

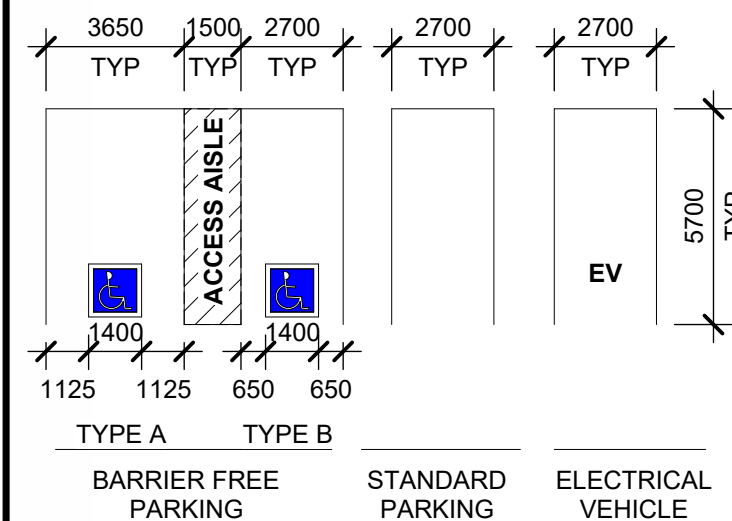
2700 BRISTOL CIRCLE, OAKVILLE, ON. L6H 6E1

A PROJECT FOR

BEEDIE

OVERALL FLOOR PLAN LEGEND

	LANDSCAPE
	SIDEWALK PAVING
	FIRE TRUCK ROUTE
	HEAVY DUTY ASPHALT
	EV PARKING (ELECTRIC VEHICLE)
	FIRE HYDRANT
	CHAIN LINK FENCE
	SEDIMENT CONTROL FENCE
	SWM TANK
	EASEMENT
	MAIN ENTRANCE
	SERVICE ENTRANCE
	GRADE DOOR
	PROPERTY LINE
	BOLLARD
	MAILBOX
	LOADING SPACE 12mX3.5m



△	DATE	REVISION
	2025-08-22	ISSUE FOR SPA
	2025-12-19	RE-ISSUE FOR SPA

PROJECT NO:	255010
DRAWN BY:	MZ
CHECKED BY:	JF
SHEET NAME	

OVERALL SITE PLAN



ONTARIO ASSOCIATION
 OF
 ARCHITECTS
aa/farf
 AMANDA ALVARO SANABRIA
 LICENCE
 7712

SHEET NUMBER

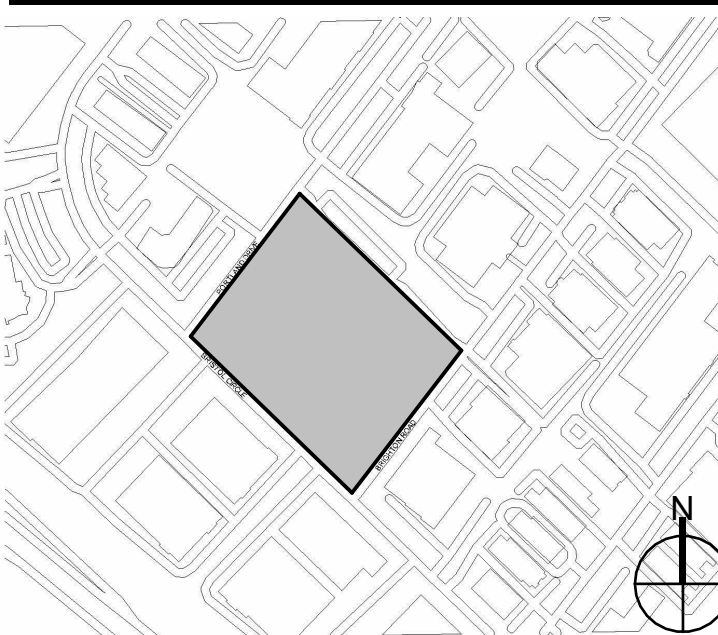
AS101

2025-12-23

GENERAL NOTES

- A. REFER TO CIVIL DRAWINGS FOR SITE SERVICING AND SITE GRADING
- B. REFER TO LANDSCAPE DRAWINGS FOR EXTENT OF WORK
- C. REFER TO ELECTRICAL DRAWINGS FOR ELECTRICAL LIGHTINGS
- D. FINAL INSPECTION BY FIRE DEPARTMENT IS REQUIRED
- E. PROVIDE FIRE ROUTE STRIPPING PER LOCAL JURISDICTION
- F. FIRE HYDRANTS SHALL BE INSTALLED IN ACCORDANCE WITH LOCAL FIRE DEPARTMENT STANDARDS.
- G. FIRE DEPARTMENT ACCESS SITE CONCRETE PAVING TO BE CAPABLE OF WITHSTANDING 90,000 LBS UNDER ALL WEATHER CONDITIONS.
- H. ALL PARKING STRIP STRIPING SHALL BE PER LOCAL JURISDICTION.
- J. ACCESSIBLE PARKING SPOTS AREA TO BE EQUIPPED TO MEET THE APPLICABLE ACCESSIBILITY CODE WITH SIGNAGE AND CORRECT STRIPING
- K. FIRE ROUTE TO HAVE
 - * CLEAR WIDTH NOT LESS THAN 6 M
 - * CENTRELINE RADIUS NOT LESS THAN 12 M
 - * AN OVERHEAD CLEARANCE NOT LESS THAN 5 M
 - * A CHANGE OF GRADE NOT MORE THAN 1 IN 12.5
 - OVER A MINIMUM DISTANCE OF 15M

KEY MAP



PROJECT DATA

APPLICATION BY-LAWS	Zoning (2014-014 BY-LAW) TOWN OF OAKVILLE	
PROJECT DESCRIPTION	CONDOMINIUM INDUSTRIAL BUILDING	
MUNICIPAL ADDRESS	2700 Bristol Circle, Oakville	
ZONING INFORMATION	EZ-SP 333	
ZONING REGULATIONS		
	REQUIRED	PROVIDED
MAX. BUILDING HEIGHT	N/A	9.14 M
MIN. LOT AREA	0.2 HA	3.77 HA
MIN. LOT FRONTAGE	30 M	☒
MIN. FRONT YARD SETBACK	3.0 M	☒
MAX. FRONT YARD SETBACK	N/A	☒
MIN. FLANKAGE YARD	3.0 M	☒
MAX. FLANKAGE YARD	N/A	☒
EXTERIOR SIDE YARD SETBACK	3.0 M	☒
MIN. INTERIOR SIDE YARD SETBACK	3.0 M	☒
MIN. INT. SIDE YARD ABUTTING A LOT	15.0 M	☒
MIN. INT. SIDE YARD ABUTTING ANY RAILWAY CORRIDOR	7.5 M	☒
MIN. REAR YARD SETBACK	3.0 M	☒
MIN. REAR YARD ABUTTING A LOT	15.0 M	☒
MIN. REAR YARD ABUTTING ANY RAILWAY CORRIDOR	7.5 M	☒

PARKING REQUIREMENTS *AS PER TOWN OF OAKVILL Zoning (2014-014 BY-LAW

MOTOR VEHICLE	REQUIRED		PROVIDED	
	WAREHOUSE: 1 PER 100 SM (UP TO 7,500 SM) & 1 PER 200 SM (OVER 7,500 SM) OFFICE: 1 PER 35 SM			
	BUILDING A		PROPOSED PARKING	
	WAREHOUSE: 7,888.59 - 7500 = 388.59 (75) 388.59 / 200 = 2 OFFICE: 3355.66 / 35 = 96		PARKING SPACE ADA TYPE A = 3 PARKING SPACE ADA TYPE B = 2	
	TOTAL	173	STANDARD PARKING SPACES = 113	
	ACCESSIBLE SPACES : 1 + 3% OF TOTAL NO. OF PARKING SPACES 1 + 3.69 = 5		TOTAL	118
	BUILDING B		PROPOSED PARKING	
	WAREHOUSE: 7,917.97 - 7500 = 417.97 (75) 417.97 / 200 = 2 OFFICE: 3233.02 / 35 = 92		PARKING SPACE ADA TYPE A = 3 PARKING SPACE ADA TYPE B = 2	
	TOTAL	169	STANDARD PARKING SPACES = 119	
	ACCESSIBLE SPACES : 1 + 3% OF TOTAL NO. OF PARKING SPACES 1 + 3.84 = 5		TOTAL	124
TOTAL	342		242	
BICYCLE PARKING	REQUIRED		PROVIDED	
	2. PLUS 0.25 PER 1,000 SM OF NET FLOOR AREA		PROPOSED PARKING	
	BUILDING A			
	(11,244.25 / 1,000) x 0.25 = 3 2 + 3 = 5		BICYCLE PARKING SPACES = 5	
	TOTAL	5		
	BUILDING B			
	(11,151.00 / 1,000) x 0.25 = 3 2 + 3 = 5		BICYCLE PARKING SPACES = 5	
	TOTAL	5		
TOTAL	10		10	

PROJECT AREA SCHEDULE

GROSS LOT AREA	%	SQUARE FEET	SQUARE METERS	ACRE
	100	406,501.00	37,765.18	9.33
SITE COVERAGE	ALLOWED	352.92	PROPOSED	
			50%	
LANDSCAPE AREA		REQUIRED		PROVIDED
		3.0 M		3.0 M
LANDSCAPE STRIPS				
OVERALL LOT AREA (406,501.00 SF, 37,765.18 SQ.M)		3,776.51 SQ.M (10%)		3,755.27 SQ.M (9.9%)
FRONTAGE - WEST (35,284.99 SF, 3,277.99 SQ.M)		819.50 SQ.M (25%)		848.35 SQ.M (25.9%)
FRONTAGE - NORTH (19,260.54 SF, 1,786.36 SQ.M)		447.34 SQ.M (25%)		1,230.38 SQ.M (69%)
FRONTAGE - SOUTH (15,496.48 SF, 1,436.67 SQ.M)		359.92 SQ.M (25%)		106.82 SQ.M (74%)

BUDG A	LEVEL	GROSS CONSTRUCTION FLOOR AREA (GCFa)		PERMITTED DEDUCTIONS Zoning (2014-014 BY-LAW)		GROSS FLOOR AREA (GFA) Zoning (2014-014 BY-LAW)		
		SQ.M	SQ.FT	SQ.M	SQ.FT	SQ.M	SQ.FT	
	LEVEL 1	9,564.46	102,972.17	-	62.71	675.00	9,561.73	102,970.17
	MEZZ LEVEL	16.77	18.05	-	-	-	16.77	18.05
	TOTAL	11,244.26	121,032.12	-	62.71	675.00	11,181.55	120,959.32
BUDG B	LEVEL	GROSS CONSTRUCTION FLOOR AREA (GCFa)		PERMITTED DEDUCTIONS Zoning (2014-014 BY-LAW)		GROSS FLOOR AREA (GFA) Zoning (2014-014 BY-LAW)		
		SQ.M	SQ.FT	SQ.M	SQ.FT	SQ.M	SQ.FT	
	LEVEL 1	9,534.48	102,628.21	-	62.71	675.00	9,471.77	101,953.32
	MEZZ LEVEL	1,616.51	17,400.00	-	-	-	1,616.51	17,400.00
	TOTAL	11,151.00	120,028.21	-	62.71	675.00	11,088.29	119,353.32

UNIT SCHEDULE

BUILDING A	NUMBER OF UNITS	13 UNITS
BUILDING B	NUMBER OF UNITS	12 UNITS

OVERALL SITE PLAN

SCALE: 1 : 500

PARTIAL SITE SECTION - VIEW LINE DIAGRAM

SCALE: 1 : 250