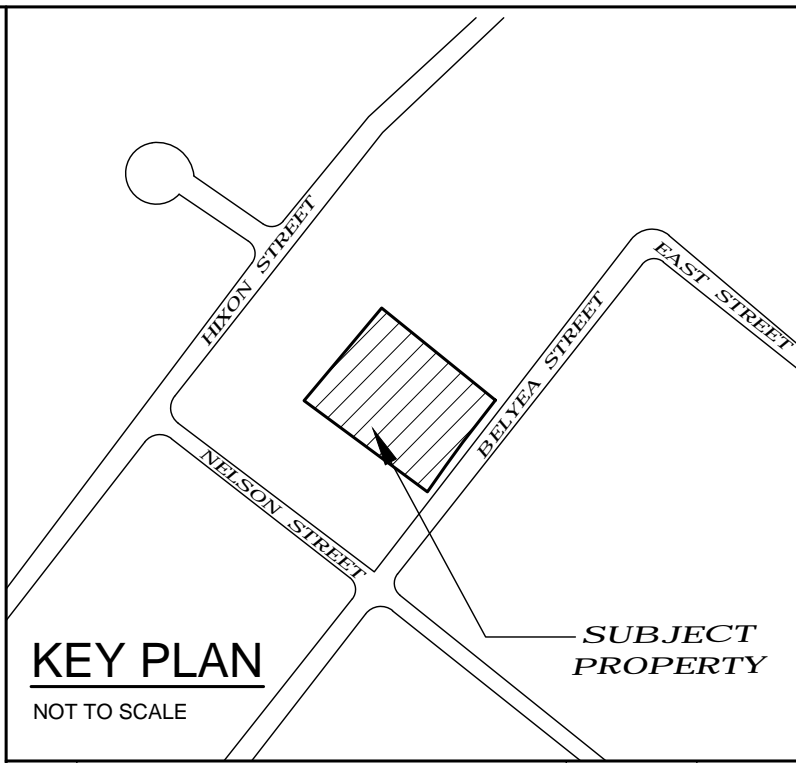


**GENERAL SITE STATISTICS**

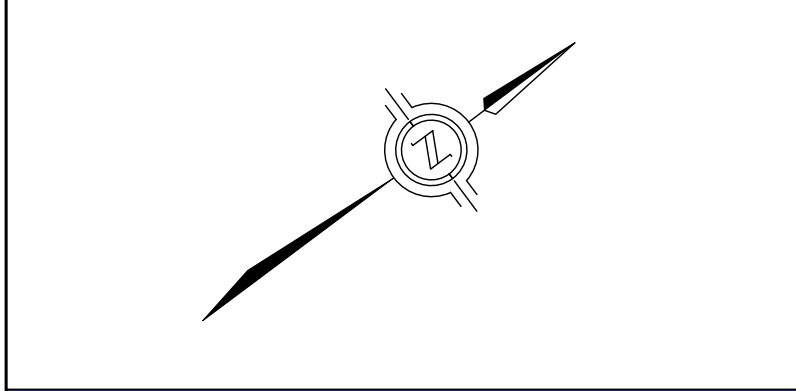
SITE AREA:	4371 m <sup>2</sup> (0.437 ha)
TOTAL UNITS PROPOSED:	22
DENSITY:	50.34 units / ha
MIN. LANDSCAPING COVERAGE:	REQ'D 437.10 m <sup>2</sup> PROPOSED 1559.18 m <sup>2</sup>
MAX. COVERAGE OF DWELLING ON LOT: (INCLUDING PORCH)	N/A 1550.48
<b>PARKING REQUIREMENTS</b>	<b>REQ'D PROPOSED</b>
MAX. NUMBER OF UNITS =	22 22
RESIDENT PARKING 2 PER UNIT X 22 =	44 44
VISITOR PARKING 0.25 PER UNIT (INCLUDING DESIGNATED PARKING)	6 6
DESIGNATED PARKING (3 - 25 SPACES = 1) (REQ'D BY-LAW 2014-014. BASED ON PROVIDED VISITOR PARKING)	1 1
<b>UNIT BREAKDOWN</b>	
T1	6 UNITS
T2	4 UNITS
T3	6 UNITS
T4	3 UNITS
T5	3 UNITS
<b>TOTAL UNIT COUNT =</b>	<b>22 UNITS</b>



**LEGEND**

[Symbol]	AIR CONDITIONING UNIT
[Symbol]	RECESSED HYDRO METER
[Symbol]	HYDRO METER
[Symbol]	GAS METER
[Symbol]	BELL POLE
[Symbol]	GAS MARKER
[Symbol]	GAS VALVE
[Symbol]	HYDRO POLE
[Symbol]	STREET LIGHT
[Symbol]	TRAFFIC SIGNAL
[Symbol]	FIRE HYDRANT
[Symbol]	TRANSFORMER
[Symbol]	HANDWELL
[Symbol]	SIGN
[Symbol]	VALVE CHAMBER
[Symbol]	WATER SERVICE
[Symbol]	WATER VALVE
[Symbol]	SPRINKLER VALVE
[Symbol]	CATCH BASIN
[Symbol]	STORM & SANITARY CONNECT
[Symbol]	SINGLE STORM & SANITARY
[Symbol]	SWALE DIRECTION
[Symbol]	ACCESSIBLE PARKING
[Symbol]	CABLE TV PEDESTAL
[Symbol]	TELEPHONE PEDESTAL
[Symbol]	HYDROLINE
[Symbol]	SUPER MAIL BOX
[Symbol]	EXTERIOR DOOR LOCATION
[Symbol]	DOOR LOCATION
[Symbol]	OPTIONAL DOOR LOCATION
[Symbol]	DROPPED GARAGE SLAB
[Symbol]	SIDE WINDOW LOCATION
[Symbol]	DOWNSPOUT LOCATION
[Symbol]	EMBANKMENT 3:1 SLOPE MAX
[Symbol]	FINISHED FLOOR ELEVATION
[Symbol]	TOP OF FOUNDATION WALL @ GARAGE
[Symbol]	TOP OF FOUNDATION WALL @ SIDE
[Symbol]	BASEMENT FLOOR ELEVATION
[Symbol]	UNDERSIDE OF FOOTING
[Symbol]	UNDERSIDE OF FTG.-GARAGE
[Symbol]	UNDERSIDE OF FTG.-SIDE
[Symbol]	UNDERSIDE OF FTG.-REAR
[Symbol]	UNDERSIDE OF FTG.-PORCH
[Symbol]	DROP BRICK FACE
[Symbol]	WALK OUT DECK
[Symbol]	WALK OUT BASEMENT
[Symbol]	SEMI WALK OUT
[Symbol]	BOTTOM OF WALL
[Symbol]	TOP OF WALL
[Symbol]	REVERSE PLANS
[Symbol]	NUMBER OF RISERS
[Symbol]	PROPOSED ELEVATION
[Symbol]	EXISTING ELEVATION TO BE MAINTAINED
[Symbol]	EXISTING ELEVATION
[Symbol]	1.8 m HIGH NOISE FENCE
[Symbol]	WOOD PRIVACY FENCE
[Symbol]	PERMETER WOOD FENCE
[Symbol]	DECORATIVE FENCE

9	ISSUED TO CLIENT FOR SPA.	MARCH 27, 2019	CV
8	ADDED PRIVACY FENCES, AND COORDINATED SITE PLAN WITH GRADING PLAN AND SITE SERVING PLAN. ADJUSTED REAR DECK & WALK-UPS LOCATIONS BASED ON UPDATED SITING TEMPLATE. COMPLETED SITE STATISTICS. ISSUED TO CONSULTANTS FOR COORDINATION.	MARCH 25, 2019	CV
7	ISSUED SITE PLAN TO LANDSCAPE ARCHITECT FOR COORDINATION.	JAN. 21, 2019	CV
6	ISSUED SCHEME 4 TO CANADA POST FOR COORDINATION.	JAN. 10, 2019	CV
5	ADDED SMALL SPACE PARKING SIGN TO RENTAL SUITE PARKING SPACE ON UNITS 7 & 15. INCREASED SIDE YARD SETBACK FOR VISITOR'S PARKING. SHIFTED ACCESS ROAD TO INCREASE FRONT YARD DEPTH ON LOTS 16-20. ISSUED SCHEME 3 TO MHC FOR COORDINATION.	NOV. 7, 2017	CV
4	REMOVED ON STREET VISITOR PARKING SPACE. ISSUED SCHEME 3 TO MHC FOR COORDINATION.	OCT. 10, 2017	CV
3	ISSUED PRELIMINARY SITE PLAN SCHEME 3 TO BELVEA DEV. FOR DISCUSSION.	SEPT. 21, 2017	CV
2	ISSUED PRELIMINARY SITE PLAN SCHEME 2 TO BELVEA DEV. FOR DISCUSSION.	AUGUST 24, 2017	CV
1	ISSUED PRELIMINARY SITE PLAN TO BELVEA DEVELOPMENT INC.	AUGUST 23, 2017	CV



**Cassidy + Company**  
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FAX (905) 619-1269

Client: **BELYEA DEVELOPMENT INC.**

Project Name: **3 STOREY CONDOMINIUM & FREEHOLD TOWNHOUSE DEVELOPMENT LOT 70, 72 & PART OF LOT 61 TOWN OF OAKVILLE REGIONAL MUNICIPALITY OF HALTON**

Sheet Title: **SITE PLAN**

Drawn by: CV Checked by: PK Date: AUG 2017

Scale: 1 : 250 Drawing No. 1 OF 13  
Project No. 2017-32

**BELYEA STREET**

(RE-CONFIRMED BY THE BOUNDARIES ACT PLAN BA-147, REGISTERED AS PLAN 94-7) P.I.N. 24784-0030

EXISTING FIRE HYDRANT