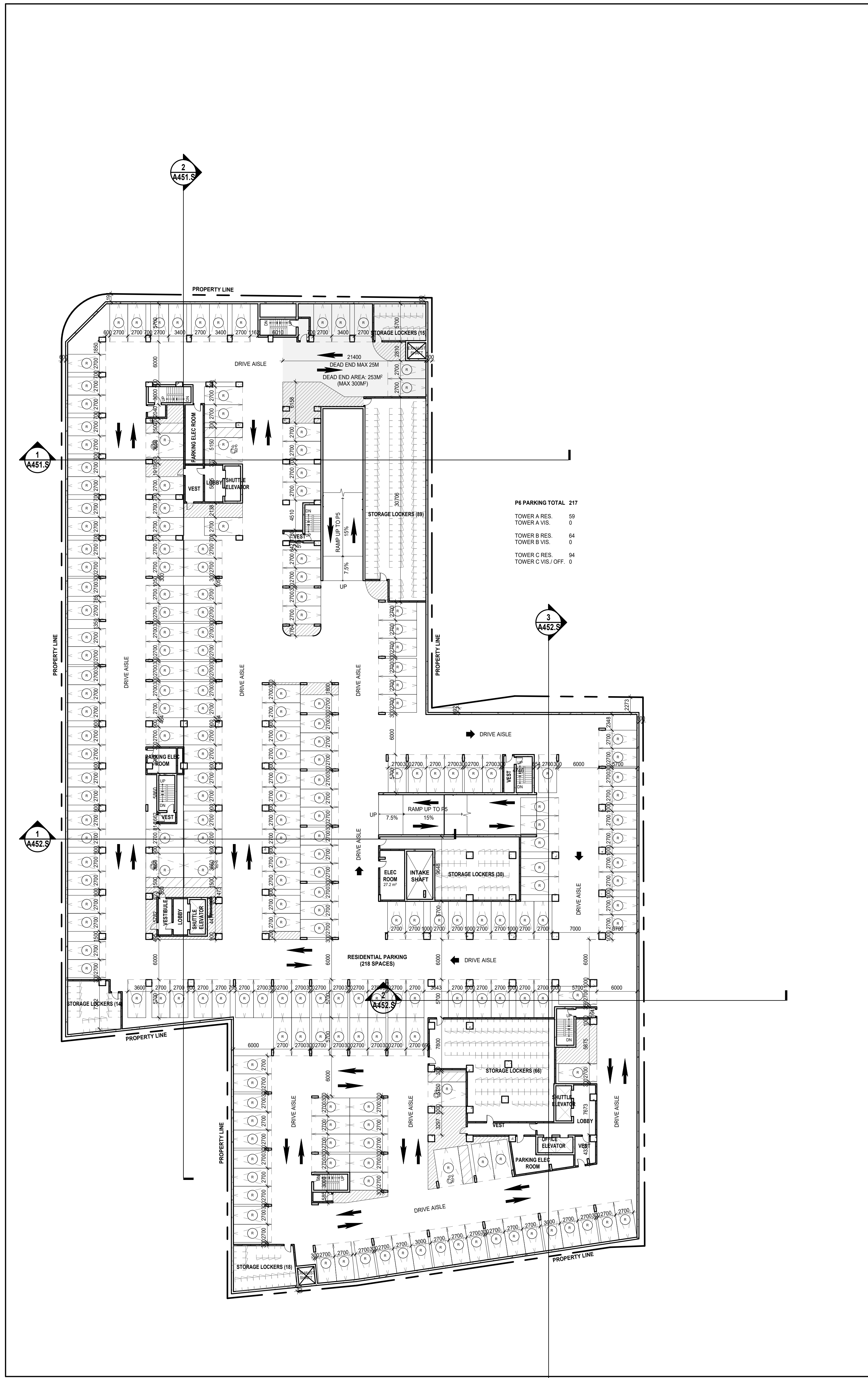
for
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19072 As indicated UI KVE
PROJECT SCALE DRAWN REVIEWED

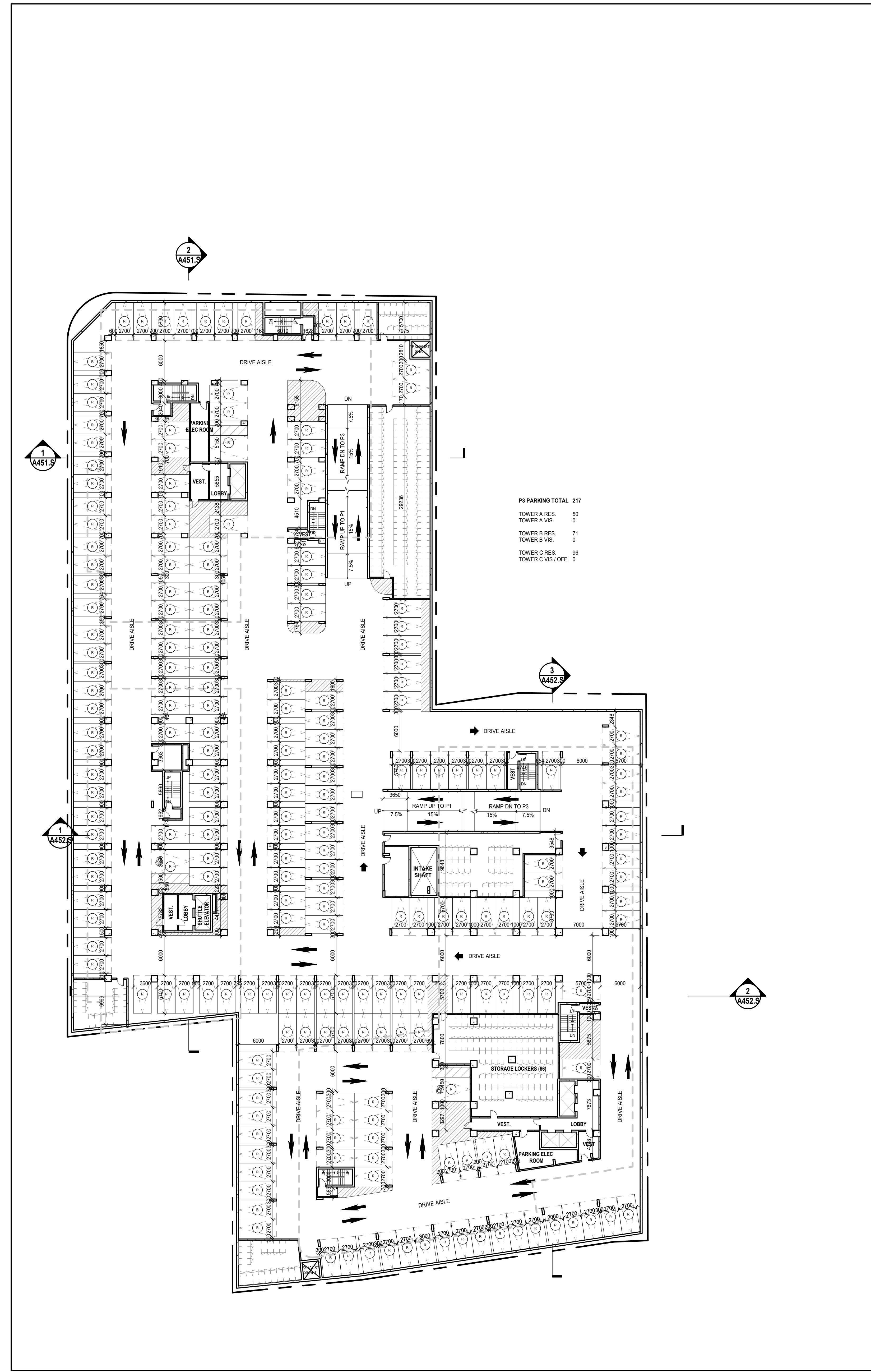
Pedestrian & Vehicular
Circulation Plan and Phasing Plan

A102.S

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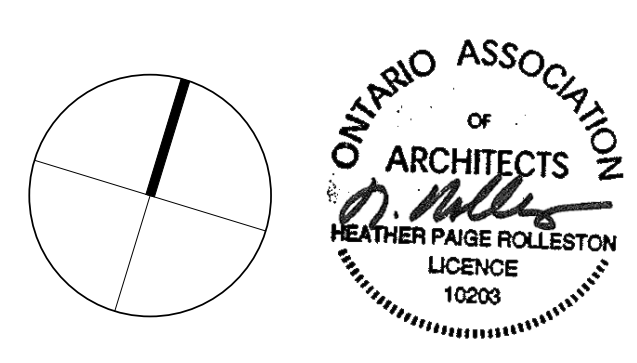
1 A151.S P6 UNDERGROUND PLAN



2 A151.S P3-P5 UNDERGROUND PLAN

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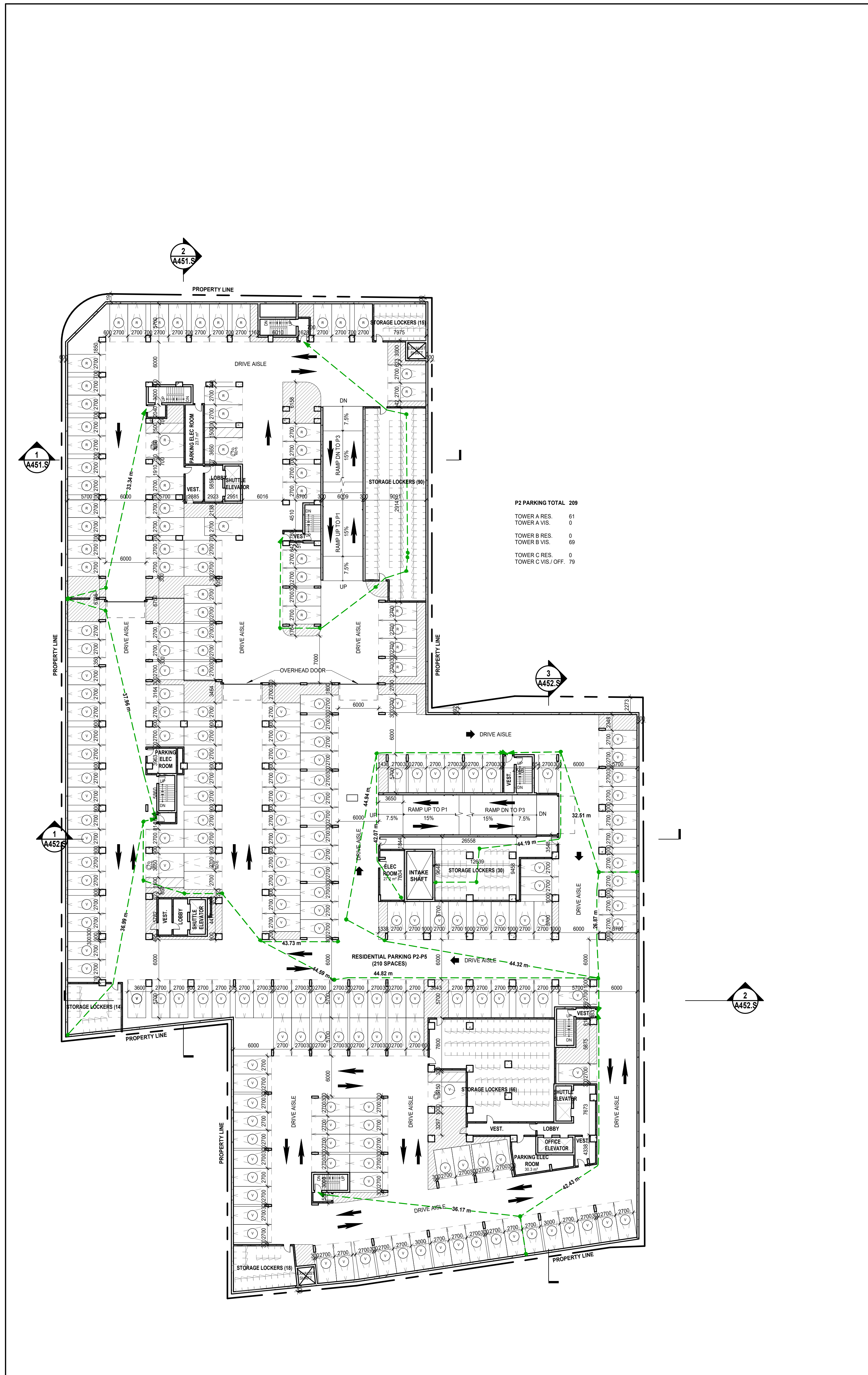
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19072 1 : 300 Auto/Checker
 PROJECT SCALE DRAWN REVIEWED

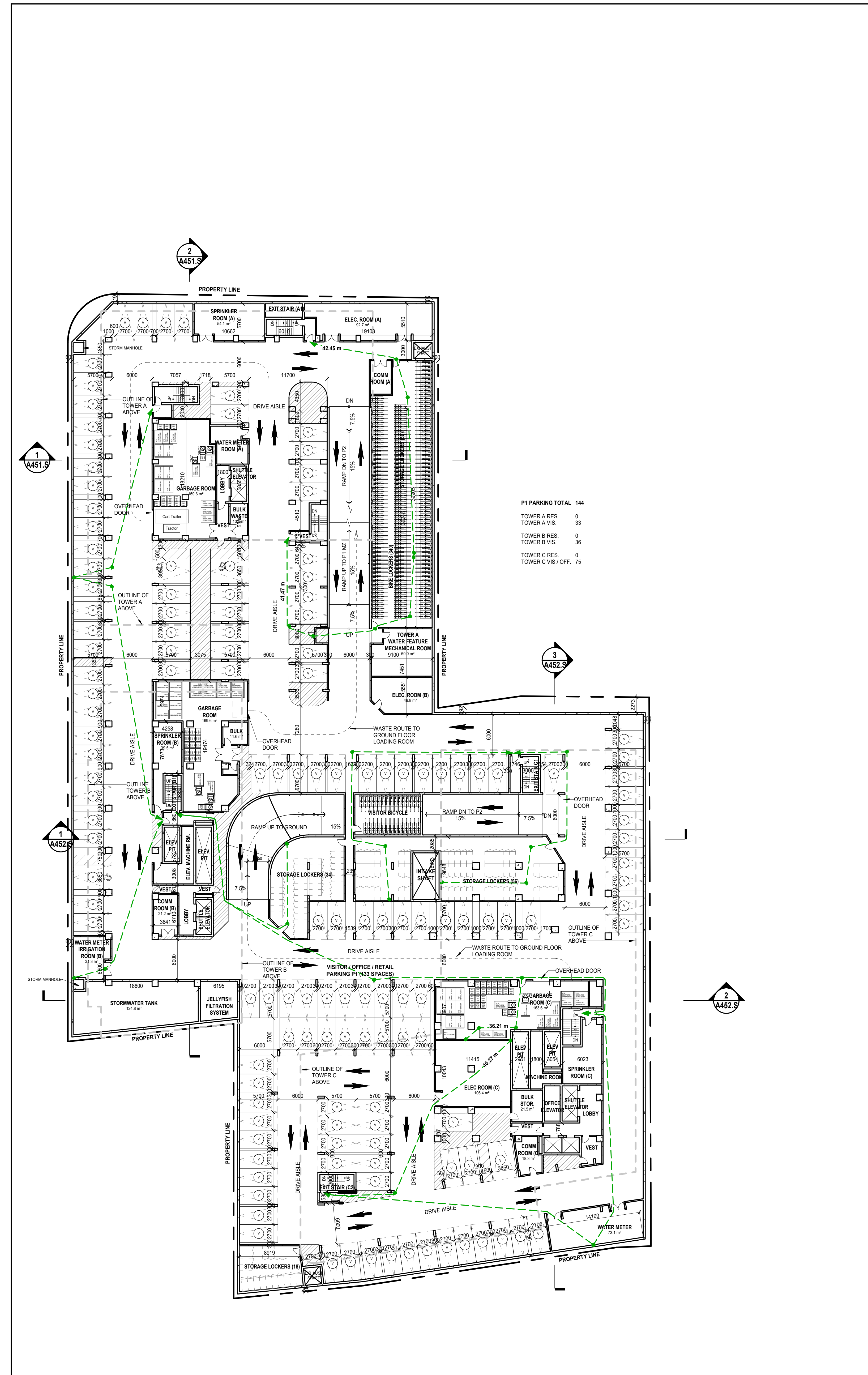
P6 and P3-P5 Underground Plans

A151.S

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2
A152.S
P2 UNDERGROUND PLAN



1
A152.S
P1 UNDERGROUND PLAN

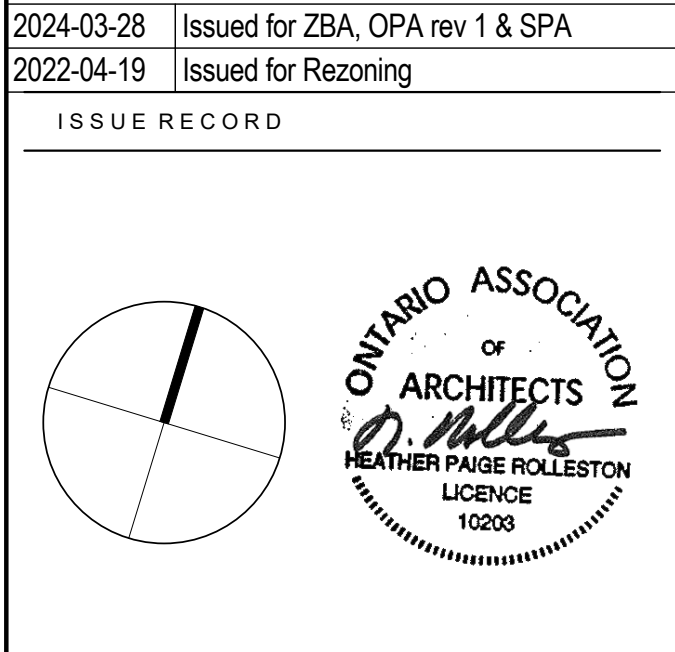
- PARKING NOTES:**
1. MINIMUM PARKING SPACE SIZES (UNLESS OTHERWISE NOTED):
 - 2600mm WIDE X 5600mm LONG (NO SIDES OBSTRUCTED)
 - 2600mm WIDE X 5600mm LONG (ONE SIDE OBSTRUCTED)
 - 3000mm WIDE X 5600mm LONG (TWO SIDES OBSTRUCTED)
 2. MAINTAIN MINIMUM DRIVE AISLE WIDTH OF 6000mm UNLESS OTHERWISE NOTED.
 3. MAINTAIN MINIMUM HEADROOM CLEARANCE OF 2100mm THROUGHOUT.

- PARKING LEGEND:**
- COMMERCIAL PARKING SPACE
 - RESIDENTIAL PARKING SPACE
 - VISITOR PARKING SPACE
 - EXISTING PARKING SPACE
 - BIKE LOCKER
 - BIKE PARKING (STACKED)
 - BIKE PARKING (VERTICAL)
 - CONVEX MIRROR
 - ELECTRIC VEHICLE
 - LIGHT STANDARD
 - PAINTED LINES
 - FIRE-RATED BULKHEAD
 - TYPICAL
 - ONE SIDE OBSTRUCTED
 - PARALLEL PARKING
 - ACCESSIBLE VISITOR - TYPE A
 - ACCESSIBLE VISITOR - TYPE B

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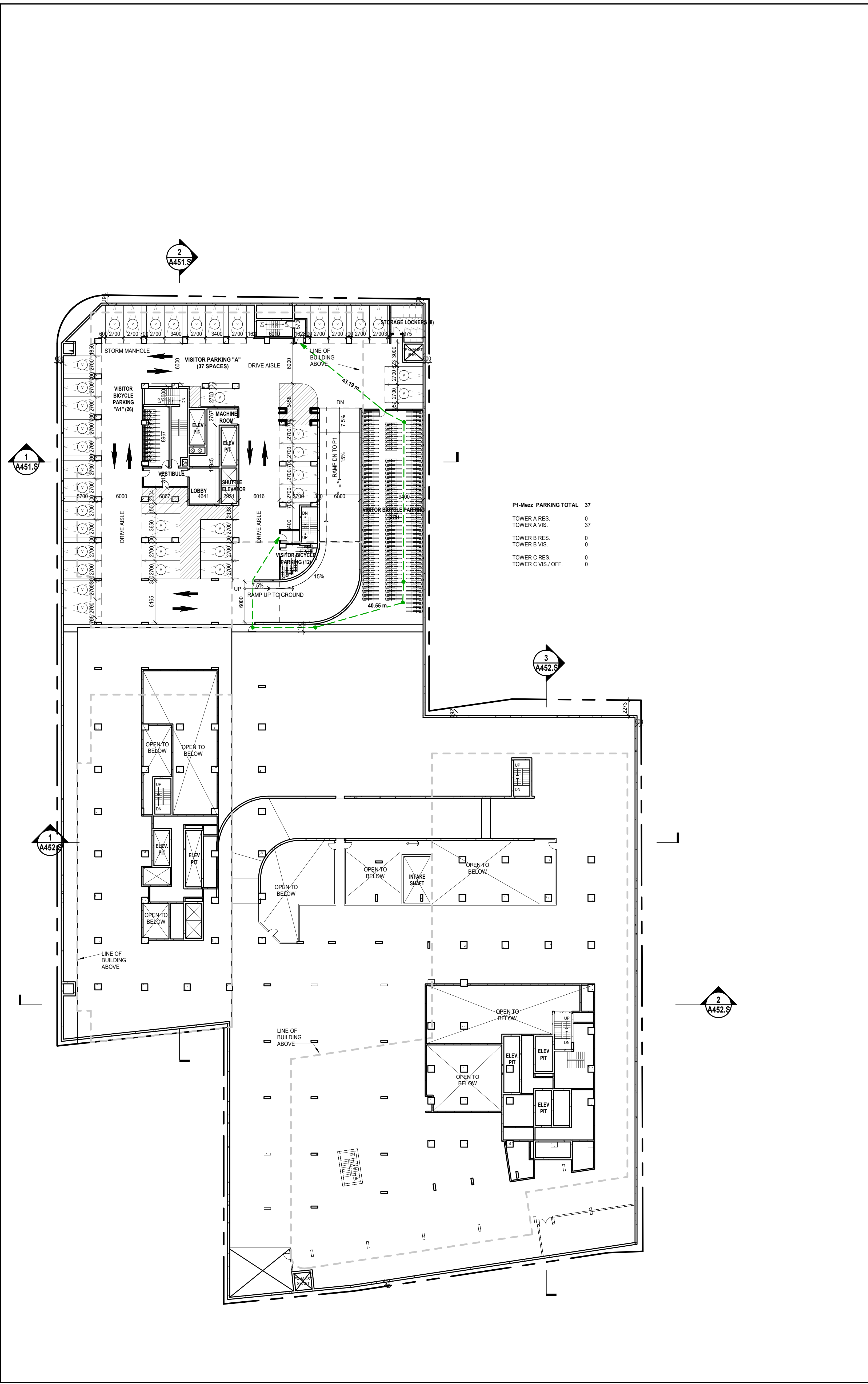
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19072 1:250 UI KVE
 PROJECT SCALE DRAWN REVIEWED

P2 and P1 Underground Plan

A152.S

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P1 Mezz. PARKING TOTAL 37

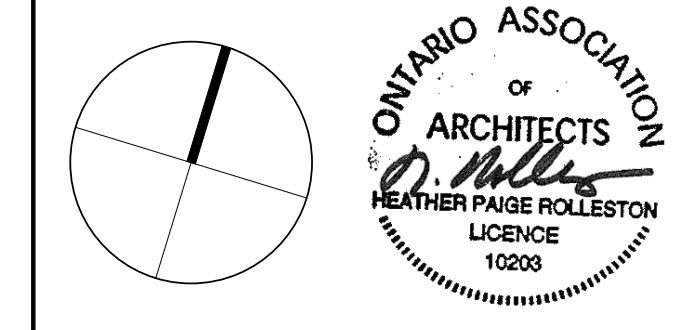
TOWER A RES.	0
TOWER A VIS.	37
TOWER B RES.	0
TOWER B VIS.	0
TOWER C RES.	0
TOWER C VIS./OFF.	0

- PARKING NOTES:**
1. MINIMUM PARKING SPACE SIZES (UNLESS OTHERWISE NOTED):
 - 2000mm WIDE X 5000mm LONG (NO SIDES OBSTRUCTED)
 - 2000mm WIDE X 5000mm LONG (ONE SIDE OBSTRUCTED)
 - 3000mm WIDE X 5000mm LONG (TWO SIDES OBSTRUCTED)
 2. MAINTAIN MINIMUM DRIVE AISLE WIDTH OF 6000mm UNLESS OTHERWISE NOTED
 3. MAINTAIN MINIMUM HEADROOM CLEARANCE OF 2100mm THROUGHOUT

- PARKING LEGEND:**
- ⊙ COMMERCIAL PARKING SPACE
 - ⊙ RESIDENTIAL PARKING SPACE
 - ⊙ VISITOR PARKING SPACE
 - ⊙ EXISTING PARKING SPACE
 - ⊙ BIKE LOCKER
 - ⊙ BIKE PARKING (STACKED)
 - ⊙ BIKE PARKING (VERTICAL)
 - ⊙ CONVEX MIRROR
 - ⊙ ELECTRIC VEHICLE
 - ⊙ LIGHT STANDARD
 - ▨ PAINTED LINES
 - ▨ FIRE-RATED BULKHEAD
- TYPICAL
 ONE SIDE OBSTRUCTED
 PARALLEL PARKING
 ACCESSIBLE VISITOR - TYPE A
 ACCESSIBLE VISITOR - TYPE B

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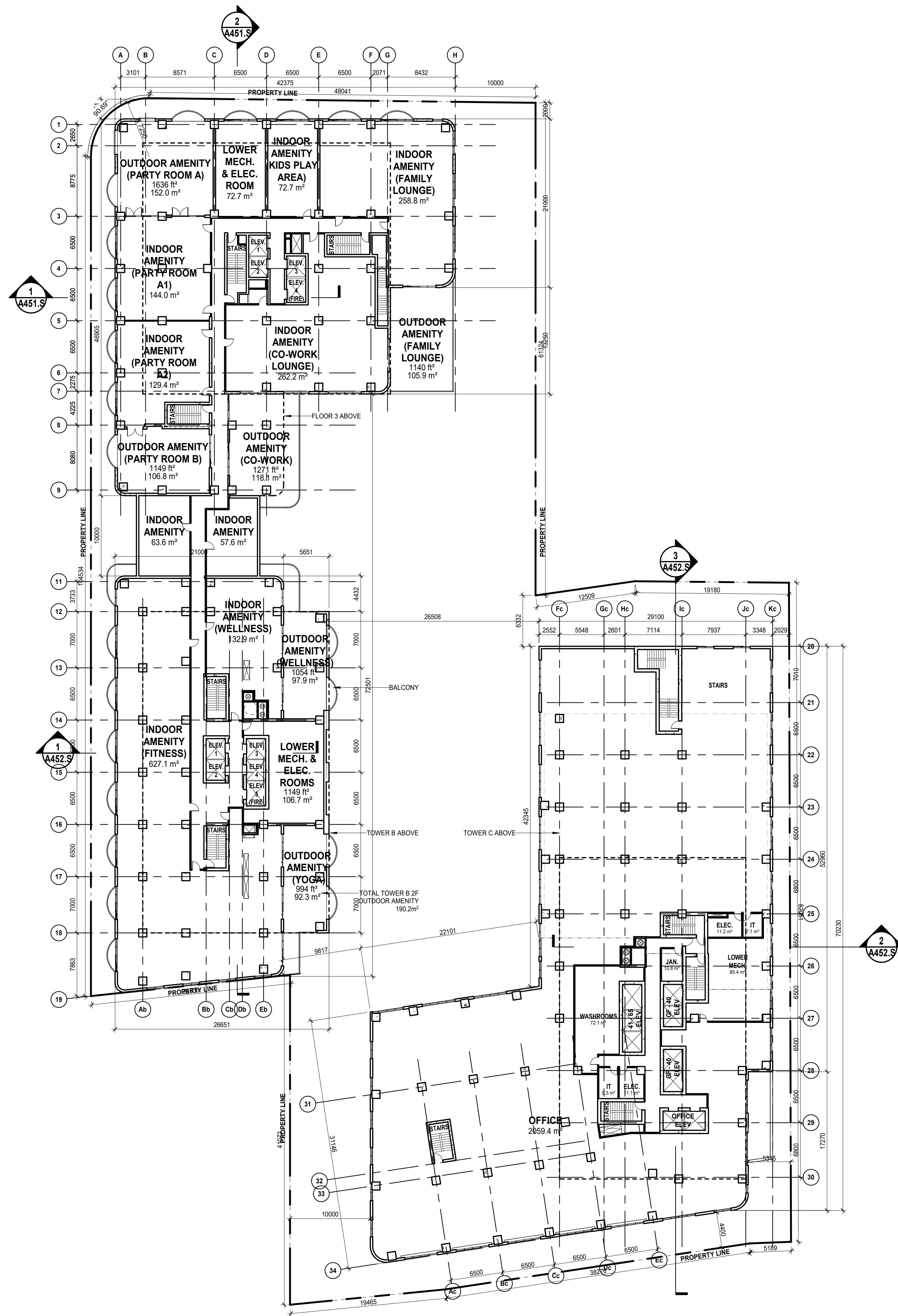
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19072 1:250 UI KVE
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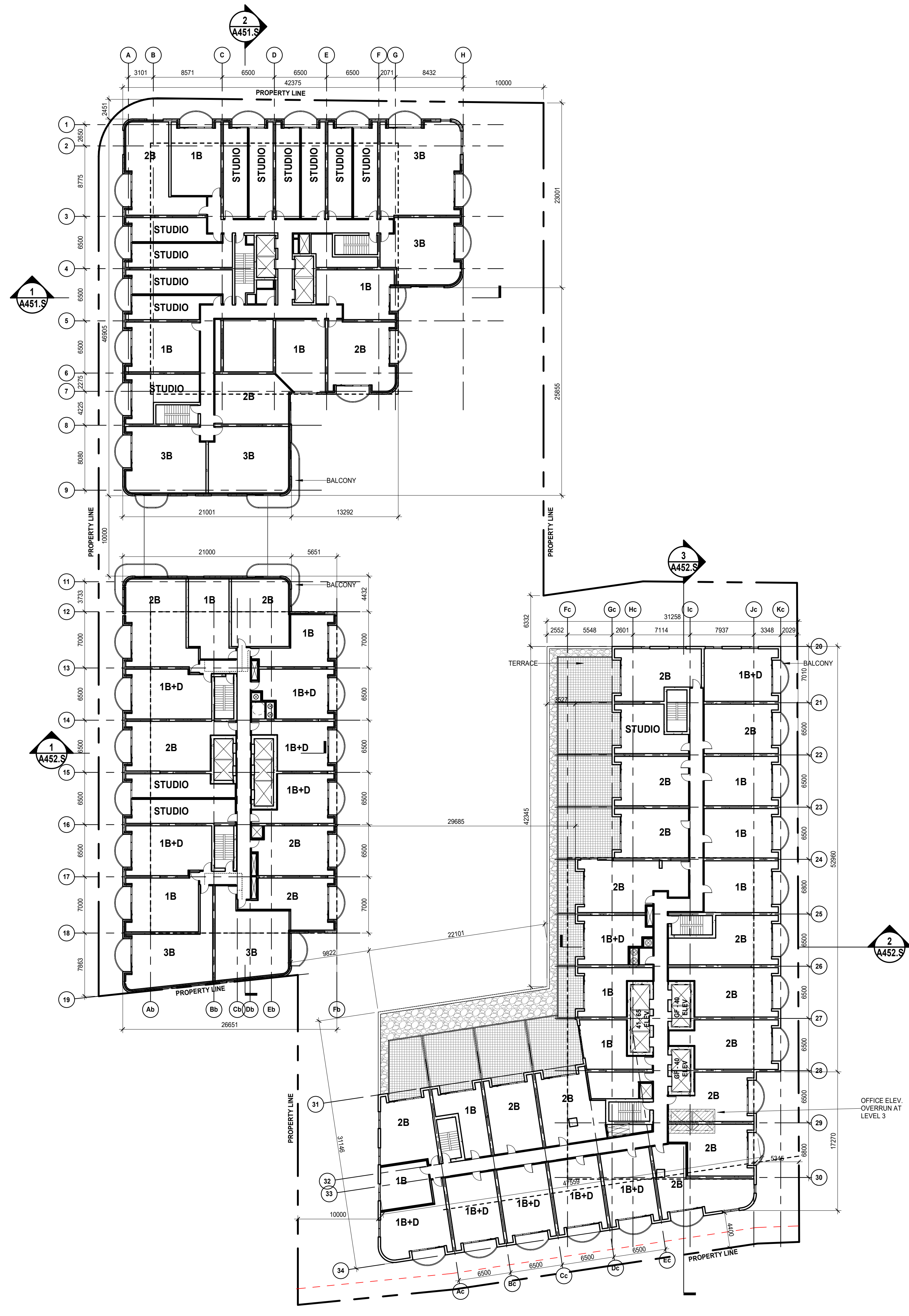
P1 Mezzanine Underground Plan

A153.S

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1 SECOND FLOOR PLAN
SCALE: 1:300

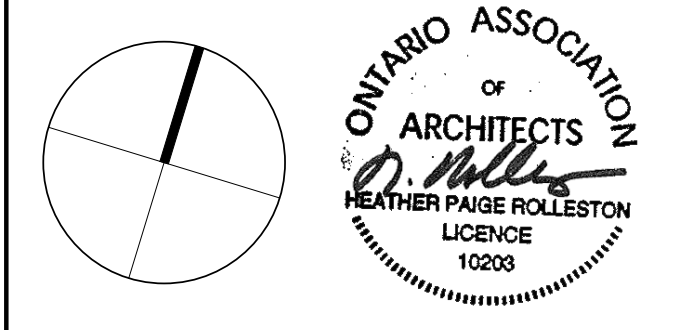


2 TYPICAL THIRD TO SIXTH FLOOR PLAN
SCALE: 1:300

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REVISION RECORD		
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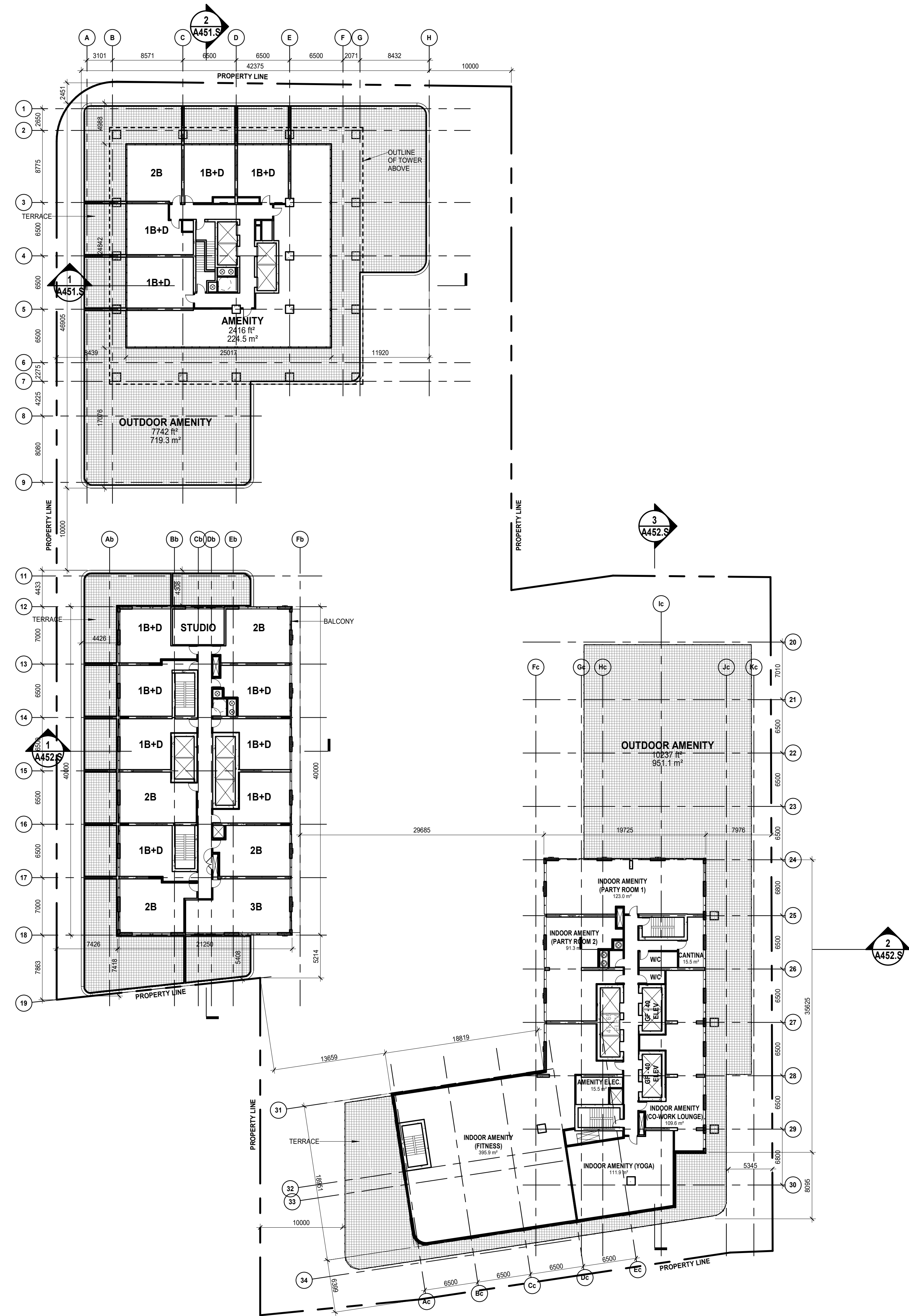
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19072 1:300 DC KVE
PROJECT SCALE DRAWN REVIEWED

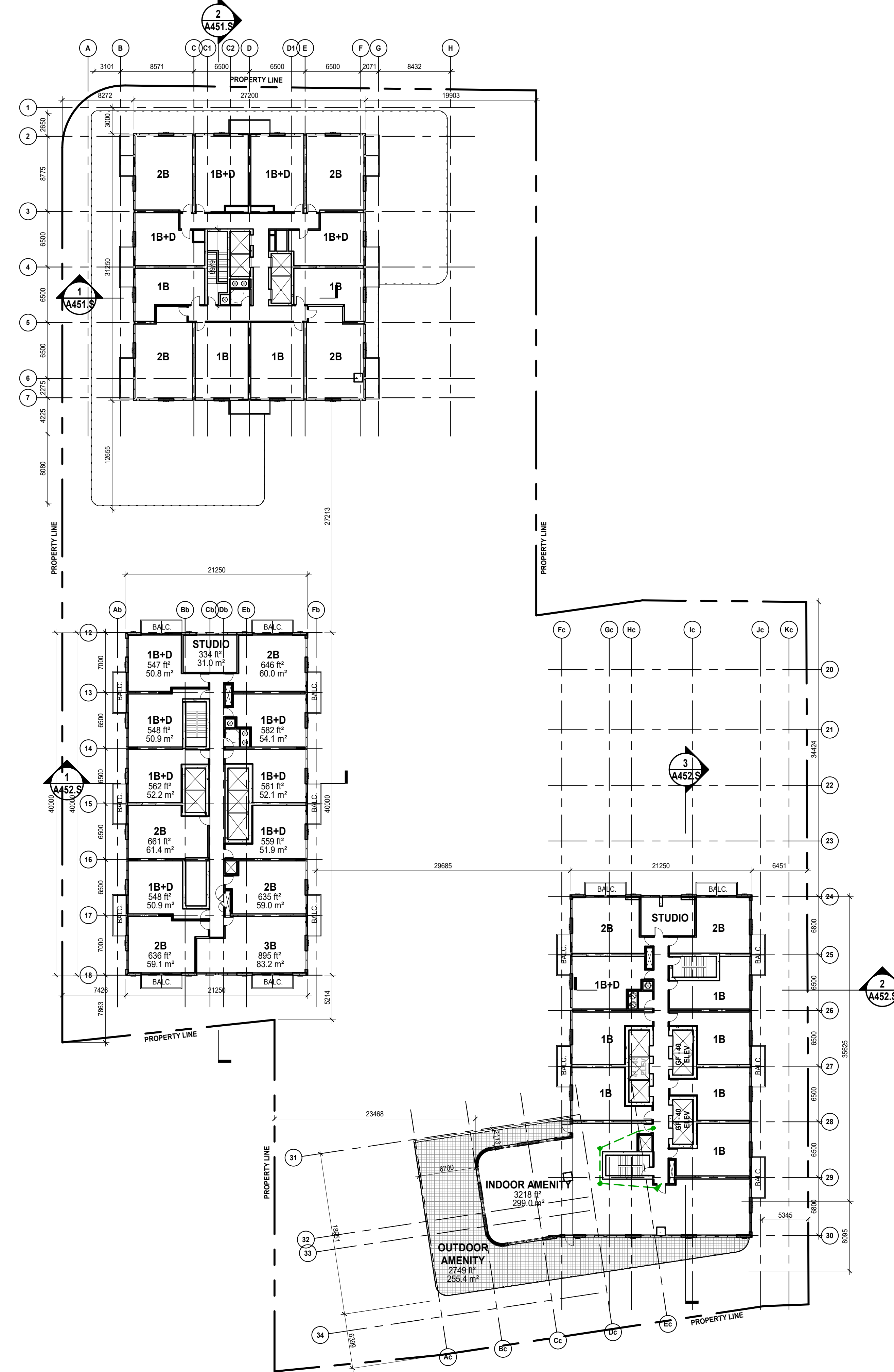
Second and Typical Third to Sixth
Floor Plans

A202.S

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1 SEVENTH FLOOR PLAN
SCALE: 1 : 300
A203.S



2 EIGHTH FLOOR PLAN
SCALE: 1 : 300
A203.S

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2022-04-19	2	Issued for Rezoning

ISSUE RECORD

Date	No.	Description
2024-03-28	1	Issued for ZBA, OPA rev 1 & SPA
2022-04-19	2	Issued for Rezoning

ISSUE RECORD

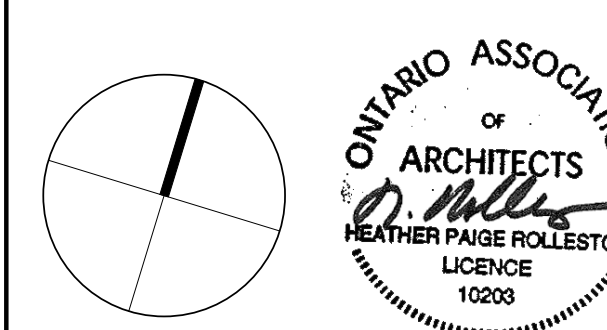
Date	No.	Description
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ISSUE RECORD

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for
Distrikt Developments

19072 1 : 300 DC KVE
PROJECT SCALE DRAWN REVIEWED

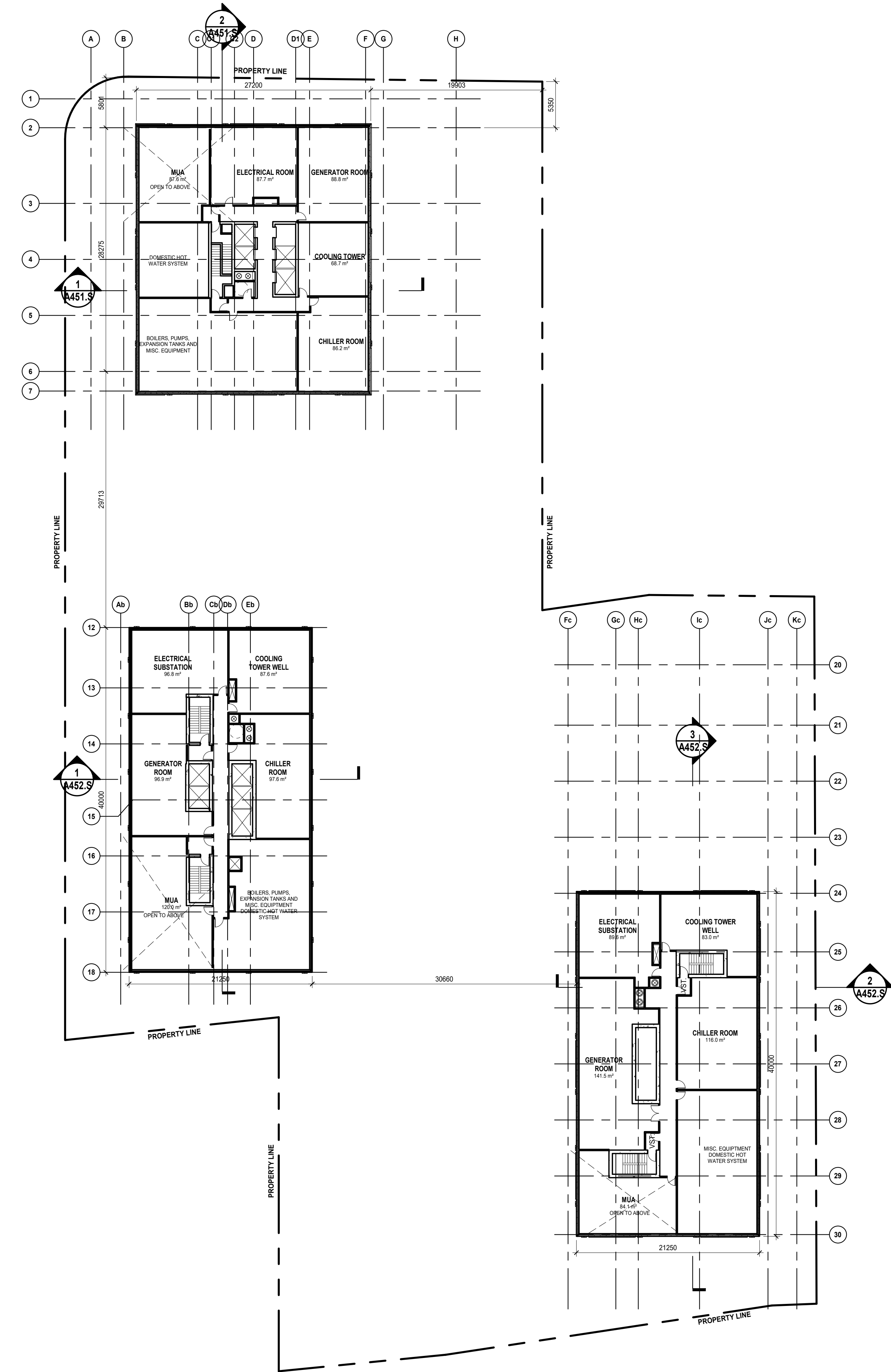
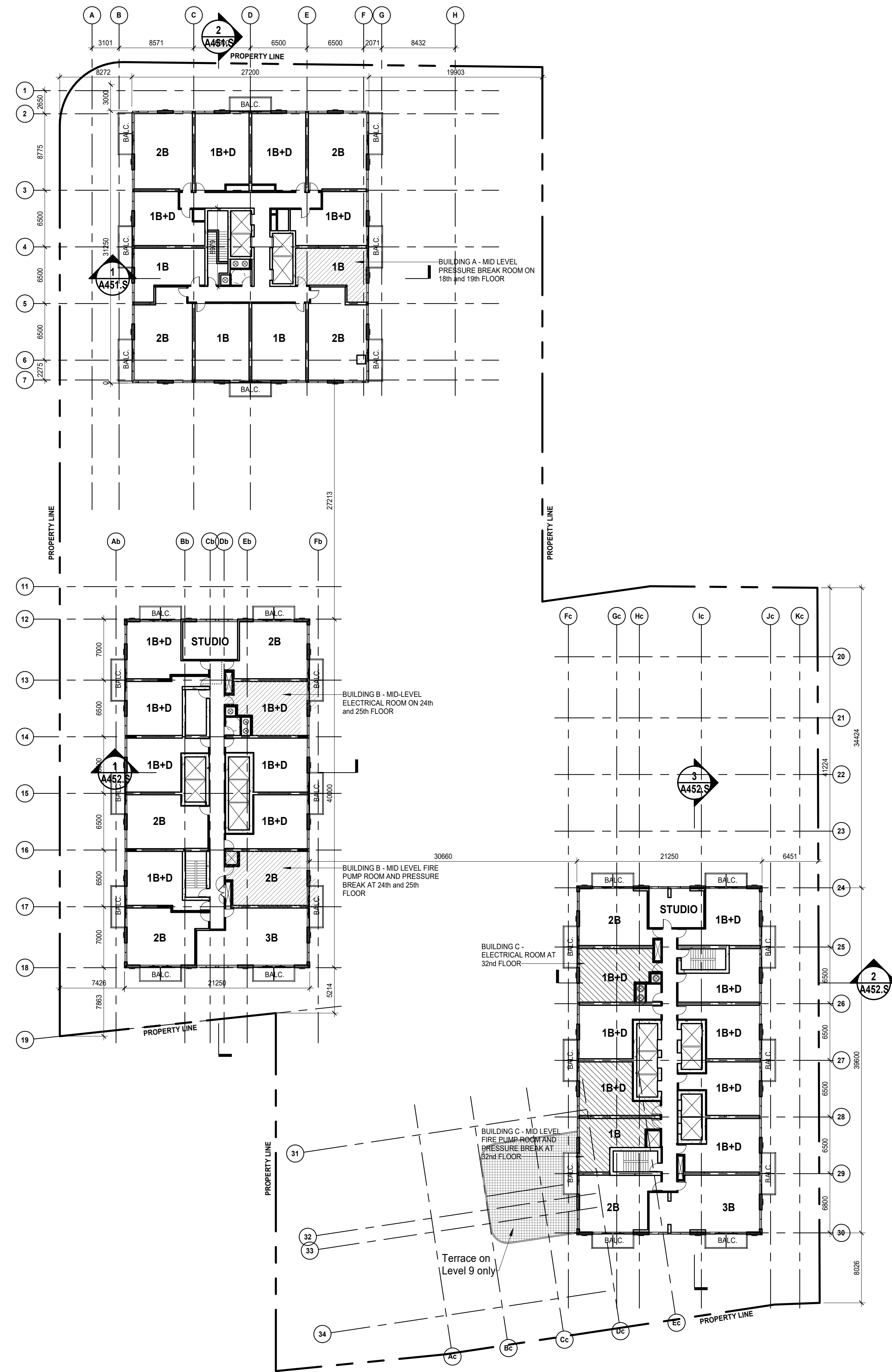
Seventh and Eighth Floor Plans

A203.S

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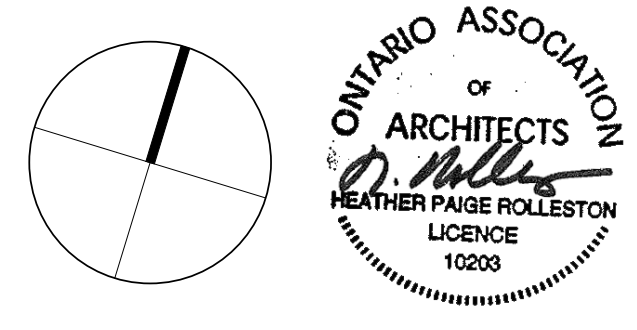


Date	No.	Description
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REVISION RECORD

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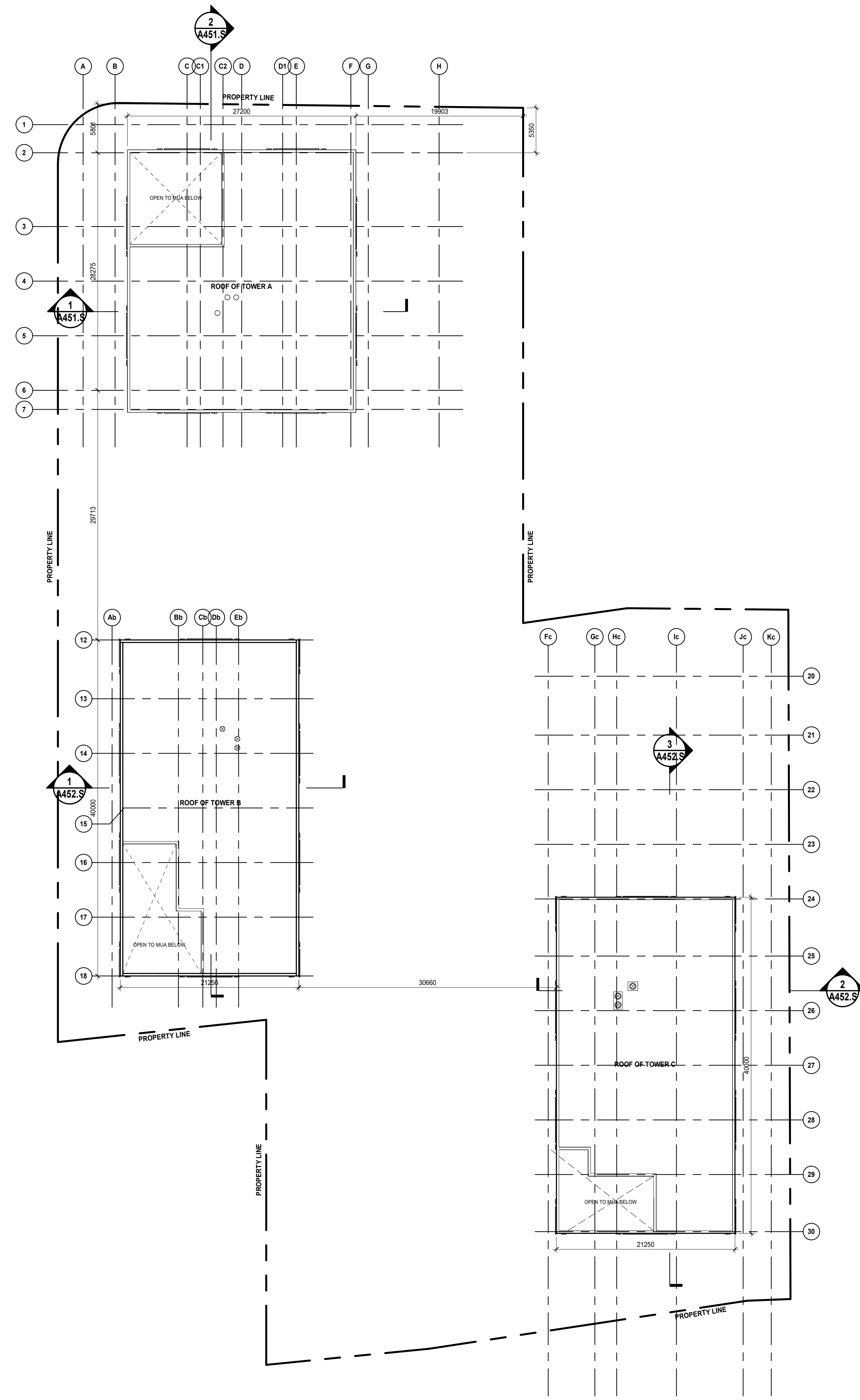
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19072 1 : 300 DC KVE
PROJECT SCALE DRAWN REVIEWED

Typical Tower and Mechanical
Penthouse Plans

A204.S

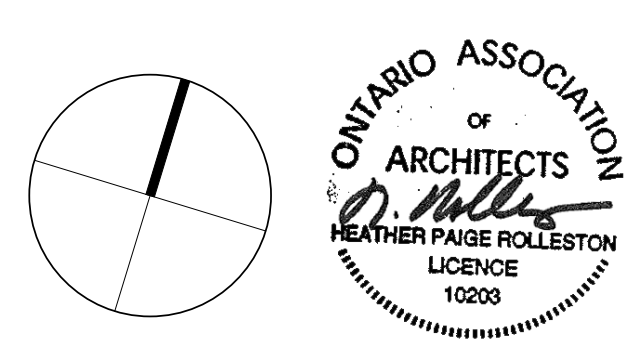
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1 ROOF PLAN
A205.S

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REVISION RECORD		

Date	Description
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19072 1 : 300 AutoChecker
PROJECT SCALE DRAWN REVIEWED

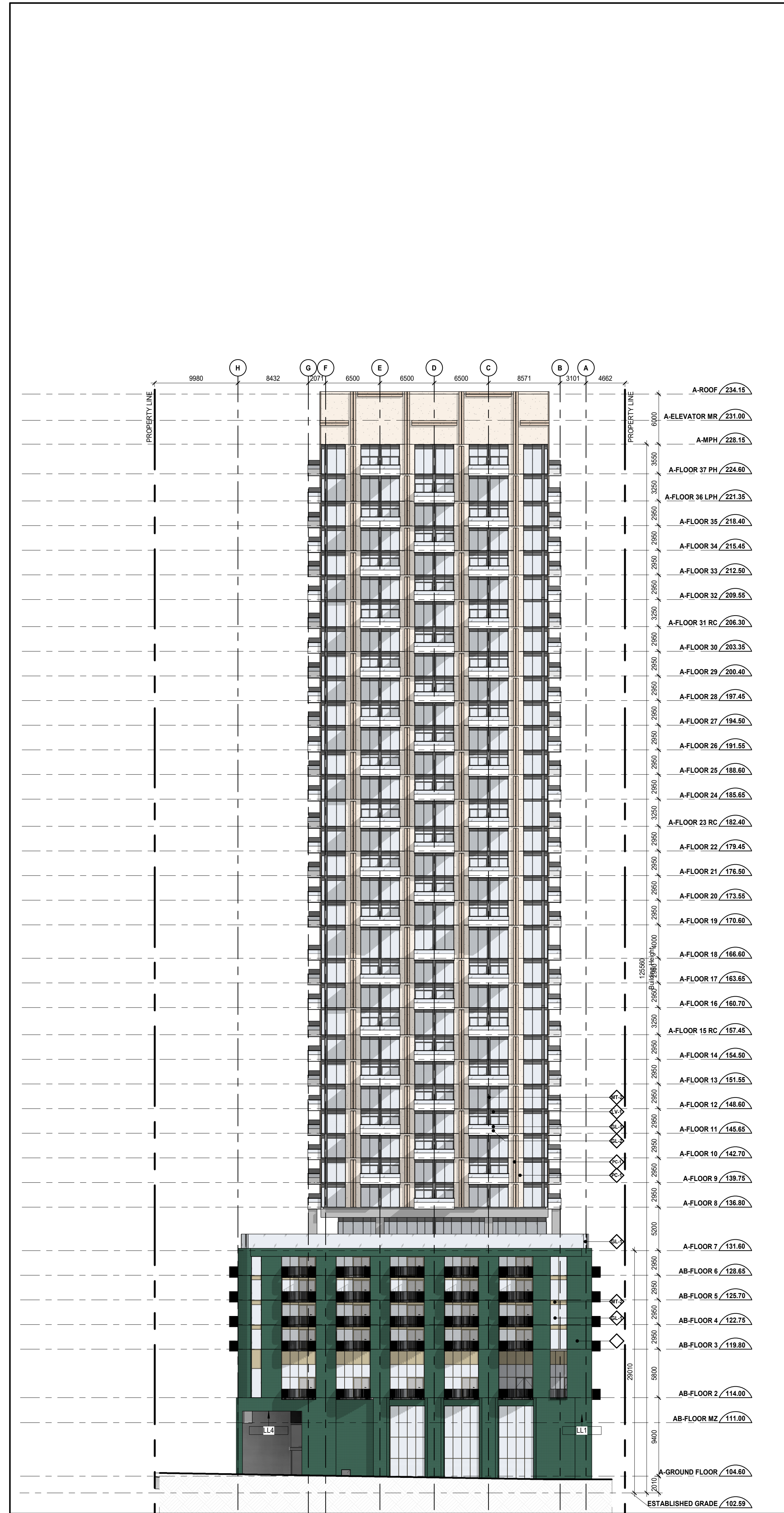
Roof Plan

A205.S

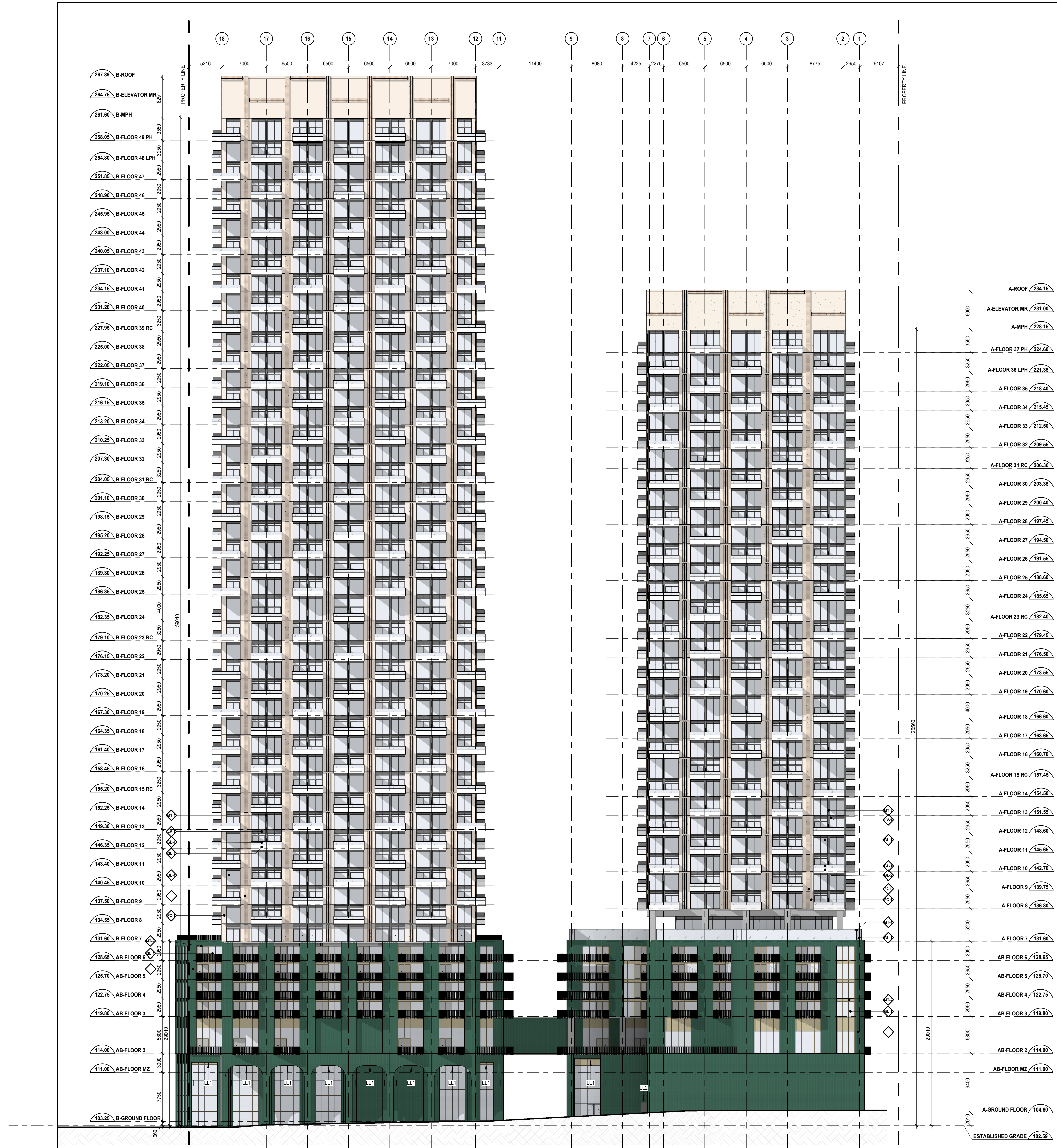
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1 BUILDING A - NORTH ELEVATION
SCALE: 1:300



2 BUILDING AB - EAST ELEVATION
SCALE: 1:300

LEGEND:

- TERRACOTTA - COLOUR 1
- PRECAST PANEL
- PREFINISHED ALUMINUM - COLOUR 1
- PREFINISHED ALUMINUM - COLOUR 2
- VISION GLAZING
- BALANCING GLASS WITH BIRD FRIENDLY FRIT PATTERN
- RESIDENTIAL AND STOREFRONT WINDOW SYSTEM LOUVRE

Date	No.	Description
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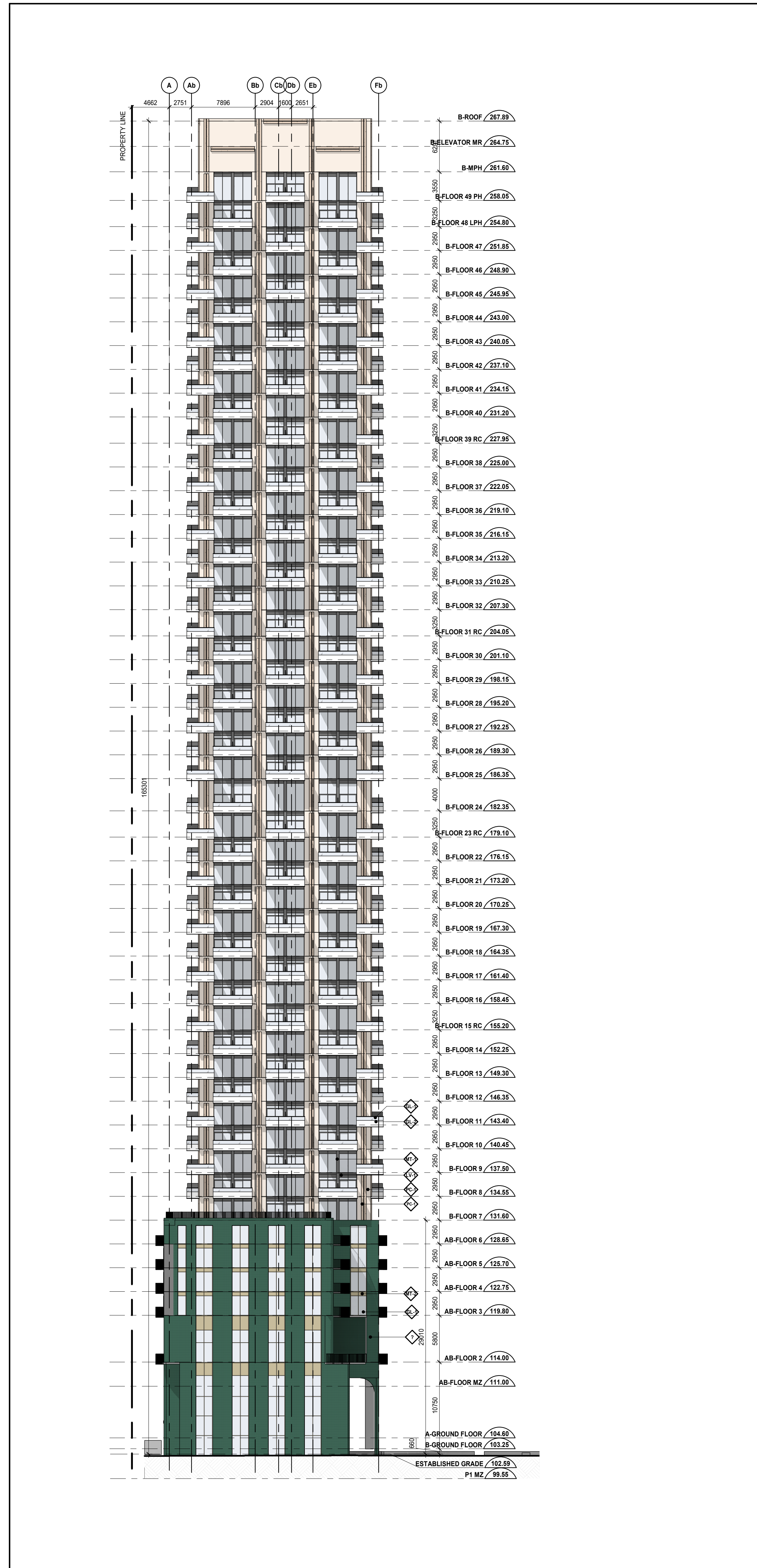
for
Distrikt Developments

19072 1:300 HL KVE
PROJECT SCALE DRAWN REVIEWED

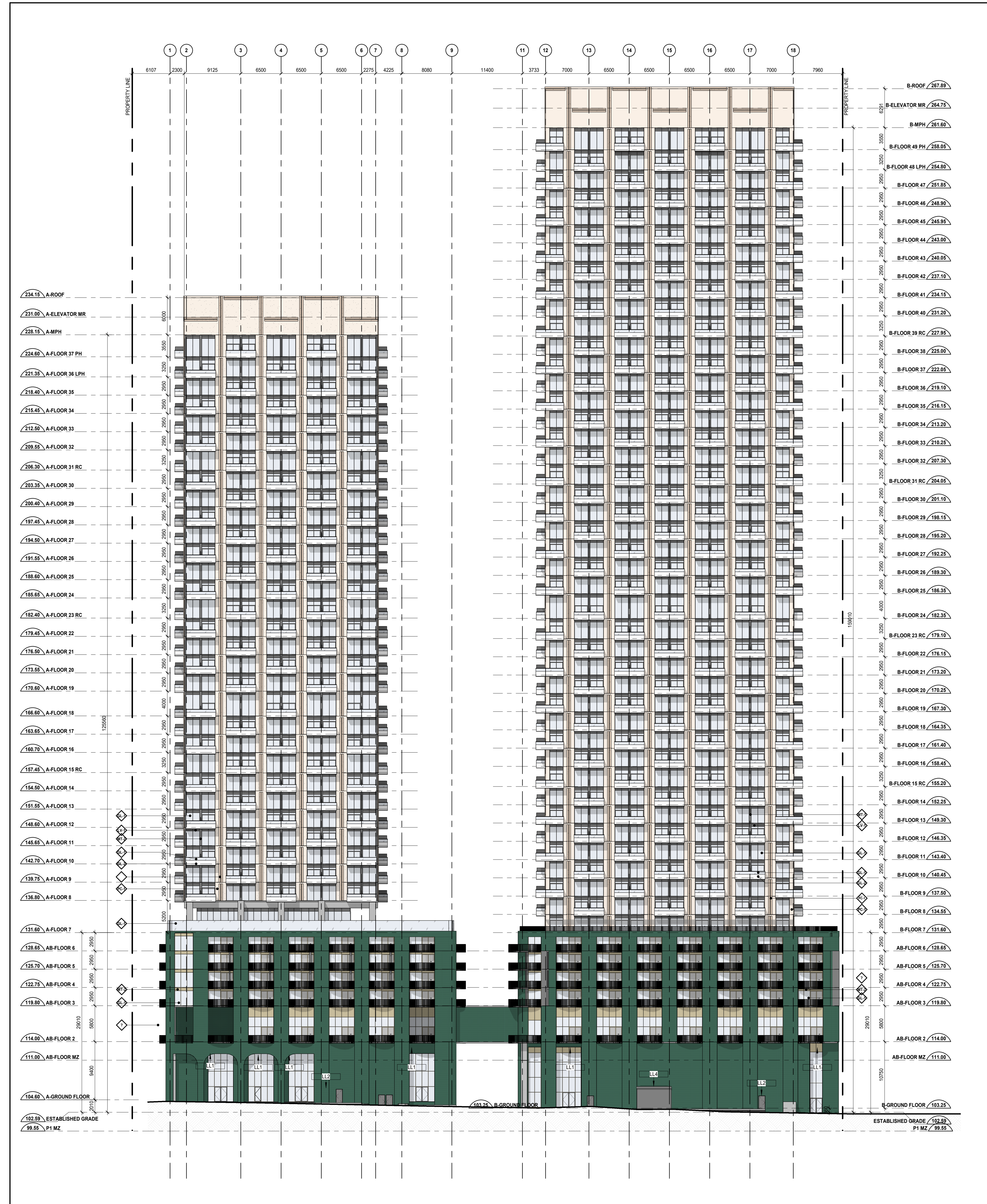
Building A and B - East and North
Elevations

A401.S

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2 BUILDING B - SOUTH ELEVATION
SCALE: 1:300



1 BUILDING AB - WEST ELEVATION
SCALE: 1:300

- LEGEND:**
- TERRACOTTA - COLOUR 1
 - PRECAST PANEL
 - PREFINISHED ALUMINUM - COLOUR 1
 - PREFINISHED ALUMINUM - COLOUR 2
 - VISION GLAZING
 - RAILING GLASS WITH BIRD FRIENDLY FRIT PATTERN
 - RESIDENTIAL AND STOREFRONT WINDOW SYSTEM LOUVRE

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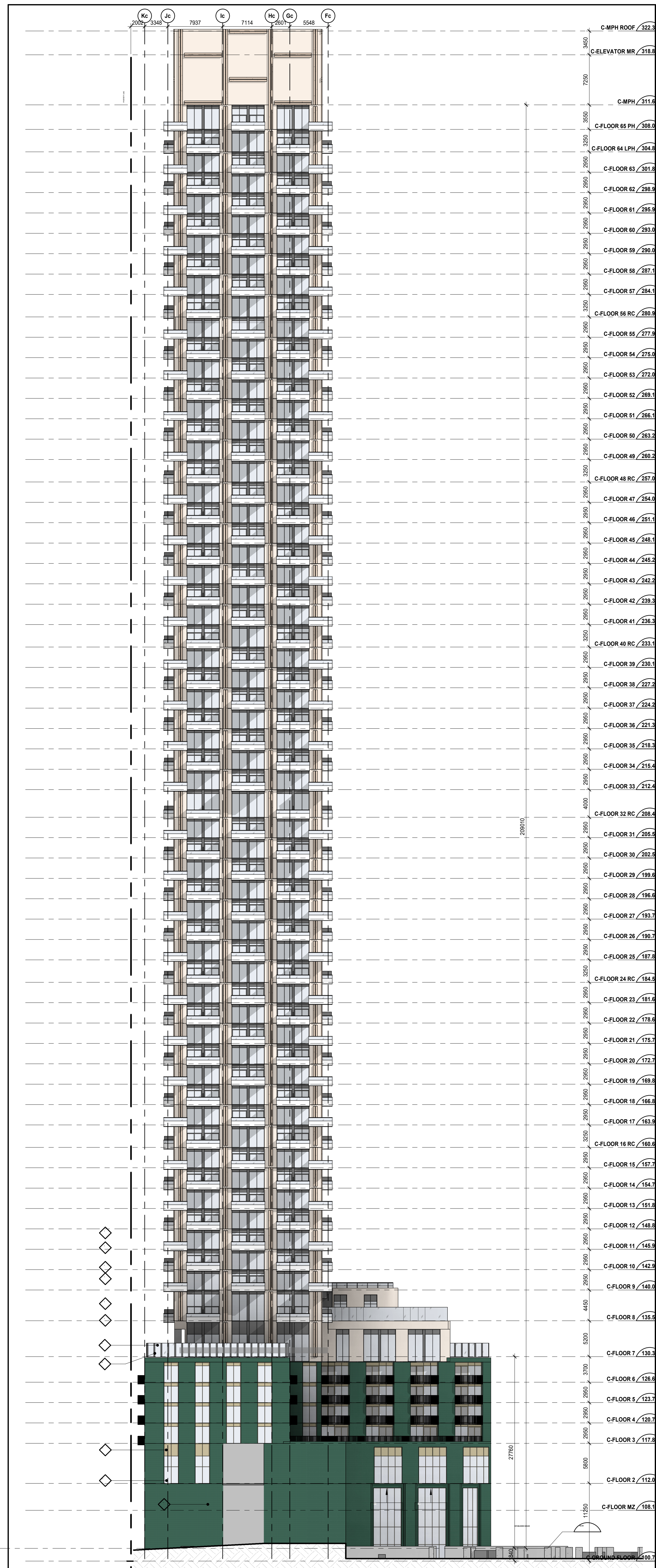
for
Distrikt Developments

19072 1:300 HL KVE
PROJECT SCALE DRAWN REVIEWED

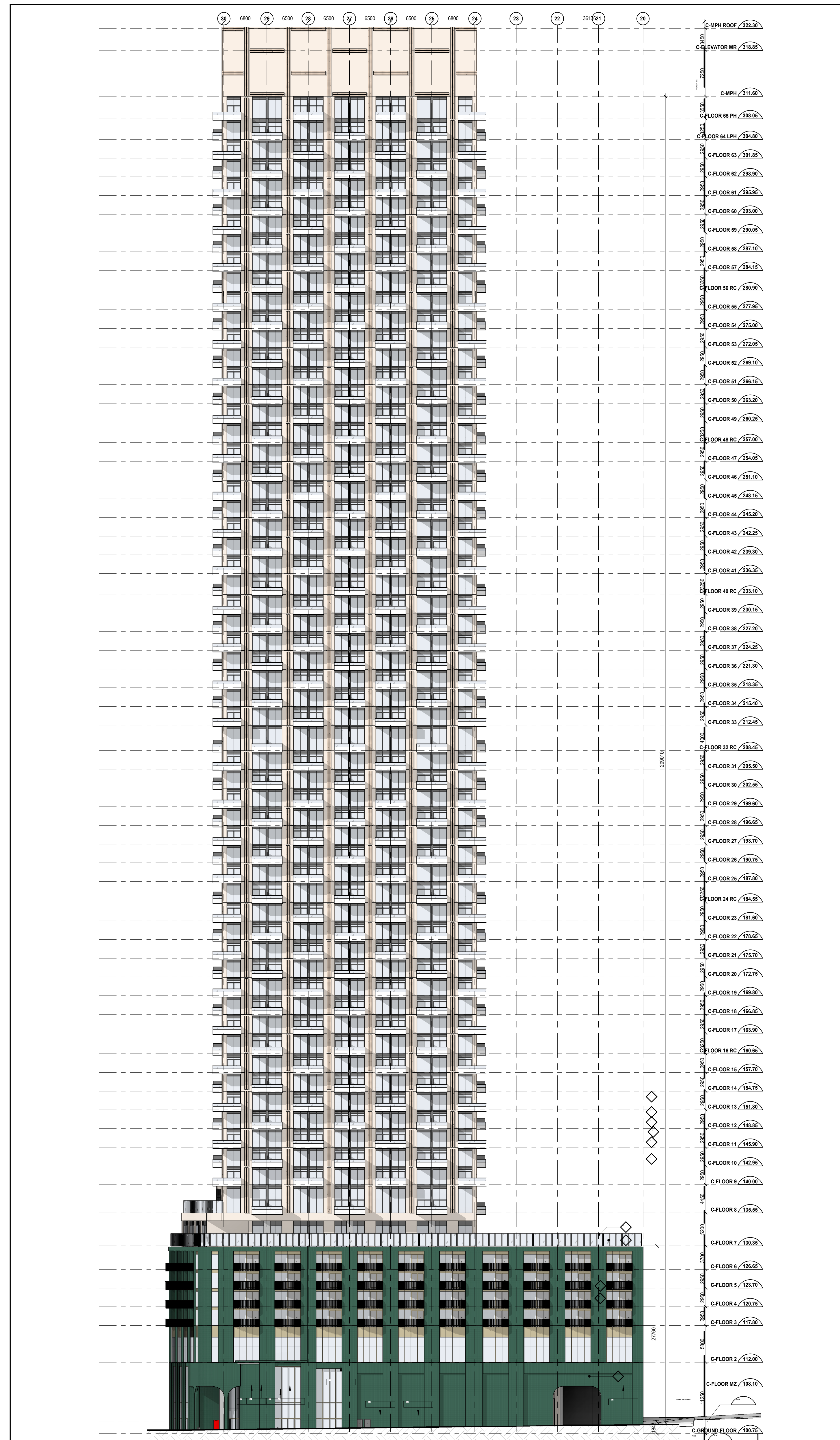
Building A and B - West and
South Elevations

A402.S

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BUILDING C - NORTH ELEVATION



BUILDING C - EAST ELEVATION

LEGEND:

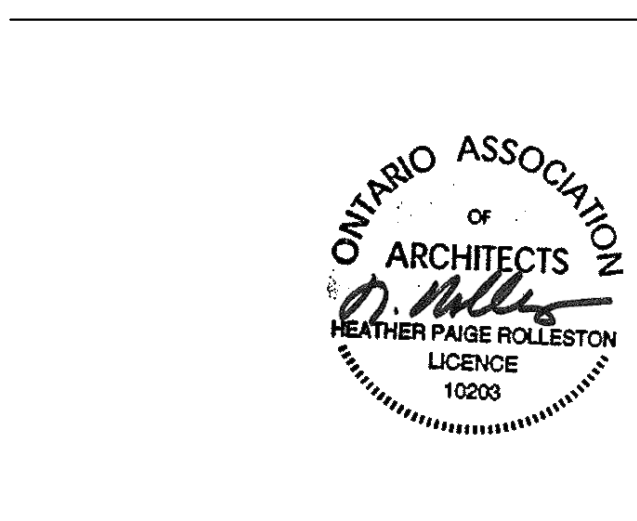
- TERRACOTTA - COLOUR 1
- PRECAST PANEL
- REFINISHED ALUMINUM - COLOUR 1
- REFINISHED ALUMINUM - COLOUR 2
- VISION GLAZING
- RAILING GLASS WITH BIRD FRIENDLY FRIT PATTERN
- RESIDENTIAL AND STOREFRONT WINDOW SYSTEM LODGIVE

Date	No.	Description
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REVISION RECORD

Date	No.	Description
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ISSUE RECORD



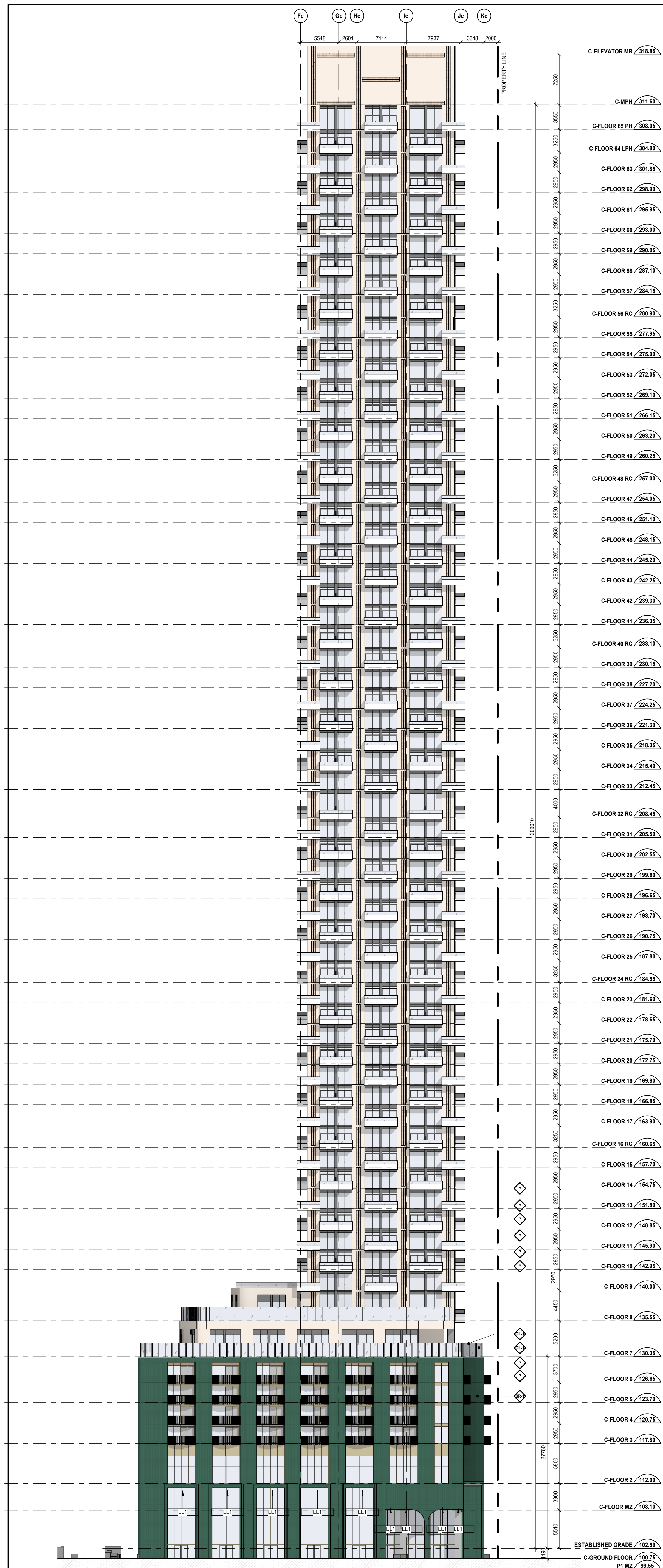
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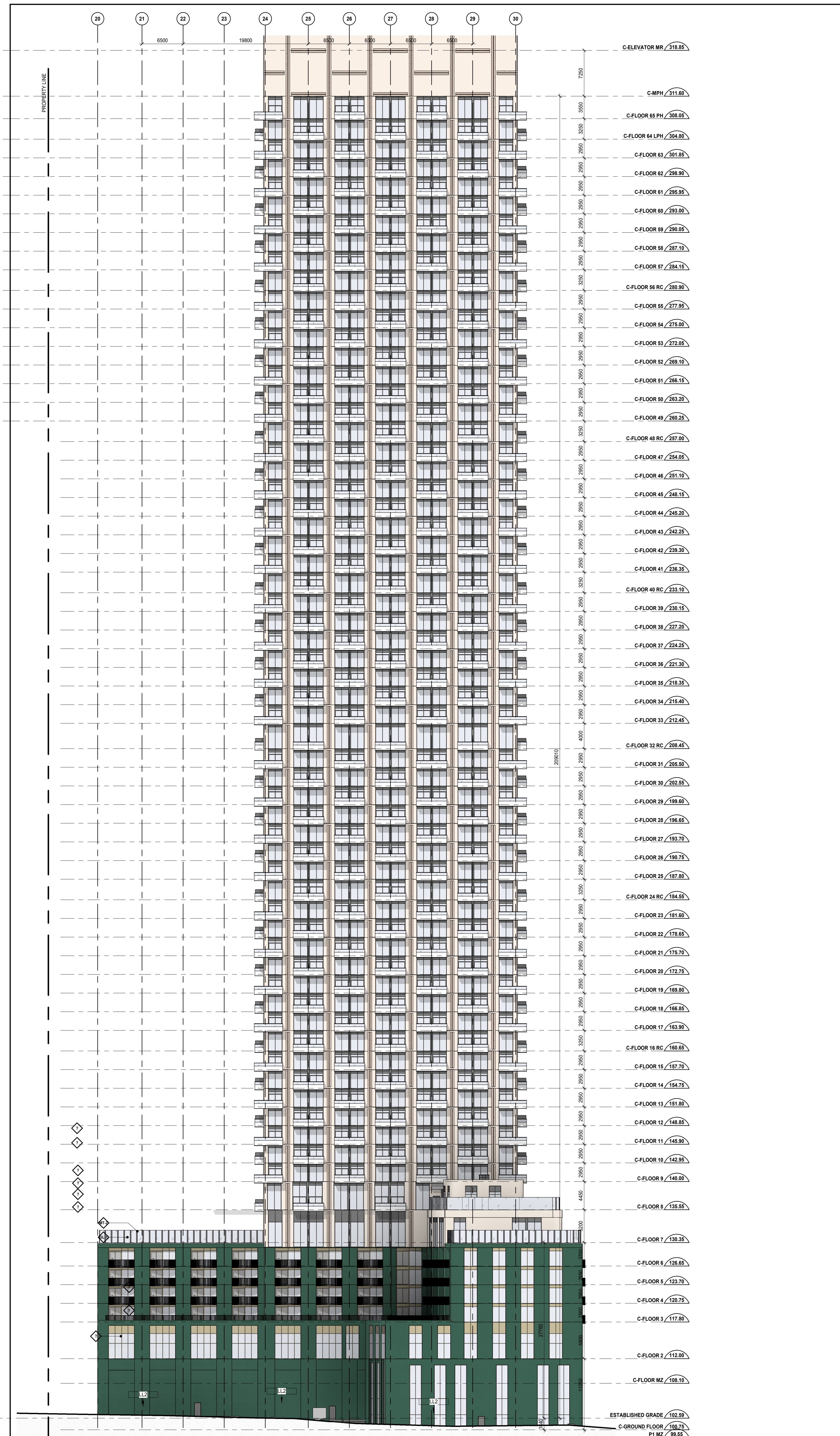
for _____
 PROJECT SCALE DRAWN REVIEWED

A403.S

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1 BUILDING C - SOUTH ELEVATION
SCALE: 1:300



2 BUILDING C - WEST ELEVATION
SCALE: 1:300

LEGEND:

	TERRACOTTA - COLOUR 1
	PRECAST PANEL
	PREFINISHED ALUMINUM - COLOUR 1
	PREFINISHED ALUMINUM - COLOUR 2
	VISION GLAZING
	BALING GLASS WITH BIRD FRIENDLY FRIT PATTERN
	RESIDENTIAL AND STOREFRONT WINDOW SYSTEM LODGIVE

Date	No.	Description
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REVISION RECORD

Date	No.	Description
2024-03-28		Issued for ZBA, OPA rev 1 & SPA
2022-04-19		Issued for Rezoning

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19072 As indicated HL KVE
PROJECT SCALE DRAWN REVIEWED

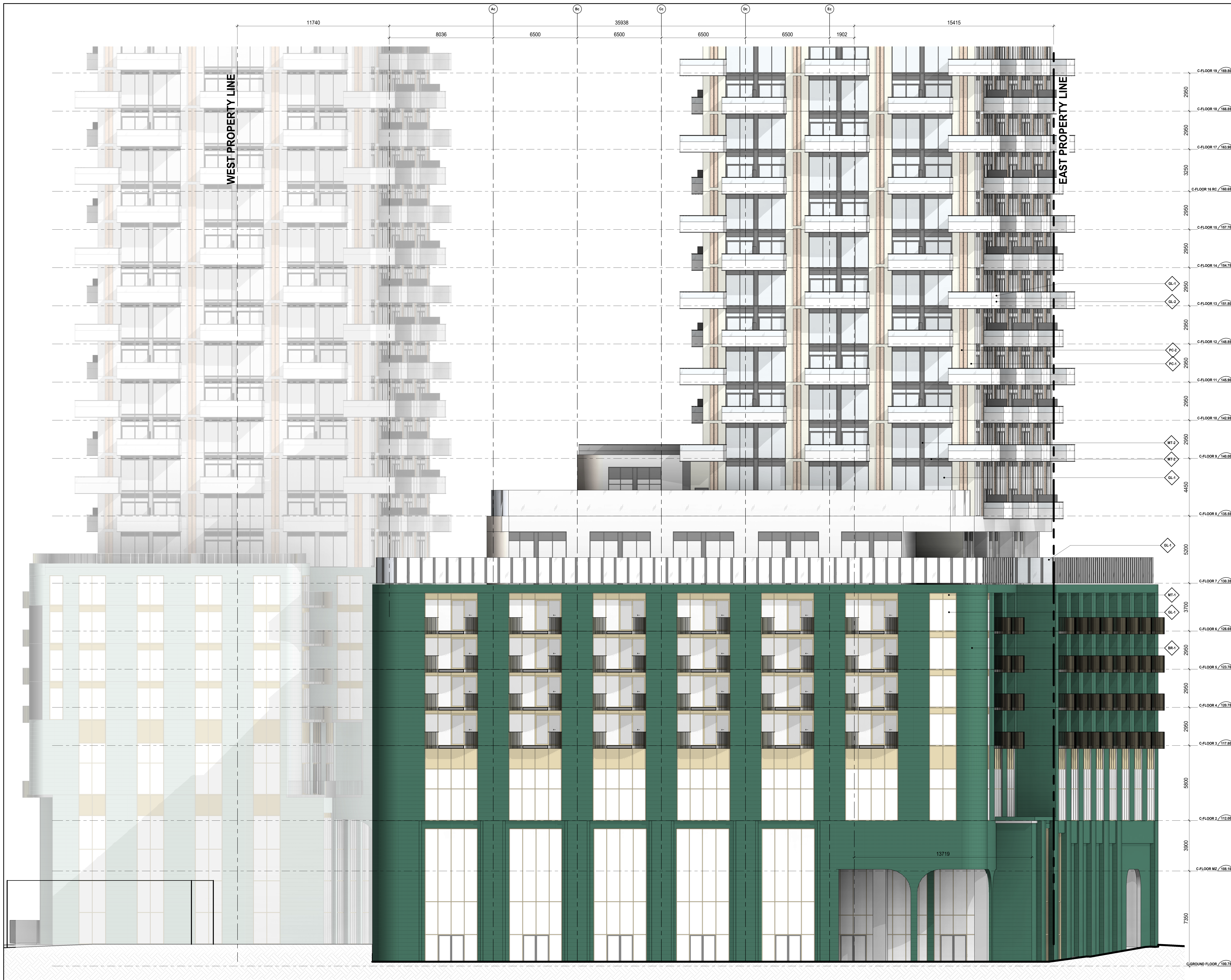
Building C - West and South
Elevations

A404.S

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C:\Users\james\Documents\BDP\A404_S\Drawings\A404_S_South_Elevation.dwg

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- LEGEND:**
- TERRACOTTA - COLOUR 1
 - PRECAST PANEL
 - PREFINISHED ALUMINUM - COLOUR 1
 - PREFINISHED ALUMINUM - COLOUR 2
 - VISION GLAZING
 - BALING GLASS WITH BIRD FRIENDLY FRIT PATTERN
 - RESIDENTIAL AND STOREFRONT WINDOW SYSTEM LODGIVE

Date	No.	Description
REVISION RECORD		

Date	No.	Description
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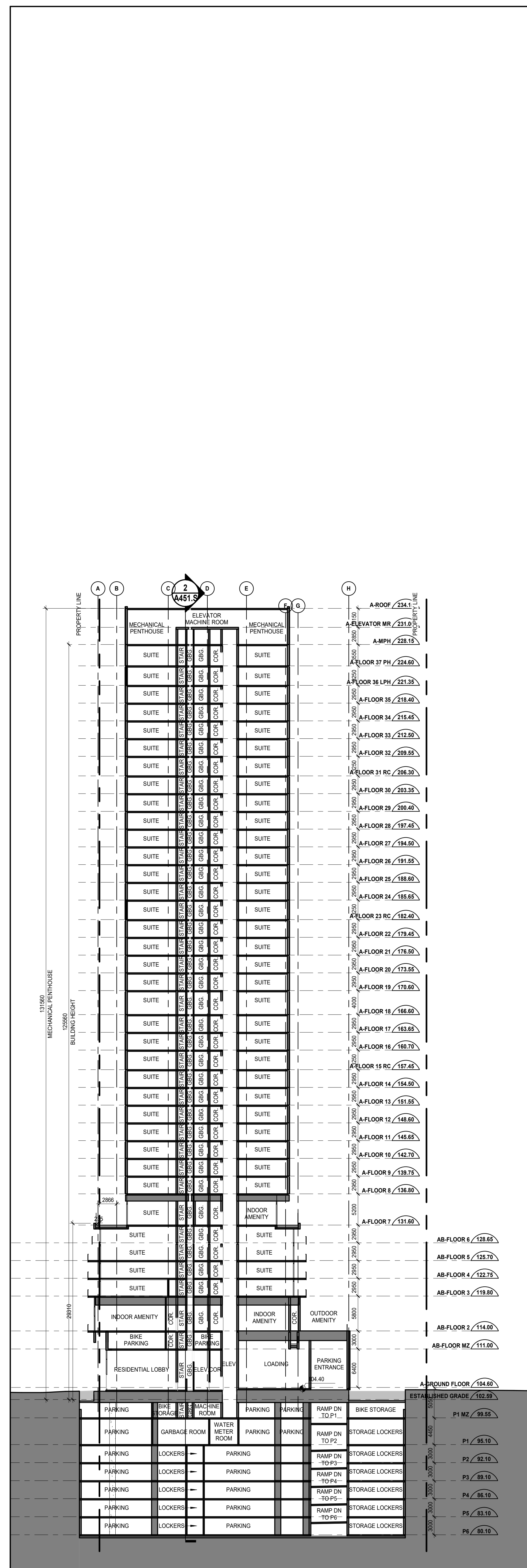
19072 As indicated HL KVE
PROJECT SCALE DRAWN REVIEWED

Building C - Coloured Elevation

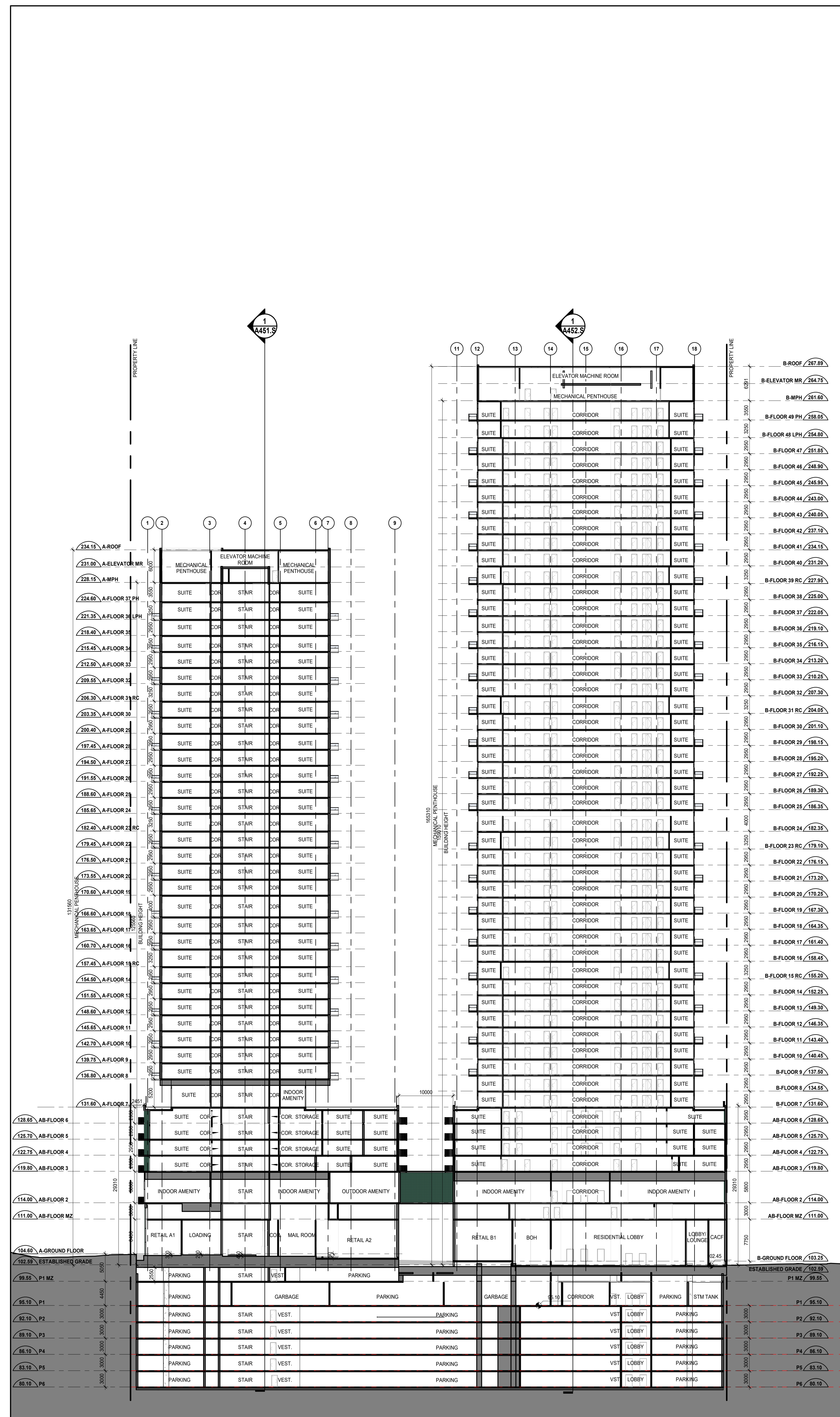
A410.S

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1 BUILDING C - COLOURED ELEVATION
A410.S



1 BUILDING A - EAST WEST SECTION
SCALE: 1:350



2 BUILDING AB - NORTH SOUTH SECTION
SCALE: 1:350

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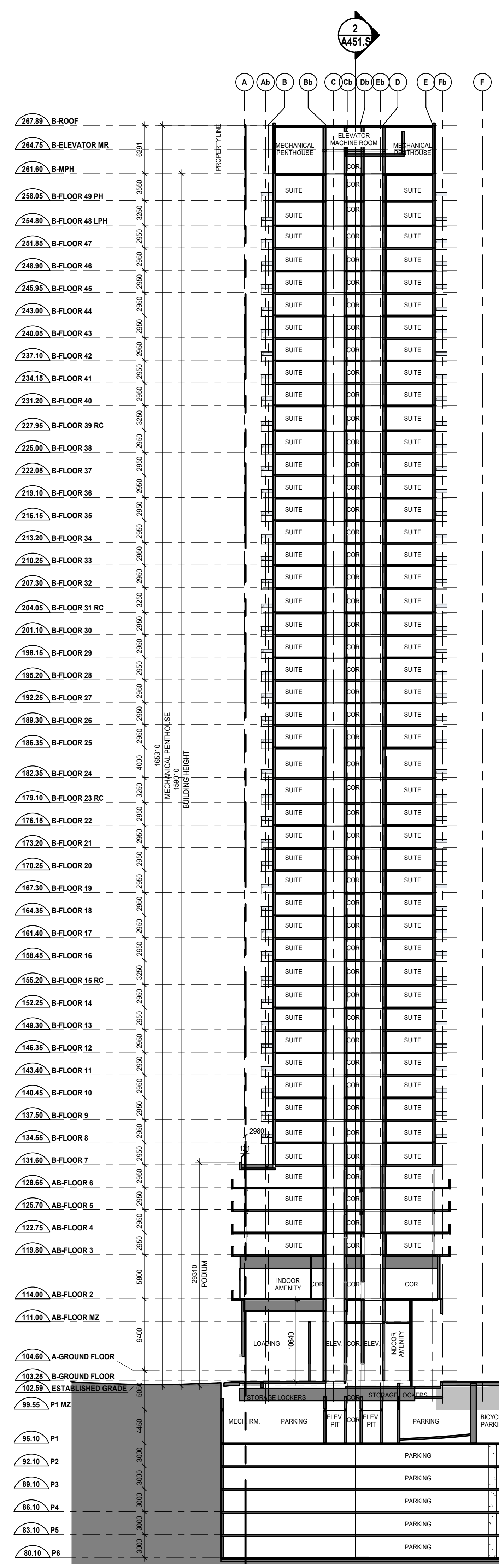
for
Distrikt Developments

19072 1:350 EG KVE
PROJECT SCALE DRAWN REVIEWED

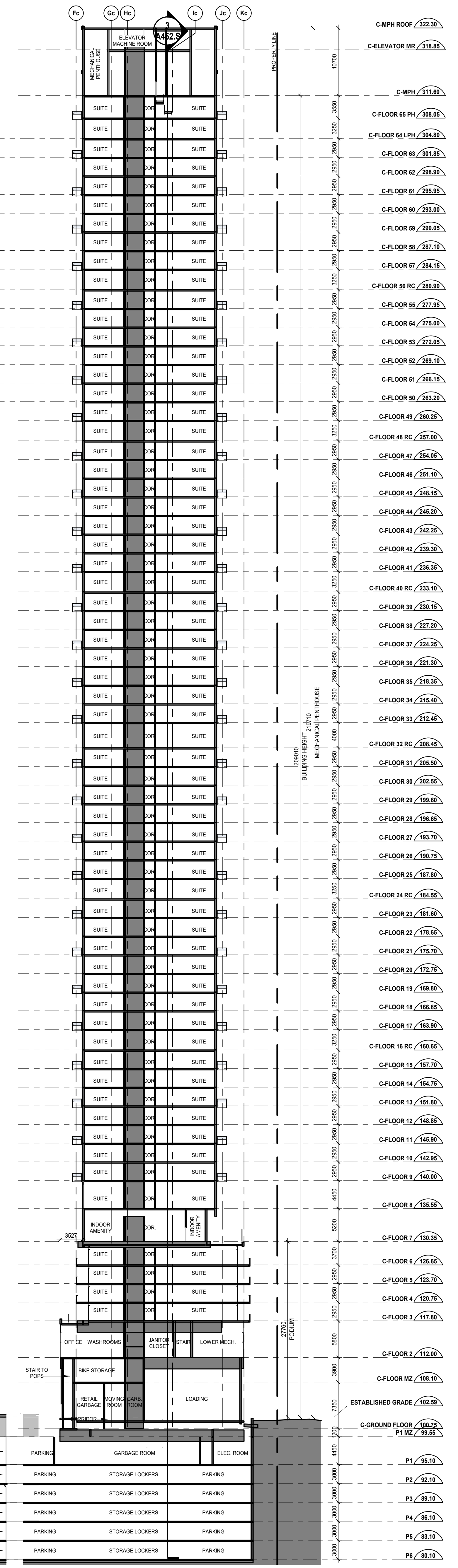
Building A and B Sections

A451.S

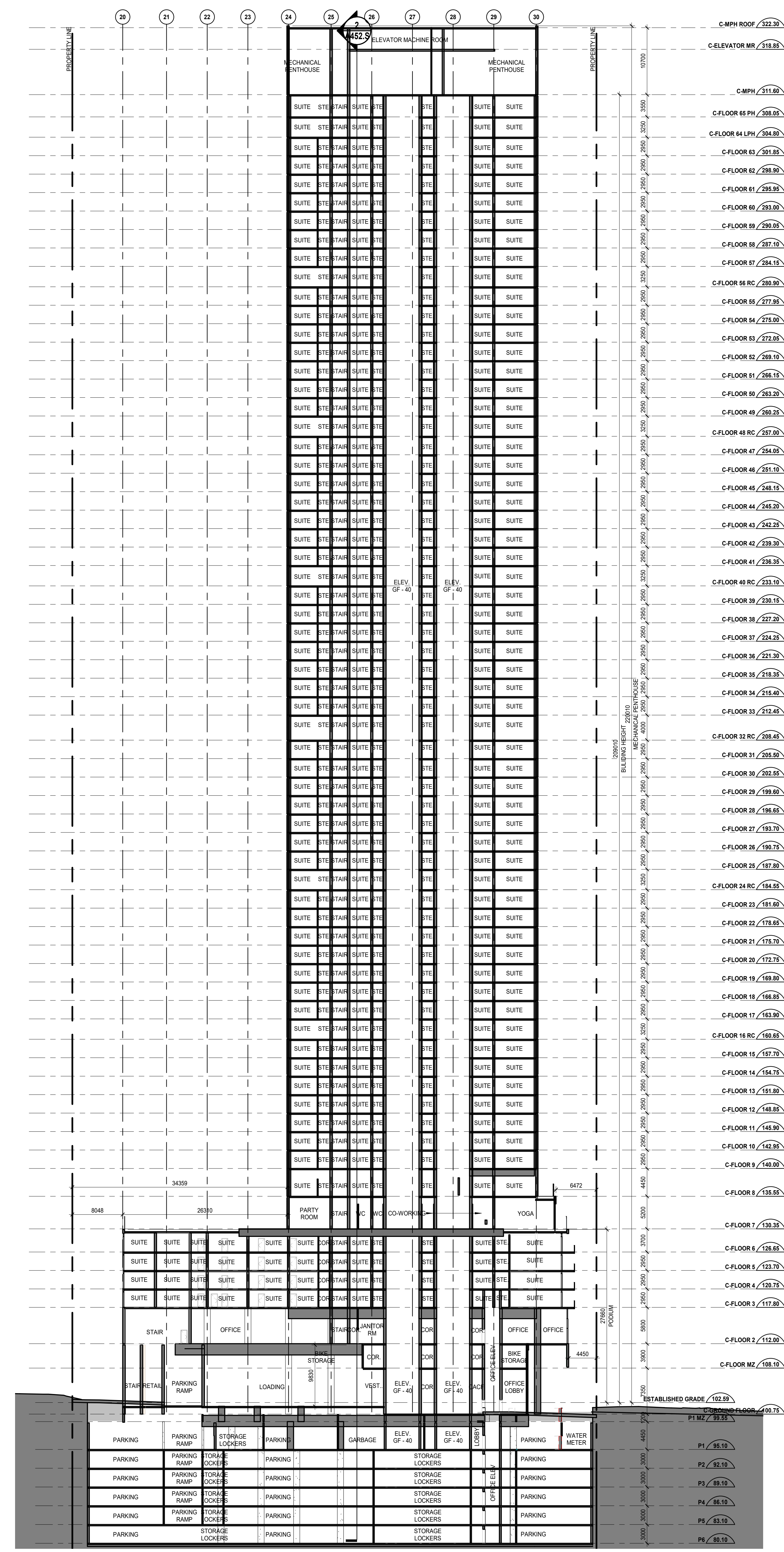
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1 BUILDING B - EAST WEST SECTION
SCALE: 1: 350



2 BUILDING C - EAST WEST SECTION
SCALE: 1: 350



3 BUILDING C - NORTH SOUTH SECTION
SCALE: 1: 350

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19072 1: 350 EG KVE
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Building B and C Sections

A452.S

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