

Plan and Guidelines
First and Second Street
Heritage Conservation
District

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1.0 Introduction

1.1 Background, Purpose and Format of the First and Second Street Heritage Conservation District Plan and Guidelines

On May 7, 1987, Council passed By-law 1987-108 to define an area to be examined for future designation as a heritage conservation district (see Figure 1). This area, which contained the same boundaries as the final approved district, was presented and reviewed during three public meetings. During these meetings, the rationale, work program, and draft policies for the potential district were discussed. On February 18, 1988, Council passed By-law 1988-189, a by-law designating the First and Second Street area as a Heritage Conservation District (HCD) under Part V of the *Ontario Heritage Act*. By-law 1988-189 was approved by the Ontario Municipal Board on April 19, 1989.

The District is a residential area that includes 66 properties as shown in Figure 1 below. Of the 66 properties, 65 contain buildings or structures and one parcel is open space owned by the Town.

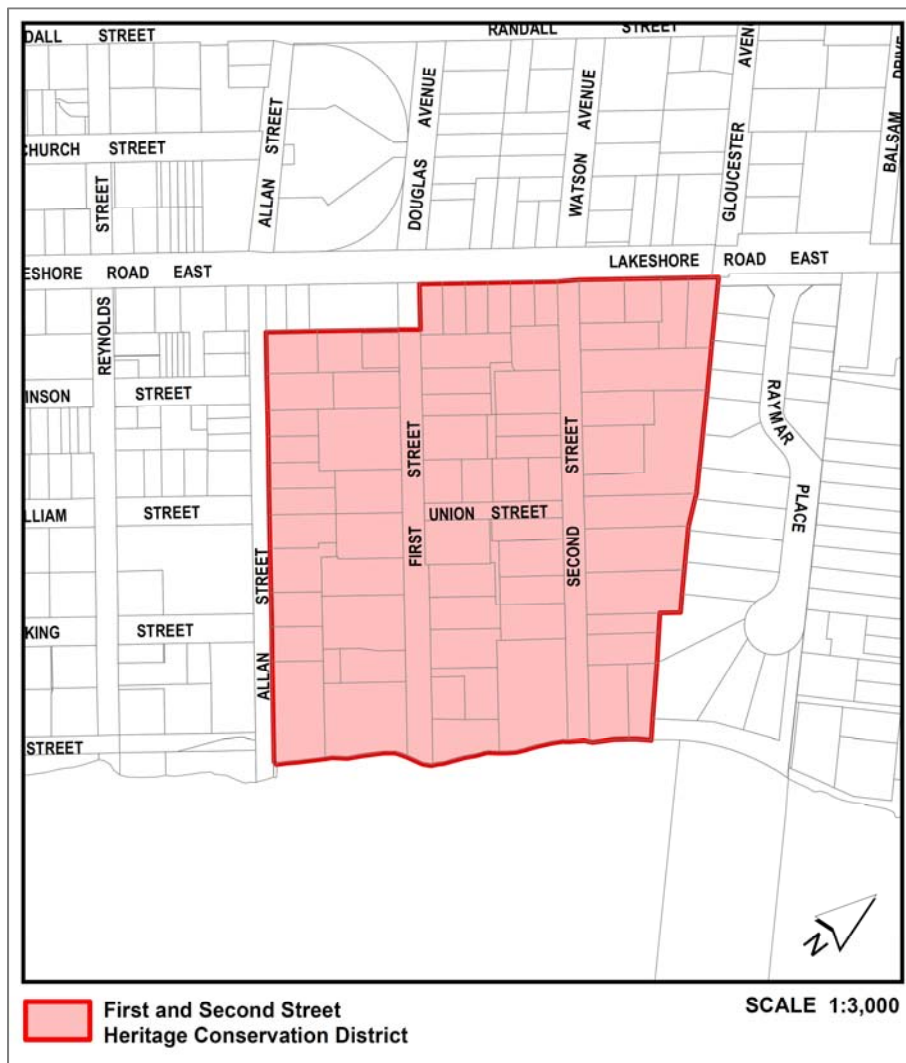


Figure 1: Boundaries of the First and Second Street Heritage Conservation District.

In 1991, the First and Second Street Heritage Conservation District Plan for the new district was completed. This document, which provided guidelines on alterations to properties within the District, was in use by the Town since 1991. Since the First and Second Street HCD was established, there have been numerous changes to heritage legislation and guidelines, including a significant update to the *Ontario Heritage Act* in 2005. In order to ensure the First and Second Street Heritage Conservation District complies with current heritage practices, an update to the HCD Plan document was required. The updated First and Second Street Heritage Conservation District Plan and Guidelines builds on the First and Second Street Heritage Conservation District Heritage Assessment Report, which was completed in February of 2015 and adopted by the Heritage Oakville Advisory Committee and the Town of Oakville Planning and Development Council in March of 2015. The Heritage Assessment Report described and evaluated the cultural heritage value of the First and Second Street HCD. It includes an updated inventory of properties and landscapes within the District, and provides a sense of how the neighbourhood has evolved since the designation of the Heritage Conservation District in 1991. The Report concludes that the area contained within the existing HCD boundary continues to meet the Provincial criteria for designation as a heritage conservation district.

The intention of this document is to provide the framework and guidance for the careful management and protection of the District's heritage resources, including its buildings, spaces and landscape features.

The Plan is structured as follows:

Section 1 introduces the Plan and provides context for the guidelines in accordance with the *Ontario Heritage Act*, including the Statement of Cultural Heritage Value for the District, a description of the District's heritage attributes, and the categorization of properties as contributing or not contributing to the District's heritage value.

Section 2 provides the Town's statement of intent for the HCD and recognizes roles and responsibilities in the management of the District.

Section 3 provides guiding principles and conservation objectives that serve as the foundation for the guidelines.

Section 4 provides guidelines for managing change within the District, including:

- General guidelines and guidelines for alterations and additions to historic properties
- General guidelines and guidelines for alterations, additions and new development on non-historic properties.
- Landscape conservation guidelines for private property.
- Streetscape and landscape conservation guidelines for public property.

Section 5 provides a list of alterations or classes of alterations that are exempt from the Town's Heritage Permit process.

1.2 Provisions of the *Ontario Heritage Act* and Provincial guidance

The *Ontario Heritage Act* is the key provincial legislation that enables municipalities to conserve, protect and manage heritage properties and areas. There are two parts to the *Act* that concern cultural heritage: Part IV enables a municipality to designate individual properties that are of cultural heritage value or interest. Part V enables a municipality to designate by by-law all or any part of a municipality that demonstrates cultural heritage value(s) as a heritage conservation district. As of August 2015 the Town of Oakville has designated 154 properties under Part IV and four heritage conservation districts under Part V containing 418 properties (Old Oakville – 124, First and Second Street – 66, Trafalgar Road – 171, Downtown - 66).

Part V of the *Ontario Heritage Act* lists the following as required contents of a heritage conservation district plan:

- (a) a statement of objectives to be achieved in designating the area as a heritage conservation district;
- (b) a statement explaining the cultural heritage value or interest of the heritage conservation district;
- (c) a description of the heritage attributes of the heritage conservation district and of properties in the district;
- (d) policy statements, guidelines and procedures for achieving the stated objectives and managing change in the heritage conservation district; and
- (e) a description of the alterations or classes of alterations that are minor in nature and that the owner of property in a heritage conservation district may carry out or permit to be carried out on any part of the property, other than the interior of any structure or building on the property, without obtaining a permit under section 42. 2005, c. 6, s. 31.

Guidance on what constitutes a heritage conservation district is provided by a number of sources. The Ontario Ministry of Tourism, Culture and Sport in its published guidelines (*Heritage Conservation Districts, A Guide to District Designation Under the Ontario Heritage Act*) notes that a heritage conservation district:

“...may comprise an area with a group or complex of buildings, or a larger area with many buildings and properties. It may also comprise an entire municipality with a concentration of heritage resources with special character or historical association that distinguishes it from its surroundings.”

Designation of a heritage conservation district is clearly concerned with identifying groups of heritage properties that together with other distinguishing features or attributes form a distinctive place worthy of informed protection and management. The Ontario Ministry of Tourism, Culture and Sport has also noted in its published guidelines (*Heritage Conservation Districts: A Guide to District Designation under the Ontario Heritage Act*) that a heritage conservation district typically displays a number of characteristics:

“A concentration of heritage buildings, sites, structures; designed landscapes, natural landscapes that are linked by aesthetic, historical and socio-cultural contexts or use.

A framework of structured elements including major natural features such as topography, land form, landscapes, water courses and built form such as pathways and street patterns, landmarks, nodes or intersections, approaches and edges.

A sense of visual coherence through the use of such elements as building scale, mass, height, material, proportion, colour, etc. that convey a distinct sense of time or place.

A distinctiveness which enables districts to be recognized and distinguishable from their surroundings or from neighbouring areas.”

The Town of Oakville’s Official Plan requires that cultural heritage resources, including heritage conservation districts, be protected and conserved in accordance with applicable legislation and recognized heritage protocols. Accordingly, any recommendation concerning the prospective delineation and designation of a district is best considered in the context of the provincial advice noted above.

1.3 Statement of Cultural Heritage Value for the First and Second Street Heritage Conservation District

The First and Second Street neighbourhood's Cultural Heritage Values are based on its historic association with the Romain-Smith surveys and its evolution which reflects the overall development of Oakville; its physical character which includes a significant number of heritage buildings from the 19th to the mid-20th century; and the landscape value of its mature trees, large lots, and public access and views towards Lake Ontario.

Description of Historic Place

The First and Second Street neighbourhood is an established residential community that has gradually evolved since it was initially developed in the 1850s. The area has a significant number of heritage residences from the 19th to the mid-20th century.

Located to the east of Oakville's historic town centre, the neighbourhood is a well-defined area with no through-traffic. It is bounded by Lakeshore Road East to the north, Lake Ontario to the south, and Allan Street to the west. Its eastern edge is defined by the rear lot lines of the properties on the east side of Second Street.

Cultural Heritage Values

The neighbourhood's *historical values* are derived from the development of the Romain-Smith surveys. The first parcel was purchased and subdivided by William Francis Romain in 1855, who established the first lots between Allan Street and what would become First Street. A subsequent survey by Thomson Smith to the immediate east of the Romain land laid out the remaining residential parcels as well as the north-south First and Second Streets and the east-west Union Street connecting them. Laneways provided additional inter-block connections. These original subdivisions are evident in the extant residential lots.

The neighbourhood's evolving historic character reflects the history of Oakville. The Town's different waves of development contributed to the neighbourhood's range of architectural styles. The neighbourhood has a significant number of prominent and formal residences from the mid-19th century, a period that coincided with the incorporation of the Town of Oakville and its first construction boom. Following a period of stagnation, a second wave of development began in the early 1900s aided by a number of Town infrastructure projects. As transportation to and from Toronto improved, Oakville became a summer destination, and a large number of eclectically-styled cottages from this period remain. The post-war period was marked by an increased densification starting with the widespread "Victory Housing" boom and continuing into the 1980s. More recent neighbourhood development since the 1991 HCD designation has been characterized by a return to more traditional architectural stylistic influences.

The neighbourhood's *design and physical values* stem from the range of traditional and revival architectural styles, and the consistent massing and proportions of the buildings.

The neighbourhood has *landscape values*, which are derived from the large number of mature trees with significant canopies, the limited sidewalks with grass banding, setbacks with prominent front gardens and lawns which often extend to the street, and views towards Lake Ontario.

1.4 Description of the District's Heritage Attributes

Key attributes that embody the *historical value* of the District include:

- The historical association of numerous 19th and early 20th century residences with prominent early citizens and families of Oakville.
- The Romain House (40 - 42 First Street), former estate of founding politician and businessman of Oakville before being used as the Lakehurst Sanatorium.
- The general layout of the original surveys, which remains legible in lot patterns today, in spite of later lot severances and expansions.
- The continuous residential land use of all private properties within the District, with the exception of 40 – 42 First Street.
- The original grid configuration of First Street, Second Street, Allan Street and Union Street, which facilitates local traffic while limiting through-traffic.
- Lakeshore Road East, which defines the northern edge of the District and serves as an important arterial road providing access to the District, both historically and today.

Key attributes that embody the *design and physical values* of the district include:

- The low-density residential character.
- The consistent massing, scale and proportions of all buildings
- The set-back of buildings from front and side property lines, to varying degrees.
- The extant buildings, development patterns and architectural styles from each of the District's Periods of Significance:
 - o The siting of the buildings on their lots (significantly set-back) and architectural form of prominent Italianate and Georgian residences and estates from the *Survey/Estate Development Period*.
 - o The smaller frame buildings constructed pre-1900 from the *Survey/Estate Development Period*.
 - o The distinctive Edwardian, Tudor Revival, Shingle, Georgian Revival, and Arts and Crafts influenced architecture of the residences from the *Cottage and Residence Building Boom Period*.
- The development pattern of the properties on Union Street and Lakeshore Road East, where lots are uniquely proportioned. Though building footprints on these streets are similar to those on First, Second and Allan streets, the resulting character is distinct on what it is essentially smaller lots.
- Distinctive and traditional construction and cladding materials, including:
 - o Red brick
 - o Wood clapboard
 - o Cedar shingles
 - o Stucco
 - o Lakestone (foundations, pillars, etc.)
- Distinctive and traditional structural and decorative architectural features, including:
 - o Multi-paned wood framed windows, wood shutters
 - o Gable and hip roof forms

- Dormers
- Entrance porches and porticos, in a variety of styles, often incorporating columns
- The predominant orientation of main entrances towards the public realm.
- The location of the major portion of many substantial additions at the rear of heritage structures, with minimal visibility from the public realm.
- The predominant siting of detached garages at the rear of lots, with minimal visibility from the public realm.
- The high standard of maintenance that has been upheld in the District, historically and today.

Key attributes that embody the *landscape values* of the district include:

- The gradual decrease in grade from Lakeshore Road East to the Lake Ontario shoreline.
- The mature deciduous and coniferous trees located on public and private property which provide a distinctive canopy over the streetscapes.
- The unobstructed view to Lake Ontario down Allan Street, First Street and Second Street.
- The public pedestrian access to Lake Ontario via Allan Street, First Street and Second Street.
- The soft landscaping, whether lawn or gardens, in front yards of properties.
- The historic walls, fences, gates and pillars located within or along the boundaries of properties.
- The limited sidewalks on Allan Street, on Union Street, and on First and Second Streets south of Union Street.
- The narrow sidewalks with grass boulevard strips on Lakeshore Road East, on the majority of Second Street and on the east side of First Street (north of Union Street).
- The low level of vehicular traffic, which creates a strong pedestrian character.

1.5 Property Categorization

Using the data in the Property Inventory (Appendix A), each private property within the District was categorized according to whether it contributes or does not contribute to the cultural heritage values and attributes of the District, as outlined in Sections 1.3 and 1.4.

Contributing (Historic) Properties: These properties have heritage value and contribute to the heritage character of the District. Removing or significantly altering one of these buildings would negatively impact the heritage character of the District. This category includes most properties developed prior to 1930, which falls near the end of the District's Cottage and Residence Building Boom (the District's second Period of Significance, as outlined in the *Heritage Assessment Report*). The architectural merit of each building was also taken into consideration. The Contributing Properties represent a variety of Traditional and Revival architectural styles, including Georgian Revival, Italianate, Edwardian Four-Square, Tudor Revival, Shingle, and Arts and Crafts styles. These properties have retained their heritage value and integrity, and often sympathetic renovations and/or additions have taken place in the years since their construction. Their ongoing contribution to the heritage character of the District will be ensured through the application of the policies outlined in Section 4.2 - *Guidelines for Contributing (Historic) Properties*.

Non-Contributing (Non-Historic) Properties: These properties have limited heritage value and do not significantly contribute to the heritage character of the District. This category includes all properties developed after 1930. Several of these properties were designed in a "New Traditional" style, and are considered to be sympathetic to the heritage character of the District although they do not significantly contribute to the historic fabric of the area. By categorizing these properties as "Non-

Contributing”, it is acknowledged that the future redevelopment of the property could be equally or even more sympathetic. All work undertaken on Non-Contributing Properties should be compatible with and sympathetic to the heritage character of the District, in accordance with the policies outlined in Section 4.3 - *Guidelines for Non-Contributing (Non-Historic) Properties*.

A complete address list of Contributing (Historic) and Non-Contributing (Non-Historic) Properties can be found in Appendix E.

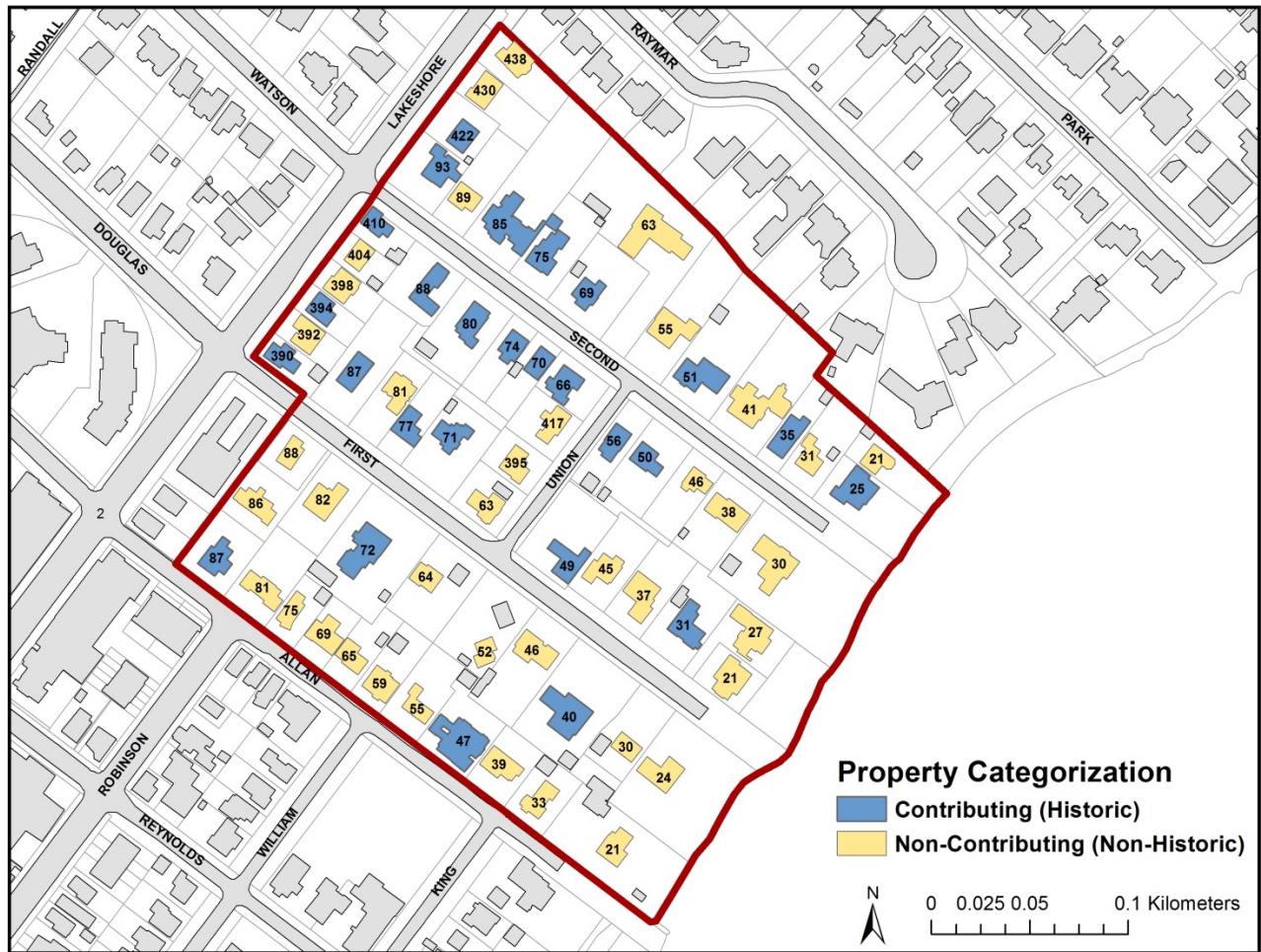


Figure 2: Categorization of properties within the First and Second Street HCD.

1.6 Heritage Permit Process

All public and private properties in the First and Second Street Heritage Conservation District (HCD) are designated under Part V of the Ontario Heritage Act; owners of property in the District should read this document when planning any maintenance work, repairs, alterations, additions or new construction on their property. This document will assist property owners in meeting the objectives of the HCD Plan when undertaking work and ensure compliance with the Ontario Heritage Act and applicable Town of Oakville policies.

Owners of property within the First and Second Street HCD are required to submit a heritage permit for any alteration that might result in the loss, removal, obstruction, replacement, damage or destruction of one or more heritage features on the property, or impact the heritage attributes of the District. Proposed alterations are reviewed by Heritage Planning staff and Heritage Oakville Committee members for consistency with the HCD Plan, as well as any applicable heritage designation by-laws, easement agreements or other heritage protections registered to the individual property.

Property owners should contact Heritage Planning staff to arrange a pre-consultation meeting prior to the submission of a heritage permit application in order to ensure the proposed application meets the relevant requirements and to assist owners in the application process. Following the submission of a heritage permit application, certain alterations that have minimal or no impact on any heritage features or heritage attributes can be approved by Heritage Planning staff. All other applications are forwarded to Heritage Oakville, whose recommendations are then provided to Council for final decision.

The First and Second Street HCD does not preclude consideration of other applicable policies and regulations. Should the proposed alteration require other approvals (such as a minor variance, site plan, building permit, sign permit, site alteration, or tree permit), applicants are encouraged to first seek heritage permit approval. Heritage Planning staff and Heritage Oakville committee members will review all properties with an understanding of site specific considerations, and should be made aware of other approvals required by the applicant at the time of submission.

2.0 Statement of Objectives

2.1 Overall Intent

Within the First and Second Street Heritage Conservation District, it is the intent of Council to guide and manage physical change and development within the District by:

- Adopting the updated First and Second Street Heritage Conservation District Plan and Guidelines;
- Making decisions about heritage permit applications for alterations, demolitions and new construction under Part V of the *Ontario Heritage Act* according to the updated First and Second Street Heritage Conservation District Plan and Guidelines;
- Initiating appropriate public works, improvements and financial incentives to conserve and enhance the character of the First and Second Street Heritage Conservation District within the financial capabilities of the Town of Oakville; and
- Complementing these actions by making appropriate amendments to Official Plan policies, the Town's Zoning By-law and other relevant by-laws.

2.2 Heritage interests, property owner interests and community interests

Council recognizes that within the First and Second Street Heritage Conservation District there are a number of diverse interests. In certain instances these interests may be complementary to each other; inevitably others may be in direct conflict.

Accordingly, Town Council:

- Seeks to ensure that any potential conflict amongst the community and individual interests is at best avoided or minimized at every opportunity.

2.3 First and Second Street HCD heritage character

Council recognizes that:

- The First and Second Street Heritage Conservation District comprises a distinctive assemblage of heritage buildings and streetscapes that have resulted from over a century and a half of many natural, social, economic and physical changes;
- The streetscapes of Allan Street, First Street, Union Street, Second Street and Lakeshore Road East each have a distinct character, which in combination, contribute to the overall vibrancy of the District;
- The unique heritage character of the First and Second Street Heritage Conservation District and its diverse streetscapes are to be conserved and protected in the process of future change;
- Change in the future is expected within the First and Second Street Heritage Conservation District, yet it must be carefully managed in a manner that does not adversely affect the distinctive heritage character of the District; and,

- Any proposed change within the District shall be considered within a number of Council-approved conservation, design, landscaping and planning guidelines and with consideration of the individual merits of the proposed change.

2.4 Town of Oakville conservation management approach

Council recognizes that:

- District designation under Part V of the *Ontario Heritage Act*, does not seek to stop or halt change or seek the restoration of the District to a former past historical state, but simply establishes a mechanism for the municipal review and determination of heritage permit applications for changes to properties, both public and private within the District.
- District designation under Part V of the *Ontario Heritage Act* does not compel, nor does Council seek to compel, the restoration of heritage properties within the District.

2.5 Custodial responsibility

Council recognizes that:

- Owners of heritage property are considered to be the prime custodians of the First and Second Street Heritage Conservation District.

2.6 Alteration of properties

Council recognizes that:

- Property owners may wish to add on to buildings and structures, alter building and landscapes or otherwise change their property to accommodate required working or living space and new facilities and Council may permit such work provided it is in conformity with the applicable guidelines contained in the District Plan.

2.7 Restoration of heritage properties

Council recognizes that:

- Property owners may wish to restore heritage properties and Council may encourage such work by considering financial assistance available for eligible work and ensuring conformity with the applicable guidelines in the District Plan.

2.8 Fair and equitable consideration

Council will undertake to ensure that:

- All residents and property owners within the First and Second Street Heritage Conservation District shall be afforded fair and equitable consideration in the determination of heritage permit applications within the District.

3.0 Conservation Principles and Objectives

3.1 Guiding Principles

The guiding principles of the First and Second Street Heritage Conservation District are founded on the Parks Canada *Standards and Guidelines for the Conservation of Historic Places in Canada* and on the Ontario Ministry of Culture's *8 Principles in the Conservation of Built Heritage Properties*. These standards and principles have been reproduced in Appendix D. They have been reframed below to address the context of the First and Second Street Heritage Conservation District.

1. Interventions must begin with an understanding of the cultural heritage values of the property and the District, as well as the heritage attributes.
2. Interventions must conserve the heritage attributes of the property and its cultural heritage values and contribution to the District.
3. The architectural character of each heritage property should be respected and any addition or alteration should aim to preserve the integrity of the historic property.
4. Any new work should be physically and visually compatible with, subordinate to and distinguishable from the heritage property. The new work and the heritage building should complement each other, so that the new work does not dramatically contrast with or mimic the heritage building.
5. Interventions on the *heritage fabric* must be developed through documenting and understanding the historic and existing condition of the *heritage fabric*, as well as the causes of deterioration.
6. Interventions on the *heritage fabric* should be minimal, and reversible in nature. The gentlest means possible should be used to maintain, clean or repair the *heritage fabric*.
7. *Heritage fabric* should be retained and repaired, rather than replaced.
8. Long term maintenance and repair strategies should address the preservation of the existing historic fabric.

On page 34 of the *Standards and Guidelines*, the concept of new work being compatible with, subordinate to and distinguishable from historic places is explained. This concept is reiterated throughout the guidelines in the following section, so it is beneficial to include the following excerpt from the Parks Canada text here:

Standard 11

Conserve the heritage value and character-defining elements when creating any new additions to an historic place or any related new construction. Make the new work physically and visually compatible with, subordinate to, and distinguishable from the historic place.

Physical compatibility includes using materials, assemblies and construction methods that are well-suited to the existing materials. New materials and assemblies should also have compatible service lives or durability, so that maintenance and repair work can be undertaken concurrently. Not doing so can lead to prematurely replacing adjacent historic materials for the sake of efficiency.

Additions or new construction should be **visually compatible** with, yet **distinguishable** from, the historic place. To accomplish this, an appropriate balance must be struck between mere imitation of the existing form and pointed contrast, thus complementing the historic place in a manner that respects its heritage value.

An addition should be **subordinate** to the historic place. This is best understood to mean that the addition must not detract from the historic place or impair its heritage value. Subordination is not a question of size; a small, ill-conceived addition could adversely affect an historic place more than a large, well-designed addition.

(Parks Canada, *Standards and Guidelines for the Conservation of Historic Places in Canada*, 2010)

3.2 Conservation Objectives

In the long-term stewardship of the First and Second Street Heritage Conservation District and implementation of the HCD Plan and Guidelines, a number of key objectives are sought as follows:

- To maintain and conserve the vibrant heritage character of Allan Street, First Street, Union Street, Second Street and Lakeshore Road East
- To protect and enhance heritage property in both the public and private realm including existing residential buildings and secondary structures, views of Lake Ontario, and streetscapes.
- To avoid the loss or removal of heritage buildings, structures, and landscape fabric and encourage only those changes that are undertaken in a manner that if such alterations were removed in the future, the essential form and integrity of the heritage property, materials, and fabric would remain unimpaired.
- To encourage property owners to continuously make repairs and undertake maintenance of property in order to conserve the overall character and appearance of the District.
- To support the continuing care, conservation, and maintenance of heritage properties wherever appropriate by providing guidance on sound conservation practice and directing owners to available funding sources for eligible work.
- To encourage the maintenance and protection of the public realm of the District, as well as to avoid or minimize adverse effects of public undertakings.
- To manage trees, tree lines and grass boulevards that contribute to the cultural heritage value of the District.
- To prevent the establishment of those land uses and associated built forms and features which would be out of keeping with or have detrimental effects upon the residential character of the District.
- To avoid the demolition of existing heritage buildings or structures and their replacement with incompatible new development.
- To permit new development only when such change complements the prevailing low-density residential character of District and its existing heritage buildings and streetscapes.
- To encourage public realm improvements within the road corridors that respect the heritage attributes and residential character of the streets.

4.0 Guidelines for Managing Change

4.1 Introduction and Key References

The following section contains policies and guidelines for managing change on Contributing (Historic) Properties, on Non-Contributing (Non-Historic) Properties, and in the public realm.

Section 1 (Introduction) outlines in detail the cultural heritage value and attributes of the District, identifying and illustrating trends in building form and massing, architectural styles, materials, landscaping, streetscape treatments, and other features that define the District's heritage character. The heritage attributes and cultural heritage values that are referenced in the policies and guidelines refer to those described in Section 1.

A heritage permit will be required for any work on public and private property within the District, excepting those alterations described in Section 5 – *Exempt Alterations and Classes of Alterations*.

The impact of any interventions on what is visible from the public realm will take precedence over the impact of interventions at the rear or to the interior of the property. The public realm includes any street, sidewalk, laneway, park, or other public space inside or outside of the District boundary.

4.1.1 DEFINITIONS

The following terms appear italicized throughout the document. Please note that titles of legislation and publications are also italicized.

Addition – an alteration that involves the construction of a new structure or partial structure adjoining the existing structure.

Alteration

“alter” - to change in any manner and includes to restore, renovate, repair or disturb; and
“alteration” - has a corresponding meaning. (*Ontario Heritage Act*)

Attached Garage – a garage that is annexed to the main structure of the house but contained within its own roof form.

Cultural Heritage Resource – includes buildings, structures and properties designated or listed under the *Ontario Heritage Act*, significant built heritage resources, and significant cultural heritage landscapes as defined and interpreted by the applicable Provincial Policy Statement (*Livable Oakville, Town of Oakville Official Plan, 2009*).

Cultural Heritage Value – the aesthetic, historic, scientific, cultural, social or spiritual importance or significance for past, present and future generations. The heritage value of an historic place is embodied in its character-defining materials, forms, location, spatial configurations, uses and cultural associations or meanings (*Standards and Guidelines for the Conservation of Historic Places in Canada, 2010*).

Detached Garage – a garage structure that stands independently from the main structure of the house.

Heritage Attribute – in relation to real property and to the buildings and structures on the real property, the attributes of the property, buildings and structures that contribute to their cultural heritage value or interest (*Ontario Heritage Act, 2005*).

Heritage Building – the primary structure and any associated outbuildings located on a Contributing Property.

Heritage Character – the collective qualities and characteristics that distinguish a particular area or neighbourhood (*Livable Oakville, Town of Oakville Official Plan, 2009*).

Heritage Fabric – all physical building, landscaping, and construction materials of a heritage property that relate to its historic period of significance

In kind – with the same form, material and detailing as the existing (*Standards and Guidelines for the Conservation of Historic Places in Canada, 2010*).

Integral Garage – a garage that is incorporated under the main roof structure of the house.

Intervention – any action, other than demolition or destruction, that results in a physical change to an element of a contributing property (*Standards and Guidelines for the Conservation of Historic Places in Canada, 2010*).

Maintenance – routine, cyclical, non-destructive actions necessary to slow the deterioration of a historic place. It entails periodic inspection; routine, cyclical, non-destructive cleaning; minor repair and refinishing operations; replacement of damaged or deteriorated materials that are impractical to save (*Standards and Guidelines for the Conservation of Historic Places in Canada*).

New Development – the construction of a new residence or primary structure on a property where the previous residence has been demolished or removed, or on a new lot created by severance.

Non-Traditional Style – an architectural style originating post-1945.

Patina – the result of the natural aging of a material, which provides it with a protective coating.

Preservation – the action or process of protecting, maintaining, and/or stabilizing the existing materials, form, and integrity of an historic place, or of an individual component, while protecting its heritage value (*Standards and Guidelines for the Conservation of Historic Places in Canada, 2010*).

Property – real property, including all buildings and structures thereon (*Ontario Heritage Act – Part V, 2005*)

Public Realm – any street, sidewalk, laneway, park, or other public space inside or outside of the District boundary. Please note that public realm may include portions of rear and side yards that are visible from the street.

Rehabilitation – the action or process of making possible a continuing or compatible contemporary use of an historic place, or an individual component, while protecting its heritage value (*Standards and Guidelines for the Conservation of Historic Places in Canada, 2010*).

Restoration – the action or process of accurately revealing, recovering or representing the state of an historic place, or of an individual component, as it appeared at a particular period in its history, while protecting its heritage value (*Standards and Guidelines for the Conservation of Historic Places in Canada, 2010*).

4.2 Guidelines for Contributing (Historic) Properties

4.2.1 GENERAL GUIDELINES

4.2.1.1 Understanding

4.2.1.1.1 *Alterations* and *additions* to a Contributing Property shall be based on a firm understanding of the built features of that property and how they contribute to the *heritage character* of the District.

- a. In order to determine appropriate *interventions*, take into account:
 - the historic architectural style and identified period of significance of the building;
 - the changes that have been made to the building over time; and
 - the building’s current condition.
- b. Determine the cause of any distress, damage or deterioration of *heritage fabric* prior to planning any *interventions*, in order to determine the appropriate scope of work and to preserve the building fabric.

4.2.1.1.2 *Alterations* and *additions* to a Contributing Property may be permitted once the *cultural heritage value* and *attributes* of the property have been documented, once the impact of proposed *alterations* and/or *additions* on those *cultural heritage values* and *attributes* has been determined, and once appropriate mitigation measures have been proposed.

- a. A Heritage Impact Assessment (HIA) may be requested, to be completed in accordance with the Town of Oakville’s Development Application Guidelines for Heritage Impact Assessments. The HIA shall include an assessment of the impact of the proposal on the *cultural heritage values* and *attributes* of District in addition to those of the specific property.

4.2.1.2 Compliance

4.2.1.2.1 Current codes and standards pertaining to health, safety, security, accessibility and sustainability requirements shall be adhered to in a way that does not negatively impact the *heritage character* of the Contributing Property and the District.

4.2.1.3 Demolition and Relocation

4.2.1.3.1 The demolition of Contributing Properties shall not be permitted, except in extenuating circumstances, which result in severe structural damage. A structural engineering report may be required, to be completed by an engineer with demonstrated experience with historic buildings. A peer review of the structural engineering report may be required, at the applicant’s expense, at the discretion of Town of Oakville Heritage Planning staff. Demolition will only be permitted if the structural assessment concludes that the house is structurally beyond repair or that the damage is significant enough that the building no longer has any heritage value.

- a. Demolition permits would not be supported for properties that have deteriorated through neglect.
- b. Properties that have suffered severe structural damage or deterioration due to unforeseen events (e.g. fire, flood, tornado, earthquake, or other natural disasters) may be permitted to be demolished.
- c. If a demolition permit is granted, the classification of the property (ie. as a Contributing Property) may be re-evaluated. If the property is determined to be Non-Contributing, the redevelopment of the property will be required to follow all policies under Section 4.3 - *Guidelines for Non-Contributing (Non-Historic) Properties*.
- d. Demolition **in part** of a *Contributing Property* may be considered on a case by case basis to accommodate new side or rear additions that have minimal impact on the *heritage fabric* of the *heritage building*.

4.2.1.3.2 Applications for relocating buildings on Contributing Properties will generally not be permitted, but may be considered on a case-by-case basis including an application following or involving the [proposed] severance of a property.

4.2.1.4 Spaces around Buildings

4.2.1.4.1 Maintain historic distances between buildings and the picturesque rhythm of buildings within streetscapes.

- a. The maximum lot coverage for main residences as well as accessory buildings and structures, including *detached garages*, shall be the maximum lot coverage permitted for properties in the District under the Town of Oakville Zoning By-Law in effect, subject to amendments and variances that may be approved
- b. The minimum setback for main residences as well as accessory buildings and structures, including *detached garages*, shall be the minimum setback permitted for properties in the District under the Town of Oakville Zoning By-Law in effect subject to amendments and variances that may be approved.

4.2.1.4.2 Maintain traditional views of *heritage buildings* from the *public realm*.

- a. Prominent building features shall not be blocked or obscured with fencing, hardscaping features, service or utility equipment, garages or other accessory buildings.

4.2.1.4.3 Maintain historical means of access to Contributing Properties, including driveways and walkways.

4.2.1.4.4 Special consideration may apply to buildings of atypical orientation, on lakefront lots and/or on corner lots.

Refer to Section 4.4.1 Guidelines for Landscape Conservation and Design – Private Property for more detailed guidance regarding spaces around buildings.

4.2.1.5 Lot Severance and Assembly

- 4.2.1.5.1 Proposals for lot severances and assemblies will be assessed in accordance with the policies of the Official Plan and Zoning By-Law in effect subject to amendments and variances that may be approved. A heritage permit may be required.
- 4.2.1.5.2 Applications for *additions* bridging assembled lots will be considered on a case-by-case basis, according to the following criteria:
- a. Maintenance of the historic distances between buildings and the picturesque rhythm of buildings within streetscapes shall be considered;
 - b. Long street elevations that would break this historic streetscape rhythm shall not be permitted;
 - c. Any *heritage building(s)* shall remain clearly distinct and identifiable; and
 - d. Any proposed linking structure shall be subordinate to the *heritage building(s)*, as described by in Section 3.1 of this Plan.

4.2.2 ALTERATIONS TO CONTRIBUTING (HISTORIC) PROPERTIES

4.2.2.1 Heritage Fabric

- 4.2.2.1.1 *Alterations* to a Contributing Property shall be physically and visually compatible with the *heritage fabric* of the property, with regard to architectural style, detailing and materials.
- a. *Alterations* shall not create a false sense of historical development by adding historic building elements from other places, properties or historic periods, and shall not combine features that never coexisted on the building.
 - b. When reinstating historical architectural elements, ensure that the design of forms, materials and detailing are based on appropriate historical photographs or documentation.
- 4.2.2.1.2 *Alterations* to a Contributing Property shall minimize loss of *heritage fabric*.
- a. Repair damaged or deteriorated *heritage fabric* rather than replacing it.
 - b. When replacements are necessary, replace *heritage fabric in kind*, using the same form, materials and details as the original.

Best Practices – Heritage Building Fabric

Reinstate historic architectural elements that have been removed, neglected or obscured when undertaking *alterations* to a Contributing Property.

4.2.2.3 Roofs

- 4.2.2.3.1 Protect and maintain historic roof forms.

- 4.2.2.3.2 Protect and maintain historic roof features, including dormers, chimneys, eaves, and other features related to specific architectural styles. (See *Appendix C: Architectural Style Guide*)
- a. If a historic chimney is no longer in use, cap and conserve the chimney rather than removing it. Proposals to remove replacement and/or non-historic chimneys will be assessed on a case-by-case basis.
 - b. New chimneys may be permitted, providing they match the design and architectural style of the *heritage building* and existing chimneys, where applicable.
 - c. Repair rather than replace historic roof features.
 - d. Replace only roof features that have deteriorated beyond repair, rather than replacing an entire roof or roofline.
- 4.2.2.3.3 Roofing materials shall be replaced *in kind*, matching the form, materials and details of the original.
- a. Asphalt shingles, cedar shingles and cedar shakes are appropriate roofing materials for the District. The use of alternative materials that mimic the appearance of asphalt or cedar will be considered on a case-by-case basis. Metal roofing materials will not be permitted. Membranes will only be considered on flat roofs.
 - b. Aluminum or PVC soffits and fascia will not be permitted.
- 4.2.2.3.4 Rooftop equipment and drainage elements shall be discreetly integrated and shall not negatively impact the *heritage character* of the District.
- a. New skylights, roof ventilation equipment, plumbing vents, solar cells and other stacks may be permitted, providing they are located on secondary or rear elevations and are not visible from *public realm*.
 - b. Eavestroughs and downspouts shall be appropriately designed to manage water properly and direct drainage away from building foundations.
 - c. The form, materials and colours of eavestroughs and downspouts shall not distract or detract from the *heritage character* of the building.
 - d. Flashing should be coloured to match the wall against which it is located.



Figure 3: Cedar shingle roofing on 71 First St. (left); asphalt shingle roofing on 48 First St. (right).

Best Practices - Roofs

Where structural faults or problems in the historic roof design exist, the detailing of roof elements may be improved with contemporary materials in a manner that is physically and visually compatible with the heritage building, following recognized conservation practices.

Where alterations have been made to address structural faults or problems in the historic roof design, they should be retained so long as they do not have a negative impact on the heritage character of the building. If they do have a negative impact on the heritage character of the building, adjust detailing following recognized conservation practices when undertaking roof alterations.

When undertaking roof alterations, replace newer unsympathetic roof features based on appropriate historic documentation.

Completely remove existing materials, such as shingles, before applying new roofing materials.

4.2.2.4 Dormers

4.2.2.4.1 Protect and maintain historic dormers.

- a. The removal or obstruction of historic dormers shall not be permitted.
- b. Repair rather than replace historic dormers.
- c. Replace only dormer materials that have deteriorated beyond repair, rather than replacing an entire dormer.
- d. Replace dormer materials *in kind*. For windows in dormers, refer to the guidelines in the following sub-section – 4.2.2.5



Figure 4: Dormers on 80 Second St. (left), and 72 First St. (right).

- 4.2.2.4.2 New dormers may be permitted on *heritage buildings* only where they are compatible with the architectural style and form of the *heritage building*. (See Appendix C – *Architectural Style Guide*)

- a. Scale new dormer windows to complement the design and scale of the roof, windows and any existing dormers.
- b. Locate new dormer windows facing the rear of the property, where feasible.

Best Practices - Dormers

Single dormer windows should be square or vertically proportioned, and should have the same proportions or be slightly smaller than the uppermost windows in the elevation below.

Dormer body proportions should be driven by the dormer window proportions.

4.2.2.5 Windows

- 4.2.2.5.1 Protect and maintain the placement, orientation, shape and size of historic window openings.
 - a. The removal or obstruction of historic window openings is strongly discouraged. Consideration shall be given to proposed alterations to historic windows that are located on side or rear elevations in a manner that does not diminish the *heritage character* of the structure or District.
 - b. Maintain historic solid-to-void ratios and the rhythm of windows and bays.
- 4.2.2.5.2 Protect and maintain historic window features, including surrounds, brick moulds, materials, frame, sashing, muntins, hardware, glazing and storm windows.
 - a. Maintain historic glazing.
 - b. Historically operable windows shall maintain their operability.
 - c. Repair rather than replace historic window features.
 - d. Replace only window features that have deteriorated beyond repair, rather than replacing an entire window unit.



Figure 5: Leaded glass windows at 85 Second St. (left); wood windows with true divided lights at 75 Second St. (right).

- 4.2.2.5.3 When window replacement is necessary, windows and window features shall be replaced *in kind*, matching the form, appearance, glazing patterns, operability and details of the original windows.
- a. Maintain the pattern of window divisions in their original configurations.
 - b. Glue-on or snap-on muntins (ie. window grilles) shall not be permitted. Muntins shall be true divided lights or simulated divided lights with dark spacers at every muntin. Simulated divided lights should be integral to the window sash. Aluminum muntins may be used where stronger muntins are required to support sealed window units while maintaining the original thinner muntin profiles. These muntins shall be made integral to the sash frame.
 - c. Replacement windows shall be wood. Aluminum-clad wood may be permitted, providing the original moulding profiles have been reproduced. The exception is leaded windows, which should be replaced *in kind*.
 - d. Vinyl, fiberglass and metal windows shall not be permitted. They are not compatible with the *heritage character* of the District, and do not adequately replicate wood windows in their detailing, finishes, profiles and colour: their sashes, frames and mouldings are often much flatter in appearance.
 - e. Ensure that all window sills are sloped away from the exterior wall, with drip edges when they extend beyond the face of the exterior cladding
 - f. Remove, repair and reuse the existing brick moulds. When these cannot be salvaged, their size, profile and detailing shall be replicated. Ensure that the original relationship between the brick moulds, the window trim and the window frame are maintained.
 - g. Remove, repair and reuse the existing window trims. When these cannot be salvaged, their material, size, profile and detailing shall be replicated. Ensure that the original relationships between the brick moulds, the window trim and the window frame are maintained. Ensure that the original relationship between the window trim and the exterior cladding is maintained.

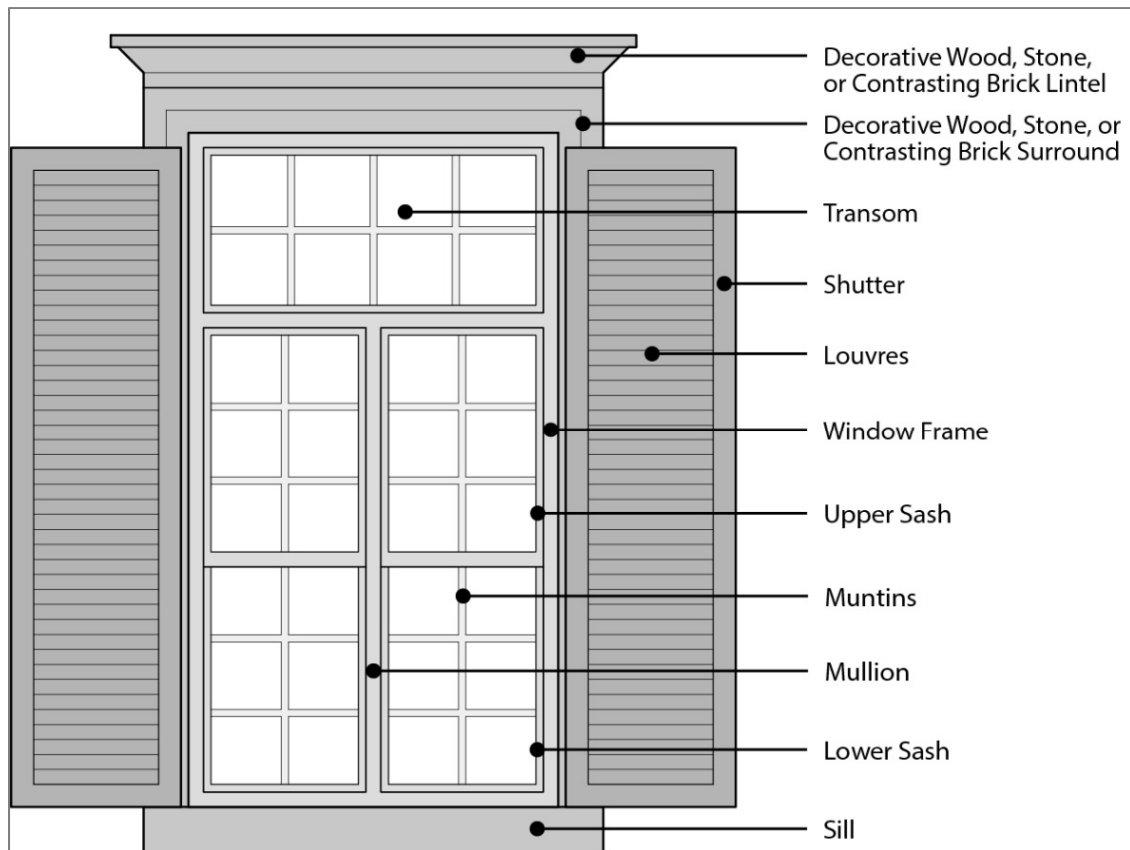


Figure 6: Diagram of typical window features (note: this exact design may not be present in the District).

- 4.2.2.5.4 New window openings may be permitted only where their location, alignment, proportions, materials and design is compatible with the architecture of the *heritage building*, as exemplified by the existing rhythm of windows and bays.
- Match the material and design of new windows to other windows on the same elevation.
 - Where casement, double-hung, or other traditionally-operable window styles are used in new window openings, they shall be operable.

Best Practices - Windows

Reinstate historic windows that have been removed or blocked, based on appropriate documentary evidence.

Replace newer unsympathetic window or shutter features, based on appropriate documentary evidence.

Historic wood windows, when properly maintained, can last 60 to 100 years. Aluminum, vinyl or fiberglass windows cannot be repaired and need to be replaced. Modern sealed window units have a 15 to 20 year life span. Consider the following alternatives prior to replacing historic windows or designing new windows:

- Reinstate exterior storm windows that have been removed. A single glazed window with an exterior storm window can be as effective as a sealed window unit.
- Retrofit sealed glazing units into the historic sashes as an alternative to replacing the whole window.

Replacement glazing should be considered only when the existing glazing is damaged or the historic sash is being retrofitted with sealed glazing units.

Replace all damaged weather-stripping to ensure air tightness of window assembly. The performance of single-glazed windows will be significantly improved by proper weather-stripping that reduces air infiltration.

Regularly maintain the caulking around the windows.

The sills are often the most damaged features of windows, and can be replaced using dutchman repairs, leaving the window frame in place. Sashes can be removed for in-shop repairs.

4.2.2.6 Shutters

4.2.2.6.1 Protect and maintain historic shutters.

- a. The removal or obstruction of historic shutters shall not be permitted.
- b. Repair rather than replace historic shutters.
- c. Replace only the shutter elements (e.g. individual louvers) that have deteriorated beyond repair, rather than replacing an entire shutter.

4.2.2.6.2 When shutter replacement is necessary, shutters shall be replaced *in kind*, matching the form, materials and details of the original.

4.2.2.6.3 New shutters may be permitted only where they are physically and visually compatible with the architectural style and form of the *heritage building*. (See Appendix C – *Architectural Style Guide*)

- a. Attach shutters to the window casing rather than the wall. Provide hinges and hooks to allow shutters to be functional.

- b. Design shutters in a style appropriate to the architectural style of the *heritage building*, including paneled or louvered styles. Louvers may be fixed or operable.
- c. The dimensions of shutters shall be one-half the width of the sash they are covering allowing them to effectively cover the window if closed.
- d. Wooden shutters shall be painted in a colour appropriate for the materiality and colours of the *heritage building*.



Figure 7: Appropriately-sized shutters on 66 Second St., (left); inappropriately small shutters on a building not located in the District (right) (source: <http://www.oldhouseguy.com/shutters/>).

Best Practices – Shutters

Reinstate historic shutters that have been removed or blocked, based on appropriate documentary evidence.

Replace newer unsympathetic shutters, such as those that are too narrow, based on appropriate documentary evidence.

Restore historic shutters that have been removed from their hinges and attached to the wall on either side of the window. New hardware should be found and the shutters re-hung.

4.2.2.7 Entrances

- 4.2.2.7.1 Protect and maintain the placement, size and orientation of historic entrance openings.
 - a. The removal or obstruction of historic entrance openings shall not be permitted.
 - b. Maintain historic entrances as functioning entrances.
 - c. Maintain historic hierarchies of entrances on buildings, where they exist.
- 4.2.2.7.2 Protect and maintain historic entrance features, including doors, door surrounds, materials, glazing, lighting and steps.
 - a. Repair rather than replace historic entrance features.
 - b. Replace only entrance features that have deteriorated beyond repair, rather than replacing an entire entrance unit.

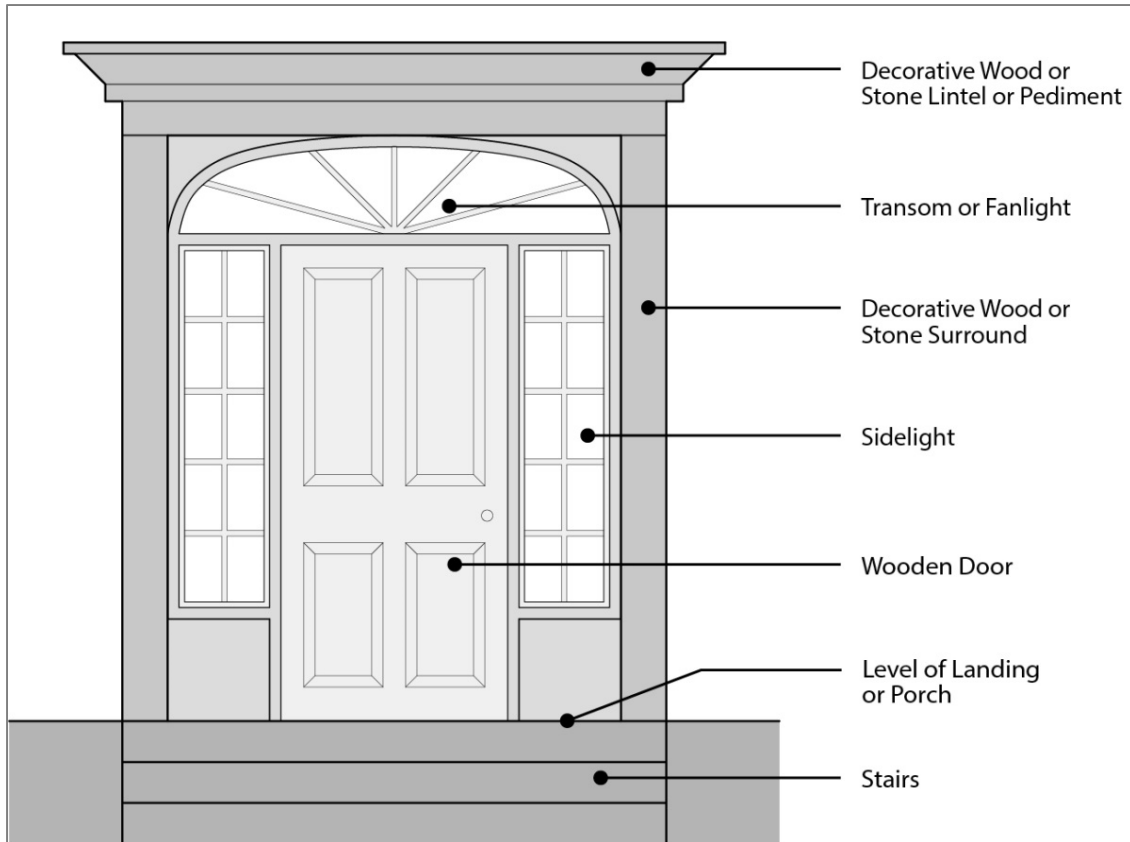


Figure 8: Diagram of typical features of an entrance (note: this exact design may not be present in the District).

- 4.2.2.7.3 When the replacement of entrance features is necessary, features shall be replaced *in kind*, matching the form, appearance, materials and details of the original.
- Wood panelled doors are most appropriate for the District. Aluminum doors that mimic wood panelling may be considered on a case-by-case basis, providing they effectively replicate wood doors in their detailing, finishes and colour.
 - Wood is the most appropriate material for screen doors. Aluminum and steel framed screen doors may be considered on a case-by-case basis.
 - Sliding doors and other doors that do not swing shall not be permitted.
- 4.2.2.7.4 New entrances on the historic portion of a building may be permitted only where their location, alignment, proportions, materials and design is compatible with the architecture of the *heritage building*, as exemplified by the existing entrances and the rhythm of bays.
- New entrances shall be subordinate to the primary historic entrance in terms of location and design. New entrances should be located on secondary elevations.
 - Doors and door surrounds of new entrances shall be detailed in a style and materials appropriate to the architectural style of the *heritage building*.
 - Wood panelled doors are most appropriate for the District. Aluminum doors that mimic wood panelling may be considered on a case-by-case basis, providing they effectively replicate wood doors in their detailing, finishes and colour.

- d. Wood is the most appropriate material for screen doors. Aluminum and steel framed screen doors may be considered on a case-by-case basis.
- e. Sliding doors and other doors that do not swing shall not be permitted.

4.2.2.7.5 Entrance ramps may be permitted for barrier-free access to *heritage buildings* in accordance with applicable legislation.

- a. In order to avoid damage to the *heritage fabric*, entrance ramps shall not be physically attached to the *heritage building*. In exceptional circumstances, attachments may be permitted where they minimize damage to the *heritage fabric*.
- b. The location of entrance ramps shall not negatively impact the *heritage building*. In some cases, it may be most appropriate to place ramps at a secondary entrance.

Best Practices – Entrances

Reinstate historic entrance openings that have been removed or blocked, based on appropriate documentary evidence

Replace newer unsympathetic entrance features based on appropriate documentary evidence.

Improve weather protection and energy efficiency of existing doors through re-puttying and replacing or installing weather-stripping, adjusting hardware, and sealing openings and joints, rather than replacing the historic doors.

4.2.2.8 Foundations

4.2.2.8.1 Protect and maintain existing foundations by ensuring that site drainage is directed away from building and porch foundations.

4.2.2.8.2 When the foundations of buildings or porches have settled or deteriorated excessively, rebuild damaged foundation walls or piers rather than demolishing the structure. Install temporary support for the structure above while the damaged wall or pier is reconstructed.

4.2.2.9 Porches and Porticos

4.2.2.9.1 Protect and maintain historic porches and porticos and their features, including posts, brackets, railings, steps and roofs.

- a. The removal or obstruction of historic porch and portico features shall not be permitted.
- b. Repair rather than replace historic porch and portico features.
- c. Replace only the porch or portico features that have deteriorated beyond repair, rather than replacing an entire porch or portico.



Figure 9: Porch on 72 First St. (left); portico on 410 Lakeshore Rd. E. (right).

4.2.2.9.2 Porches and porticos may be permitted as *additions* to *heritage buildings*, providing they are in a style that is appropriate for the architectural style of the *heritage building*, and are physically and visually compatible with the *heritage building* in terms of placement, orientation, design and materials.

- a. When classical architectural elements, including columns and entablatures, are used on new porches or porticos, they should conform to classical proportions.
- b. Acceptable materials for porches and porticos include wood, metal and stone. The use of composite and engineered wood will be considered on a case-by-case basis.



Figure 10: Compatible porch added to 25 Second St. in 1991 (left); 25 Second St. prior to 1991 (right) (source: original First and Second St. HCD Plan, 1991).

Best Practices – Porches and Porticos

Reinstate historic porches and porticos that have been removed or blocked, based on appropriate documentary evidence.

Replace newer unsympathetic porch and portico features based on appropriate documentary evidence.

On new porches and porticos, use materials for columns that facilitate proper column design, such as wood, with brick or stone for column bases.

4.2.2.10 Garages

4.2.2.10.1 Protect and maintain historic garages.

4.2.2.10.2 *Alterations* to existing garages must not negatively impact the Contributing Property in terms of the garage's architectural style, massing, design, materials, colour and location on the lot.

4.2.2.10.3 Non-historic garages on Contributing Properties may be removed or replaced, provided any replacement garage is subordinate to and compatible with the *heritage character* of the District.



Figure 11: Historic garages at 75 Second St. (left); and 80 Second St. (right).

4.2.2.11 Utility and Service Equipment

4.2.2.11.1 Utility and service equipment shall not negatively impact the *heritage building* and shall be located so as to minimize its visibility from the *public realm*.

- a. Service hardware (such as utility meters, cable TV and telephone connections), commercial mechanical elements (such as dryer vents, heat reclamation vents, furnace and water heater exhausts, gas fireplace exhausts and kitchen exhausts), and ground mounted electrical and mechanical hardware (such as heat pumps, transformers and air conditioning units) shall not be located on main elevations, and

should not be visible from the *public realm*. If visible from the *public realm*, screen appropriately using landscaping features. (See Section 4.4.1 - *Guidelines for Landscape Conservation and Design – Private Property, for guidance on screening*)

4.2.2.12 Exterior Walls

4.2.2.12.1 Protect and maintain historic architectural features of exterior walls, including cladding materials, exposed structural elements (such as pilasters and half-timbering) and decorative elements (such as articulated brickwork, quoining and date stones).

- a. The removal or obstruction of historic architectural features of exterior walls shall not be permitted.
- b. *Alterations* and *maintenance* work should not remove, cover or obscure the patina of age or irregularities found in older work and materials. The patina is the result of the natural aging of a material and provides it with a protective coating.
- c. Repair rather than replace historic materials.
- d. Replace only materials that have deteriorated beyond repair. Document the patterns, profiles and detailing of materials prior to repairing or replacing them.
- e. Where historic materials have deteriorated beyond repair, replace deteriorated materials *in kind*, maintaining the compositions, size, finishes, patterns, tooling and colours of the original. Replacement materials should also match the physical characteristics of the original such as vapour permeability and compressive strength.
- f. Historically unpainted masonry surfaces shall not be painted.
- g. Maintain historically painted surfaces, including stucco, wood clapboard and wood shingles.
- h. New finishes or coatings that alter the appearance of historic materials shall not be applied, especially where these finishes are substitutes for the repair of historic materials. Staining of new masonry to match historic masonry may be permitted with products that do not alter the permeability of the masonry. A heritage permit will be required to approve colour, product and staining technique. Staining mortar may not be permitted.
- i. Exterior Insulation and Finish Systems (EIFS) shall not be permitted. In addition to being aesthetically incompatible with the *heritage character* of the District, this material can promote mould growth and retain moisture in building fabrics that were intended to breathe.

4.2.2.12.2 **Guidelines for Specific Materials:** The guidelines below provide additional direction for specific materials. All guidelines under sub-section 4.2.2.12 – *Exterior Walls* are also applicable. Refer to Parks Canada’s *Standards and Guidelines for the Conservation of Historic Places* for additional guidelines and best practices relating to specific cladding materials (ie. masonry, wood, concrete, metals, glass, plaster and stucco).

- a. Protect and maintain the historic appearance of **wood** finishes and elements.
 - Identify the species of wood prior to doing any repairs or replacements. For dutchman repairs, the pieced-in sections should, whenever possible, match the species of the existing element being repaired.

- When replacing and/or repairing wood siding, shingles and other wood elements, document their pattern, size, detailing, profile, and colour prior to removal.
 - Replace *in kind* any wood element including wood siding, shingles, trim, half-timbering, decorative elements, railings, stairs, porch columns and finishes. Composite and engineered wood may be considered on a case-by-case basis, providing they effectively replicate the historic cladding, trim or other sections of the exterior wall.
 - Replicate historic siding and shingle patterns when replacing or repairing them.
 - Ensure that the original relationships between the trim and siding are maintained.
 - Historic wood siding and shingles shall not be clad over.
 - Metal, vinyl or plastic composite siding shall not be permitted
 - Eaves, soffits or fascias shall not be permitted to be clad or flashed in metal.
- b. Protect and maintain the historic appearance of **masonry (brick and stone)**.
- Sandblasting masonry surfaces shall not be permitted. This will remove the harder, more durable kilned face of the brick exposing its softer interior.
 - Brick or stone shall not be painted, unless it was historically painted according to documentary evidence.
 - When removing paint from masonry surfaces, do so in a manner that does not damage the historic materials. Protect adjacent surfaces and landscaping. A heritage permit is required for paint removals.
 - When replacing bricks, ensure that the new bricks match the appearance and physical properties of the original. Modern bricks are generally stronger, smaller and less vapour permeable than historic bricks. The use of a stronger brick in a historic wall assembly can accelerate the deterioration of the surrounding historic bricks. Historic bricks are still available from specialty suppliers. Staining new bricks to match historic brick may be permitted, see guidance in Section 4.2.2.12.1.
 - Repoint brick masonry using a physically and visually compatible mortar mixture and traditional pointing methods, recreating the original tooling and joint profile. The pointing mortar should be softer and more vapour-permeable than the masonry. When cutting or raking out joints, use appropriate methods to ensure that the arises of the bricks or stone are protected from damage. When rebuilding a section of historic masonry, ensure that the original coursing and joint widths are maintained.
 - Protective sealants shall not be applied to masonry. These sealants are often vapour impermeable and will trap moisture within the masonry assembly accelerating its deterioration.
- c. Protect and maintain the historic appearance of the **stucco** surfaces.
- Exterior Insulation and Finish Systems (EIFS) shall not be permitted as a replacement material for stucco. In addition to being aesthetically incompatible

with the heritage character of the District, this material can promote mould growth and retain moisture in building fabrics that were intended to breath.

- Repair the substrate, where required, to ensure the structural stability of the stucco finish.
- Retain and repair existing stucco finishes where possible. When replacement is required, replace stucco with in-kind materials, typically with a historically appropriate three-coat application. Reproduce the original finish, colour, strength and texture patterns.
- Ensure that the patching and repair materials used are physically and visually compatible with the historic stucco.
- Ensure that the paint systems used are physically and visually compatible with the historic stucco, especially with regards to vapour permeability.

Best Practices – Exterior Walls

Regularly inspect and maintain the exterior materials on *historic buildings*.

Ensure that water shedding, drainage and management elements are functional: that sills, cap stones and other exposed horizontal are sloped with drip edges; that the ground is sloped away from the foundations to prevent splash-back and provide proper drainage; that gutters and downspouts are functional; that sealants and flashing are in good condition; that projecting eaves are maintained; and that masonry joints are sound.

When cleaning, use the gentlest means possible so as to remove soiling while maintaining the *patina* of the historic materials. Protect adjacent surfaces including the landscaping. Perform mock-ups prior to cleaning to ensure that the chosen method will not negatively impact the historic materials.

Determine and address the causes of material deterioration prior to developing any *maintenance*, repair or replacement scope of work.

Assess the condition and composition of the stucco and its substrate prior to developing any repairs strategies. Document the original finishes' texture and colour prior to undertaking any work.

Remove deteriorated paint prior to repainting. When removing paint, use the gentlest means possible. Select colours for repainting that are compatible with the architectural style, cladding materials and colour of the heritage building.

Replace newer unsympathetic exterior cladding materials based on historic documentation.

4.2.3 ADDITIONS TO CONTRIBUTING (HISTORIC) PROPERTIES

4.2.3.1 Heritage Fabric

4.2.3.1.1 *Additions to a Contributing Property shall be physically and visually compatible with, sympathetic to and distinguishable from the heritage fabric of the property, with regard to the location, massing, height, proportions, architectural style, detailing and materials of the addition.*

4.2.3.1.2 *Additions to a Contributing Property shall minimize the loss of heritage fabric.*

Refer to Section 3.1 – Guiding Principles for a discussion of the terms “compatible”, “subordinate” and “distinguishable”, as they pertain to this Plan.

4.2.3.2 Location

4.2.3.2.1 *Additions to a Contributing Property shall be located towards the rear of, or sufficiently set back from, the heritage building.*

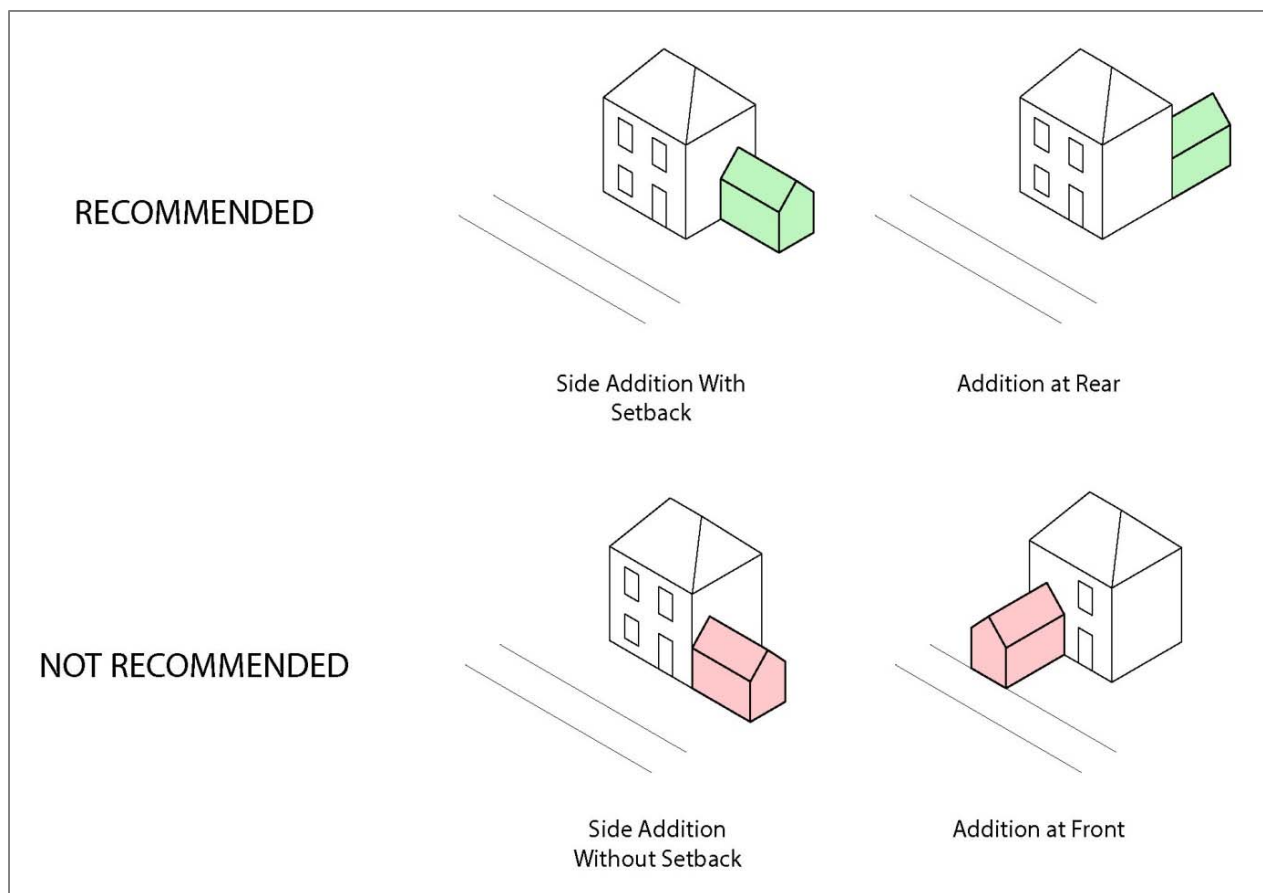


Figure 12: Guidelines for the location of additions to Contributing Properties.

4.2.3.3 Scale and Massing

- 4.2.3.3.1 The design of *additions* shall be subordinate to the *heritage building*; that is, the *addition* must not devalue or distract from the *heritage building*.
- 4.2.3.3.2 The massing and proportions of *additions* shall be simple and subordinate to the *heritage building*.
- 4.2.3.3.3 *Additions* shall not negatively impact the proportional symmetry of the *heritage building*.
- 4.2.3.3.4 The massing and proportions of additions should conform to any applicable regulations of the Town of Oakville Zoning By-law in effect subject to amendments and variances that may be approved.

Refer to Section 3.1 – Guiding Principles for a discussion of the term “subordinate” as it pertains to this Plan.

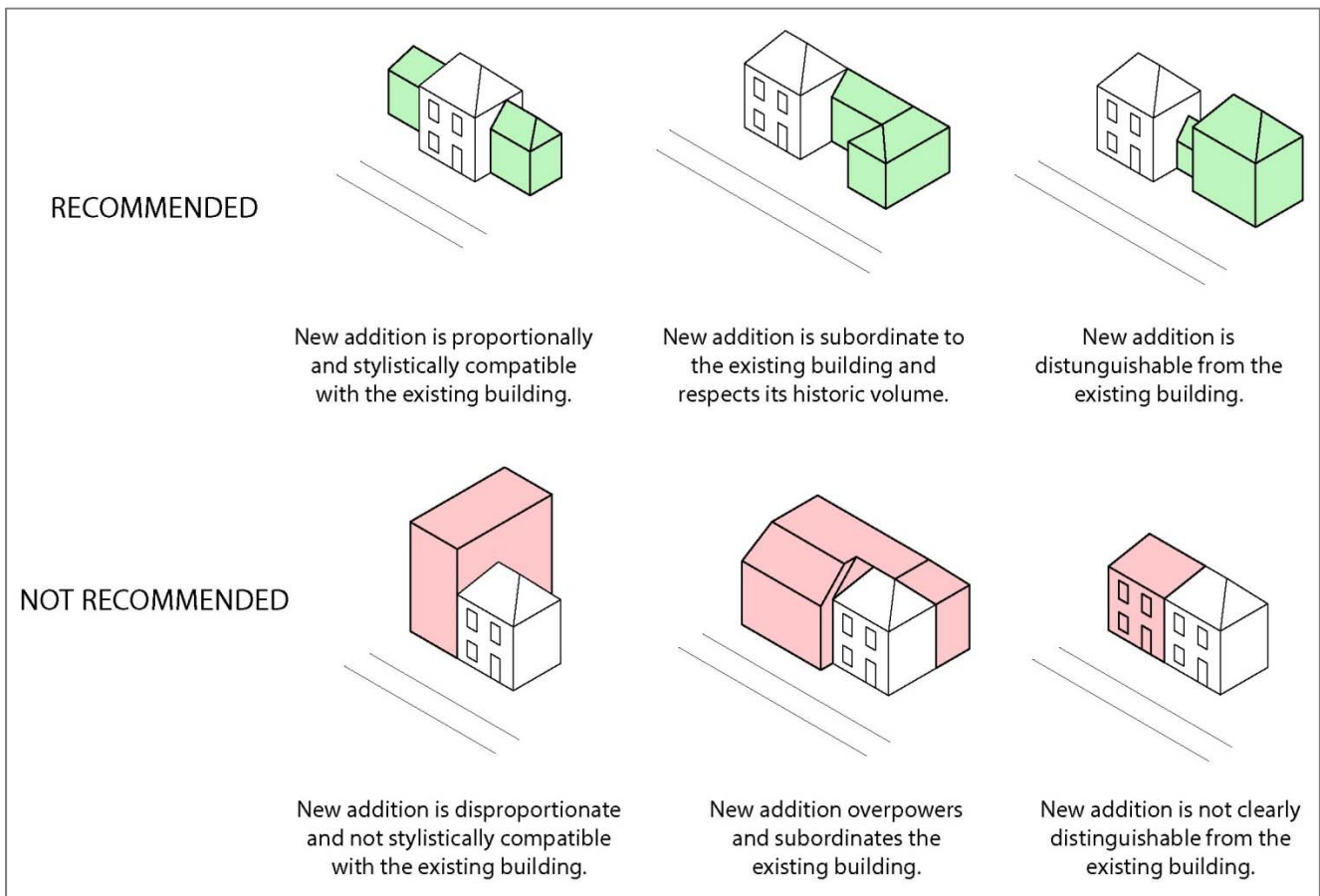


Figure 13: Guidelines for the scale and massing of additions to Contributing Properties.



Figure 14: 75 Second St. - an 1850s house with a compatible early 20th century two-storey addition set back to the side of the main elevation (left); 56 Second St. – a 1914 house with a compatible 2002 one-storey addition at the rear of the main structure (viewed from side elevation on Union St.) (right).

4.2.3.4 Height

- 4.2.3.4.1 Protect and maintain the historic low-rise scale of the District.
 - a. The maximum height for Contributing Properties shall be the maximum height permitted for the District under the Town of Oakville’s Zoning By-law in effect subject to amendments and variances that may be approved.
- 4.2.3.4.2 The height of an *addition* may exceed that of the historic portion of the *heritage building*, up to the maximum height stated above, providing all other applicable policies and guidelines in this document are met and the overall scale, massing and design of the *addition* is subordinate and compatible with the *heritage building*.

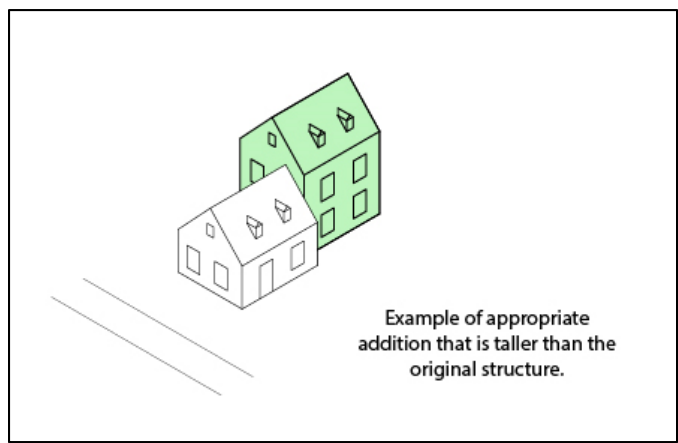


Figure 15: Guidelines for the scale and massing of additions to Contributing Properties.

4.2.3.5 Style

- 4.2.3.5.1 The design of an *addition* should reflect the architectural style of the *heritage building*, in terms of roof form, massing, materials, and other architectural features, such as windows and entrances. Compatible variations of the architectural style of the *heritage building* may be permitted for *additions*.
- 4.2.3.5.2 Contemporary or non-traditional styles may be permitted for additions, providing they meet the guidelines of Standard 11 of the *Standards and Guidelines for the Conservation of Historic Places in Canada* as described in Section 3.1, respect the guidelines for additions to Contributing Properties and do not negatively impact the *heritage character* of the District.

4.2.3.6 Roofs

- 4.2.3.6.1 Protect and maintain historic roof forms and roof features, including dormers, chimneys, eaves, and other features related to specific architectural styles. (See *Appendix C – Architectural Style Guide*)
- 4.2.3.6.2 The roof form of an *addition* shall be physically and visually compatible with that of the *heritage building*.
- Gable roofs and hipped roofs are the most appropriate roof forms for the District.
 - Mansard roofs and gambrel roofs are not appropriate for the District.
 - While not appropriate for entire structures or large *additions*, flat roofs and shed roofs may be permitted for small *additions*, where compatible with the form and architectural style of the *heritage building*.
- 4.2.3.6.3 Roofing materials used on *additions* shall be physically and visually compatible with the roofing materials of the main roof of the *heritage building*.
- Asphalt shingles, cedar shingles and cedar shakes are appropriate roofing materials for the District. The use of alternative materials that mimic the appearance of asphalt or cedar will be considered on a case-by-case basis. Metal roofing materials will not be permitted. Membranes will only be considered on flat roofs.
 - Aluminum or PVC soffits and fascia will not be permitted.
- 4.2.3.6.4 Rooftop equipment and drainage elements shall be discreetly integrated and shall not negatively impact the *heritage character* of the District.
- Skylights, roof ventilation equipment, satellite dishes, plumbing vents and other stacks may be permitted on *additions*, providing they are located on secondary or rear elevations and are not visible from *public realm*.
 - Eavestroughs and downspouts shall be appropriately designed to manage water properly and direct drainage away from building foundations.
 - The form, materials and colours of eavestroughs and downspouts shall not distract from or negatively impact the architectural style of the *heritage building*.
 - Flashing should be coloured to match the wall against which it is located.

4.2.3.7 Dormers

4.3.3.7.1 Protect and maintain historic dormers.

4.3.3.7.2 New dormers may be permitted on *additions* to *heritage buildings*, only where they are compatible with the architectural style and form of the *heritage building* and the *addition*. (See *Appendix C – Architectural Style Guide*)

- a. Scale new dormers to complement the design and scale of the roof, windows, and any existing dormers on the *heritage building*.

Best Practices - Dormers

Single dormer windows should be square or vertically proportioned, and should have the same proportions or be slightly smaller than the uppermost windows in the elevation below.

Dormer body proportions should be driven by the dormer window proportions.

4.2.3.8 Windows

4.2.3.8.1 Protect and maintain the placement, orientation, shape and size of historic window openings and features.

4.2.3.8.2 Windows located on an *addition* to a *heritage building* shall be compatible, in terms of alignment, proportions, design and materials, with the rhythm of bays and windows on the *heritage building*.

- a. Where casement, double-hung, and other traditionally-operable window styles are used on *additions*, they shall be operable.
- b. Blank windowless walls shall not be permitted.
- c. Consider the historic solid-to-void ratios and the rhythm of windows and bays. In the District, this void ratio has ranged from 15% to 35%, with the exception of sun rooms or conservatories.
- d. Windows shall be wood. Aluminum-clad wood windows may be permitted, providing they effectively replicate wood windows.
- e. Vinyl, fiberglass and metal windows shall not be permitted. They are not compatible with the *heritage character* of the District. They do not adequately replicate wood windows in their detailing, finishes, profiles and colour; their sashes, frames and mouldings are often much flatter in appearance.
- f. Glue-on or snap-on muntins (ie. window grilles) shall not be permitted. Muntins shall be true divided lights or simulated divided lights with dark spacers at every muntin. Simulated divided lights should be integral to the window sash. Aluminum muntins may be used where stronger muntins are required to support sealed window units while maintaining the original thinner muntin profiles. These muntins shall be made integral to the sash frame.

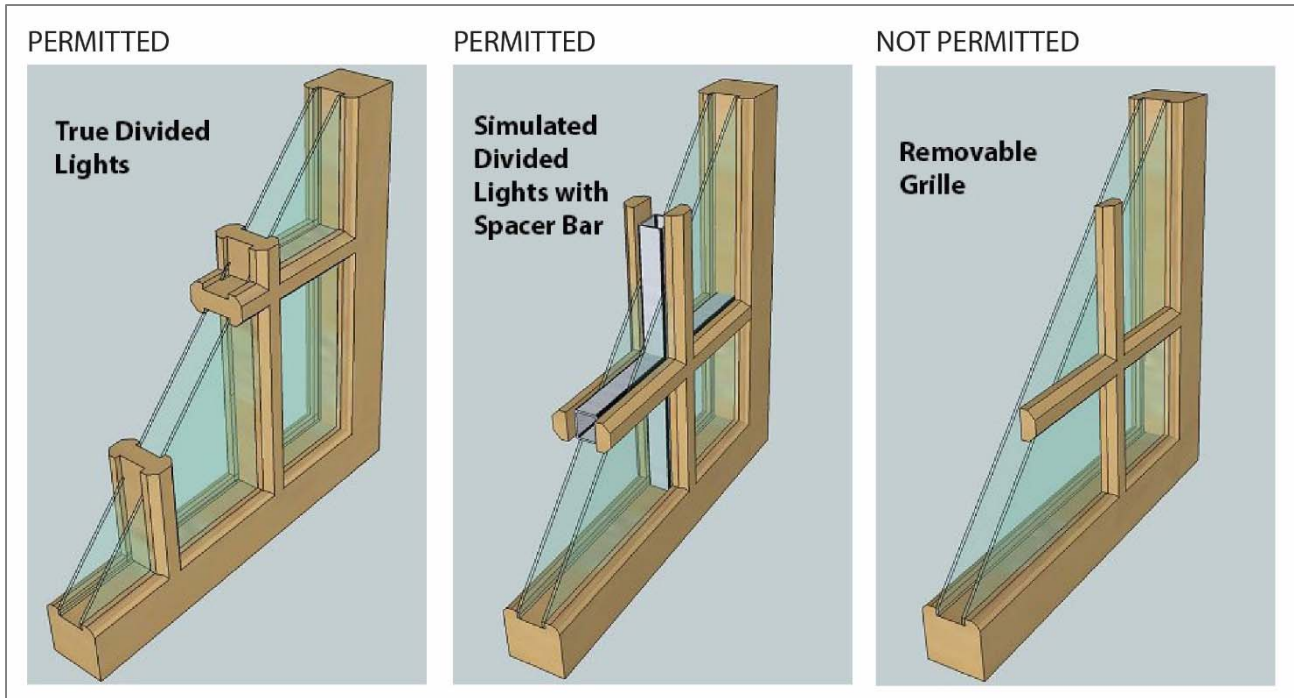


Figure 16: Muntin options (image source: <http://www.home-style-choices.com/window-construction.html>).

4.2.3.9 Shutters

4.2.3.9.1 Protect and maintain historic shutters.

4.2.3.9.2 Shutters may be permitted on *additions* to Contributing Properties only where they are physically and visually compatible with the architectural style and form of the *heritage building* and of the *addition*. (see Appendix C – Architectural Style Guide)

- a. Attach shutters to the window casing rather than the wall. Provide hinges and hooks to allow shutters to be functional.
- b. Design shutters in a style appropriate to the architectural style of the *heritage building*, including paneled or louvered styles. Louvers may be fixed or operable.
- c. The dimensions of shutters shall be one-half the width of the sash they are covering allowing them to effectively cover the window if closed.
- d. Wooden shutters shall be painted in a colour appropriate for the materiality and colours of the *heritage building* and the *addition*.

4.2.3.10 Entrances

4.2.3.10.1 Protect and maintain the placement, size and orientation of historic entrance openings.

- a. The removal or obstruction of historic entrances shall not be permitted.

4.2.3.10.2 Entrances located on an *addition* to a *heritage building* shall be compatible, in terms of their location, alignment, proportions, design and materials, with the architecture of the *heritage building*, as exemplified by the existing entrances and rhythm of bays.

- a. New entrances shall be subordinate to the primary historic entrance, in terms of location and design.

- b. Wood panelled doors are most appropriate for the District. Aluminum doors that mimic wood panelling may be considered on a case-by-case basis, providing they effectively replicate wood doors in their detailing, finishes and colour.
- c. Wood is the most appropriate material for screen doors. Aluminum and steel screen doors may be considered on a case-by-case basis.
- d. Sliding doors and other doors that do not swing shall not be permitted on elevations of *additions* that are visible from the *public realm*.

4.2.3.11 Porches and Porticos

- 4.2.3.11.1 Protect and maintain historic porches and porticos and their features, including posts, brackets, railings, steps and roofs.
- 4.2.3.11.2 New porches and porticos may be permitted on *additions* to *heritage buildings*, providing they are in a style that is appropriate for the architectural style of the *addition* and the *heritage building*, and are physically and visually compatible with the *heritage building* in terms of placement, orientation, design and materials.
 - a. Wood, metal and stone are the most appropriate materials for porches and porticos in the District. The use of composite and engineered wood will be considered on a case-by-case basis.

Best Practices – Porches and Porticos

When classical architectural elements, including columns and entablatures, are used on new porches or porticos, they should conform to classical proportions.

On new porches and porticos, use materials for columns that facilitate proper column design, such as wood, with brick or stone for column bases.

4.2.3.12 Garages

For the purposes of this document, new garages on Contributing Properties will be considered as 'Additions'. In addition to the policies listed below, all policies under Section 4.2.1 – General Guidelines and Section 4.2.3 - Additions to Contributing (Historic) Properties apply to new garages, as do all applicable requirements under the Town of Oakville's Zoning By-Law in effect subject to amendments and variances that may be approved.

- 4.2.3.12.1 Both *attached* and detached garage forms may be permitted, providing they respond respectfully and appropriately to the shape of the lot and the architectural style and form of the *heritage building*. *Detached garages* are preferable.
- 4.2.3.12.2 New garages shall be located and massed so as to minimize their visibility from the *public realm*
 - a. Garages shall be lower in profile than the *heritage building*, and be complementary in design, materials and colour.

- b. Use landscaping treatments to shield garages from view. (See Section 4.4.1 - *Guidelines for Landscape Conservation and Design – Private Property*, for guidance on screening)
- c. Locate *attached garages* on rear or secondary elevations of the *heritage building*, minimizing the loss of *heritage fabric*. When located on side elevations, *attached garages* must be set back from the main elevation.
- d. *Integral garages* shall not be permitted on the main body of *heritage buildings*. They may be permitted in additions to *heritage buildings*.
- e. Locate *detached garages* to the rear or side of the *heritage building*, set back substantially from the main elevation.
- f. Garage doors and windows shall reflect the style of those on the *heritage building*.
- g. Garage doors should be single car width, with separated overhead doors in the case of a double vehicle garage.
- h. When applying these guidelines to proposals for new garages on corner lots, special consideration may be given in recognition of their visibility from the public realm.



Figure 17: Attached garage at 88 Second St. (left); detached garage at 390 Lakeshore Rd. E. (right).

4.2.3.13 Utility and Service Equipment

- 4.2.3.13.1 Utility and service equipment shall not negatively impact the *heritage building* and shall be located so as to minimize their visibility from the *public realm*.
 - a. Service hardware (such as utility meters, cable TV and telephone connections), commercial mechanical elements (such as dryer vents, heat reclamation vents, furnace and water heater exhausts, gas fireplace exhausts and kitchen exhausts), and ground mounted electrical and mechanical hardware (such as heat pumps, transformers and air conditioning units) shall not be located on main elevations, and should not be visible from the *public realm*. If visible from the *public realm*, screen appropriately using landscaping features. (See Section 4.4.1 - *Guidelines for Landscape Conservation and Design – Private Property*)

4.2.3.14 Exterior Walls

- 4.2.3.14.1 Protect and maintain historic architectural features of exterior walls, including cladding materials, exposed structural elements (such as pilasters and half-timbering) and decorative elements (such as articulated brickwork, quoining and date stones).
- 4.2.3.14.2 Exterior walls of *additions* to Contributing Properties shall be physically and visually compatible, in terms of materials, finishes, colours and detailing, with the exterior walls of the *heritage building*.
- a. Use exterior cladding materials that are physically and visually compatible with the *heritage building*, such as wood siding and shingles, red brick masonry and stucco.
 - b. Contemporary and/or non-traditional materials, such as metal panelling and glass (curtain walls) may be permitted as accents on a case by case basis, but not as the principal cladding of *additions*.
 - c. Stone and artificial stone materials shall not be permitted for the cladding of *additions*. These materials may be considered as a foundation or an accent material where appropriate with the architectural style of the *heritage building*.
 - d. Metal, vinyl and plastic composite siding shall not be permitted.
 - e. Exterior Insulation and Finish Systems (EIFS) shall not be permitted. In addition to being aesthetically incompatible with the *heritage character* of the District, this material can promote mould growth and retain moisture in building fabrics that were intended to breath.
 - f. For painted surfaces, select colours that are compatible with the architectural style, cladding materials, and colour of the *heritage building*.

4.3 Guidelines for Non-Contributing (Non-Historic) Properties

4.3.1 GENERAL GUIDELINES

4.3.1.1 Understanding

- 4.3.1.1.1 *New development, alterations and additions* on a Non-Contributing Property shall be undertaken with a firm understanding of and respect for the *heritage character* District, while reflecting their own time.

4.3.1.2 Demolition

- 4.3.1.2.1 The demolition of a Non-Contributing Property may be permitted (in whole or part) through a heritage permit application. The application shall be accompanied by the plans for the proposed new addition or building on the property.
- 4.3.1.2.2 If permission to demolish a Non-Contributing Property is granted through heritage permit approval, a demolition permit shall not be issued until plans for the replacement building have been submitted and a building permit has been approved by the Town of Oakville.
- a. Plans for replacement buildings must conform to the *Guidelines for Non-Contributing Properties* as well as all other applicable Town policies.
 - b. The physical demolition of the existing building shall not take place until the issuance of the building permit for the new dwelling. Substantial progress shall be made in the construction of the replacement building within two years of the demolition of the previous building.
 - c. Securities for the construction of a new structure may be required in order to prevent empty lots within the District.
 - d. If construction of the replacement building is delayed, the Town may require interim landscape treatment of the site. If the delay is deemed to be unwarranted, securities may be forfeited, at the discretion of the Town of Oakville's Director of Planning Services.

4.3.1.3 Compliance

- 4.3.1.3.1 Current codes and standards pertaining to health, safety, security, accessibility and sustainability requirements shall be adhered to in a way that does not negatively impact the *heritage character* of the District.
- 4.3.1.3.2 New development should refer to the Town of Oakville's Design Guidelines for Stable Residential Communities.

4.3.1.4 Spaces around Buildings

- 4.3.1.4.1 Maintain historic distances between houses and the picturesque rhythm of houses within streetscapes.
- a. The maximum lot coverage for main residences as well as accessory buildings and structures, including *detached garages*, shall be the maximum lot coverage permitted

for properties in the District under the Town of Oakville’s Zoning By-Law in effect subject to amendments and variances that may be approved.

- b. The minimum setback for main residences as well as accessory buildings and structures, including *detached garages*, shall be the minimum setback permitted for properties in the District under the Town of Oakville Zoning By-Law in effect subject to amendments and variances that may be approved.

4.3.1.4.2 Maintain traditional views of *heritage buildings* from the *public realm*.

- a. Prominent building features of neighbouring Contributing Properties shall not be blocked or obscured with fencing, hardscaping features, service or utility equipment, garages or other accessory buildings

Refer to Section 4.4.1 Guidelines for Landscape Conservation and Design – Private Property for more detailed guidance regarding spaces around buildings.

4.3.1.5 Lot Severance and Assembly

4.3.1.5.1 Proposals for lot severances and assemblies will be assessed in accordance with the policies of the Official Plan and Zoning By-Law in effect subject to amendments and variances that may be approved. A heritage permit may be required.

4.3.1.5.2 Applications for *new development* and *additions* bridging assembled lots will be considered on a case-by-case basis, according to the following criteria:

- a. The historic distances between buildings and the picturesque rhythm of buildings within streetscapes shall be maintained;
- b. Long street elevations that would break this historic streetscape rhythm shall not be permitted;
- c. Any *heritage building(s)* shall remain clearly distinct and identifiable; and
- d. Any proposed linking structure shall be subordinate to the *heritage building(s)*.

4.3.2 ALTERATIONS AND ADDITIONS TO NON-CONTRIBUTING (NON-HISTORIC) PROPERTIES

4.3.2.1 Impact on Heritage Character of the District

4.3.2.1.1 *Alterations and additions* to a Non-Contributing Property may be permitted only where they are physically and visually compatible with the existing building and do not negatively impact the *heritage character* of the District.

Refer to Section 3.1 – Guiding Principles for a discussion of the term “compatible” as it pertains to this Plan.

4.3.2.2 Scale, Massing and Location

4.3.2.2.1 The scale, massing and location of any *addition* to a Non-Contributing Property shall be physically and visually compatible with the existing building and shall not negatively impact the *heritage character* of the District.

4.3.2.2.2 The massing and proportions of an addition should conform to any applicable regulations of the Town of Oakville’s Zoning By-law in effect subject to amendments and variances that may be approved.

4.3.2.3 Height

4.3.2.3.1 Protect and maintain the historic low-rise scale of the District.

- a. The maximum height for Non-Contributing Properties will be the maximum height permitted for the District under the Town of Oakville’s Zoning By-law in effect subject to amendments and variances that may be approved.

4.3.2.3.2 The height of an *addition* may exceed that of the existing building, up to the maximum height stated above, providing all other applicable policies and guidelines in this document are met.

4.3.2.4 Style

4.3.2.4.1 The architectural style of *additions* to Non-Contributing Properties shall be compatible with the existing building and with the *heritage character* of the District.

- a. *Non-traditional styles* may be permitted providing their application respects the scale, massing, setbacks and materials of the District’s *heritage buildings*, and does not negatively impact the *heritage character* of the District.
- b. The design of *additions* shall maintain a consistent approach to the application of the chosen architectural style for all building elements.

4.3.2.5 Roofs

4.3.2.5.1 Roof forms of *additions* shall be physically and visually compatible with the existing building and shall not negatively impact the *heritage character* of the District.

- a. Gable roofs and hipped roofs are the most appropriate roof forms for the District.
- b. Mansard roofs and gambrel roofs are not appropriate for the District.
- c. While not appropriate for entire structures or large *additions*, flat roofs and shed roofs may be permitted for small *additions*, where compatible with the form and architectural style of the existing building.

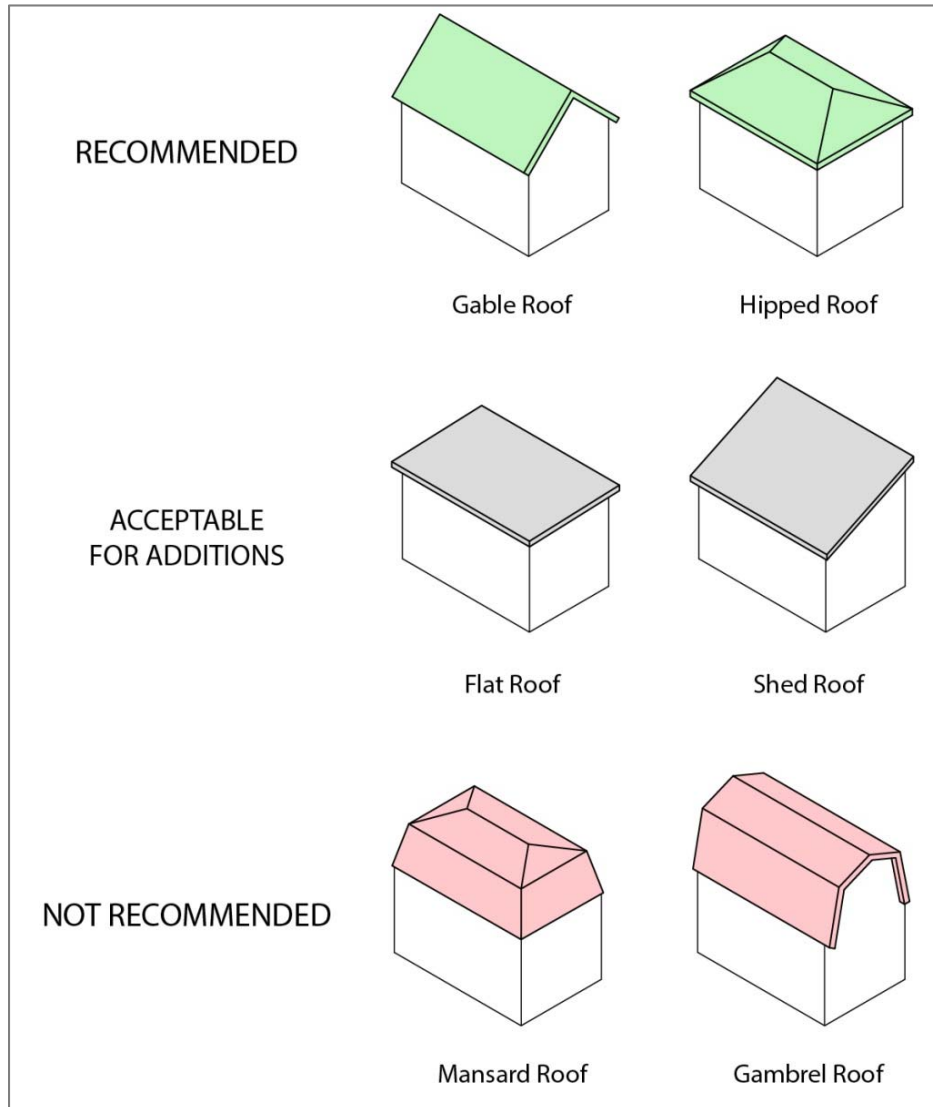


Figure 18: Guidelines for roof forms in the District.

- 4.3.2.5.2 New and replacement roofing materials shall be physically and visually compatible with the building and shall not negatively impact the *heritage character* of the District.
- a. Asphalt shingles, cedar shingles and cedar shakes are appropriate roofing materials for the District. The use of alternative materials that mimic the appearance of asphalt or cedar will be considered on a case-by-case basis. Metal roofing materials will be considered on a case-by-case basis. Membranes will only be considered on flat roofs
 - b. Aluminum or PVC soffits and fascia will not be permitted.

- 4.3.2.5.3 Rooftop equipment and drainage elements shall be discreetly integrated and shall not negatively impact the *heritage character* of the District.
- a. Roof ventilation equipment, satellite dishes, plumbing vents and other stacks may be permitted on *additions*, providing they are located on secondary or rear elevations and are not visible from *public realm*.
 - b. Skylights should be located on rear or secondary elevations. Skylights located on main elevation shall be flat.
 - c. Eavestroughs and downspouts shall be appropriately designed to manage water properly and direct drainage away from building foundations.
 - d. The form, materials and colours of eavestroughs and downspouts shall not distract or detract from the architectural style of the building.
 - e. Flashing should be coloured to match the wall against which it is located.

4.3.2.6 Dormers

- 4.3.2.6.1 Dormers may be permitted on *additions* to Non-Contributing Properties, providing they are physically and visually compatible with the architectural style of the existing building and the *addition*, and do not negatively impact the *heritage character* of the District. (see *Appendix C – Architectural Style Guide*)
- a. Scale new dormers to complement the design and scale of the roof, the windows, and any existing dormers on the building.

Best Practices – Dormers

Single dormer windows should be square or vertically proportioned, and should have the same proportions or be slightly smaller than the uppermost windows in the elevation below.

Dormer body proportions should be driven by the dormer window proportions.

4.3.2.7 Windows

- 4.3.2.7.1 New window openings and windows on *additions* to Non-Contributing Properties shall be physically and visually compatible with the architecture of the existing building, as exemplified by the alignment, proportions, design and materials of existing windows and the rhythm of bays, and shall not negatively impact the *heritage character* of the District.
- a. Where casement, double-hung, and other traditionally-operable window styles are used on *additions*, they shall be operable.
 - b. Blank windowless walls shall not be permitted.
 - c. Windows shall be wood or aluminum-clad wood.
 - d. Vinyl, fiberglass and metal windows shall not be permitted. They are not compatible with the *heritage character* of the District. They do not adequately replicate wood windows in their detailing, finishes, profiles and colour; their sashes, frames and mouldings are often much flatter in appearance.

- e. Glue-on or snap-on muntins (ie. window grilles) shall not be permitted. Muntins shall be true divided lights or simulated divided lights with dark spacers at every muntin. Simulated divided lights should be integral to the window sash. Aluminum muntins may be used where stronger muntins are required to support sealed window units while maintaining the original thinner muntin profiles. These muntins shall be made integral to the sash frame.

See Figure 15 on page 35 for a reference diagram of muntin types.

4.3.2.8 Entrances

- 4.3.2.8.1 New entrance openings and entrances on *additions* to Non-Contributing Properties shall be physically and visually compatible with the architecture of the existing building in terms of location, design and proportions, and shall not negatively impact the *heritage character* of the District.

4.3.2.9 Porches and Porticos

- 4.3.2.9.1 New porches and porticos may be permitted on Non-Contributing Properties, providing they are appropriate for the architectural style of the existing building and of the *addition*, and do not negatively impact the *heritage character* of the District.

Best Practices – Porches and Porticos

When classical architectural elements, including columns and entablatures, are used on new porches or porticos, they should conform to classical proportions.

On new porches and porticos, use materials for columns that facilitate proper column design, such as wood, with brick or stone for column bases.

4.3.2.10 Garages

For the purposes of this document, new garages on Non-Contributing Properties will be considered as “Additions” when the property is not being entirely redeveloped (ie. is not a “New Development”). In addition to the policies listed below, all policies under Section 4.3.1 – General Guidelines and Section 4.3.2 – Alterations and Additions to Non-Contributing (Non-Historic) Properties apply to new garages, as do all applicable requirements under the Town of Oakville’s Zoning By-Law in effect subject to amendments and variances that may be approved.

- 4.3.2.10.1 *Attached, integral and detached* garage forms may be permitted on Non-Contributing Properties, providing they respond respectfully and appropriately to the shape of the lot and the architectural style and form of the existing building. *Detached garages* are preferable.

- 4.3.2.10.2 New garages shall be located and massed so as to minimize their visibility from the *public realm*
- a. Garages shall be lower in profile than the existing building, and be complementary in design, materials and colour.
 - b. Use landscaping treatments to shield garages from view. (See Section 4.4.1 - *Guidelines for Landscape Conservation and Design – Private Property*)
 - c. Locate *attached* and *integral* garages on rear or secondary elevations of the existing building. When located on side elevations, *attached garages* should be set back from the main elevation.
 - d. Locate *detached* garages to the rear or side of the existing building, set back substantially from the main elevation.
 - e. Garage doors and windows shall reflect the style of those on the existing building.
 - f. Garage door openings should be single car width, with separated overhead doors in the case of a double vehicle garage.



Figure 19: Integral garage at 46 First St

4.3.2.11 Utility and Service Equipment

- 4.3.2.11.1 Utility and service equipment shall not negatively impact the *heritage character* of the District, and shall be located so as to minimize their visibility from the *public realm*.
- a. Service hardware (such as utility meters, cable TV and telephone connections), commercial mechanical elements (such as dryer vents, heat reclamation vents, furnace and water heater exhausts, gas fireplace exhausts and kitchen exhausts), and ground mounted electrical and mechanical hardware (such as heat pumps, transformers and air conditioning units) shall not be located on main elevations, and should not be visible from the *public realm*. If visible from the *public realm*, screen appropriately using landscaping features. (See Section 4.4.1 - *Guidelines for Landscape Conservation and Design – Private Property*, for guidance on screening)

4.3.2.12 Exterior Walls

- 4.3.2.12.1 The cladding materials of *additions* to Non-Contributing Properties shall be compatible with the District and shall not negatively impact its *heritage character*.
- a. Use exterior cladding materials that complement the existing building.
 - b. Red brick, stucco, wood clapboard and wood shingles are appropriate cladding materials for the District.
 - c. Contemporary materials such as metal panelling and glass (curtain walls), stone and artificial stone shall not be permitted as the principal cladding material, but may be considered as an accent material.
 - d. Metal, vinyl and plastic composite siding shall not be permitted.
 - e. Exterior Insulation and Finish Systems (EIFS) shall not be permitted. In *addition* to being aesthetically incompatible with the *heritage character* of the District, this material can promote mould growth and retain moisture in building fabrics that were intended to breath.
 - f. For painted surfaces, select colours that are compatible with the architectural style, cladding materials, and colour of the building and the District.

4.3.3 NEW DEVELOPMENT

4.3.3.1 Impact on Heritage Character of the District

- 4.3.3.1.1 *New development* on a Non-Contributing Property may be permitted, providing it does not negatively impact the *heritage character* of the District.

4.3.3.2 Location, Scale and Massing

- 4.3.3.2.1 *New development* shall be compatible with the existing streetscape, in terms of the rhythm, alignment, spacing, setbacks, massing, and orientation of buildings in the streetscape. (See Section 4.3.1 - General Policies for Non-Contributing Properties for more detailed guidelines regarding spaces around buildings, setbacks and streetscape rhythm)
- 4.3.3.2.2 The siting and design of *new development* shall respond to the unique conditions of particular property locations, such as corner lots, lots created by severance or lots adjacent to the Lake Ontario shoreline.
- 4.3.3.2.3 *New development* shall protect and maintain the *heritage character* of the District by displaying a clear simplicity of massing, proportions, and roof forms.
- 4.3.3.2.4 The massing and proportions of new construction should conform to any applicable regulations of the Town of Oakville Zoning By-law in effect subject to amendments and variances that may be approved.

4.3.3.3 Height

- 4.3.3.3.1 Protect and maintain the historic low-rise scale of the District.
- a. The maximum height for *new development* shall be the maximum height permitted for the District under the Town of Oakville's Zoning By-law in effect subject to amendments and variances that may be approved.

4.3.3.4 Style

- 4.3.3.4.1 The architectural style of *new development* shall be compatible with *heritage character* of the District.
- a. *Non-traditional styles* may be permitted providing their application respects the scale, massing, set-backs and materials of the *heritage buildings*, and does not negatively impact the *heritage character* of the District.
 - b. The design of *new development* shall maintain a consistent approach to the application of the chosen architectural style for all building elements.

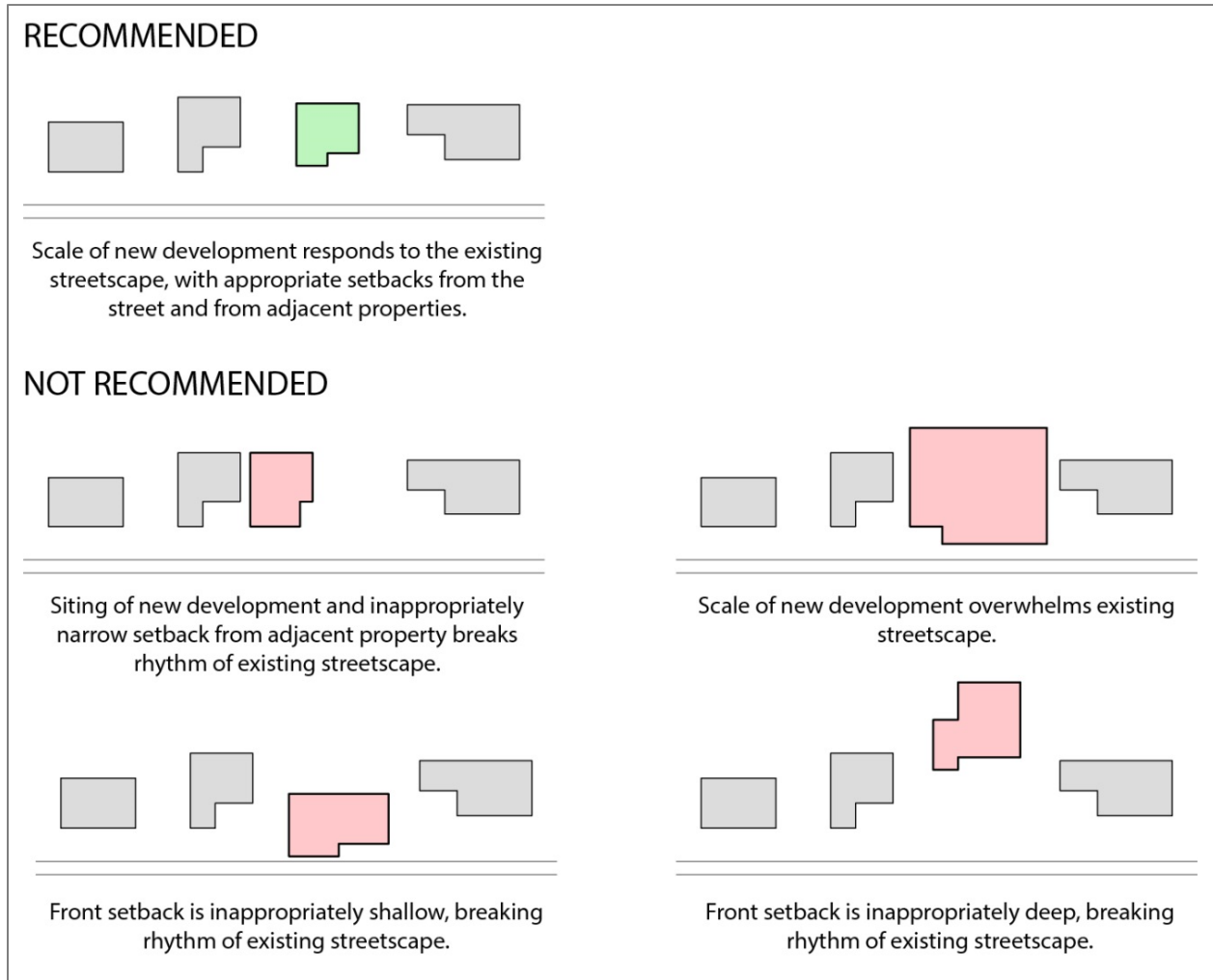


Figure 20: Guidelines for siting new development within the existing streetscape.

4.3.3.5 Roofs

- 4.3.3.5.1 Roof forms shall not negatively impact the *heritage character* of the District.
- Gable roofs and hipped roofs are the most appropriate roof forms for the District.
 - Mansard roofs and gambrel roofs are not appropriate for the District.
 - While not appropriate for entire structures or large *additions*, flat roofs and shed roofs may be permitted for small wings of buildings, where compatible with the form and architectural style of the main building and its roof.
- 4.3.3.5.2 Roofing materials shall not negatively impact the *heritage character* of the District.
- Asphalt shingles, cedar shingles and cedar shakes are appropriate roofing materials for the District. The use of alternative materials that mimic the appearance of asphalt or cedar will be considered on a case-by-case basis. Metal roofing materials will be considered on a case-by-case basis. Membranes will only be considered on flat roofs.
 - Aluminum or PVC soffits and fascia will not be permitted.

- 4.3.3.5.3 Rooftop equipment and drainage elements shall be discreetly integrated and shall not negatively impact the *heritage character* of the District.
- a. Roof ventilation equipment, satellite dishes, plumbing vents and other stacks may be permitted on *new development*, providing they are located on secondary or rear elevations and are not visible from *public realm*.
 - b. Skylights should be located on rear or secondary elevations. Skylights located on main elevation shall be flat.
 - c. Eavestroughs and downspouts shall be appropriately designed to manage water properly and direct drainage away from building foundations.
 - d. The form, materials and colours of eavestroughs and downspouts shall not distract or detract from the architectural style of the building.
 - e. Flashing should be coloured to match the wall against which it is located.

4.3.3.6 Dormers

- 4.3.3.6.1 Dormers may be permitted, providing they are compatible with the architectural style and form of the building and do not negatively impact the *heritage character* of the District.
- a. Scale new dormers to complement the design and scale of the roof and windows of the building.

Best Practices – Dormers

Single dormer windows should be square or vertically proportioned, and should have the same proportions or be slightly smaller than the uppermost windows in the elevation below.

Dormer body proportions should be driven by the dormer window proportions.

4.3.3.7 Windows

- 4.3.3.7.1 Windows in *new development* shall not negatively impact the *heritage character* of the District.
- a. Consider the historic solid to void ratios and the rhythm of windows and bays.
 - b. Where casement, double-hung, and other traditionally-operable window styles are used on *additions*, they shall be operable.
 - c. Blank windowless walls shall not be permitted.
 - d. Consider the historic solid-to-void ratios and the rhythm of windows and bays. In the District, this void ratio has ranged from 15% to 35%, with the exception of sun rooms or conservatories.
 - e. Windows shall be wood or aluminum-clad wood.
 - f. Vinyl, fiberglass and metal windows shall not be permitted. They are not compatible with the *heritage character* of the District. They do not adequately replicate wood windows in their detailing, finishes, profiles and colour; their sashes, frames and mouldings are often much flatter in appearance.

- g. Glue-on or snap-on muntins (ie. window grilles) shall not be permitted. Muntins shall be true divided lights or simulated divided lights with dark spacers at every muntin. Simulated divided lights should be integral to the window sash. Aluminum muntins may be used where stronger muntins are required to support sealed window units while maintaining the original thinner muntin profiles. These muntins shall be made integral to the sash frame.

See Figure 15 on page 35 for a reference diagram of muntin types.

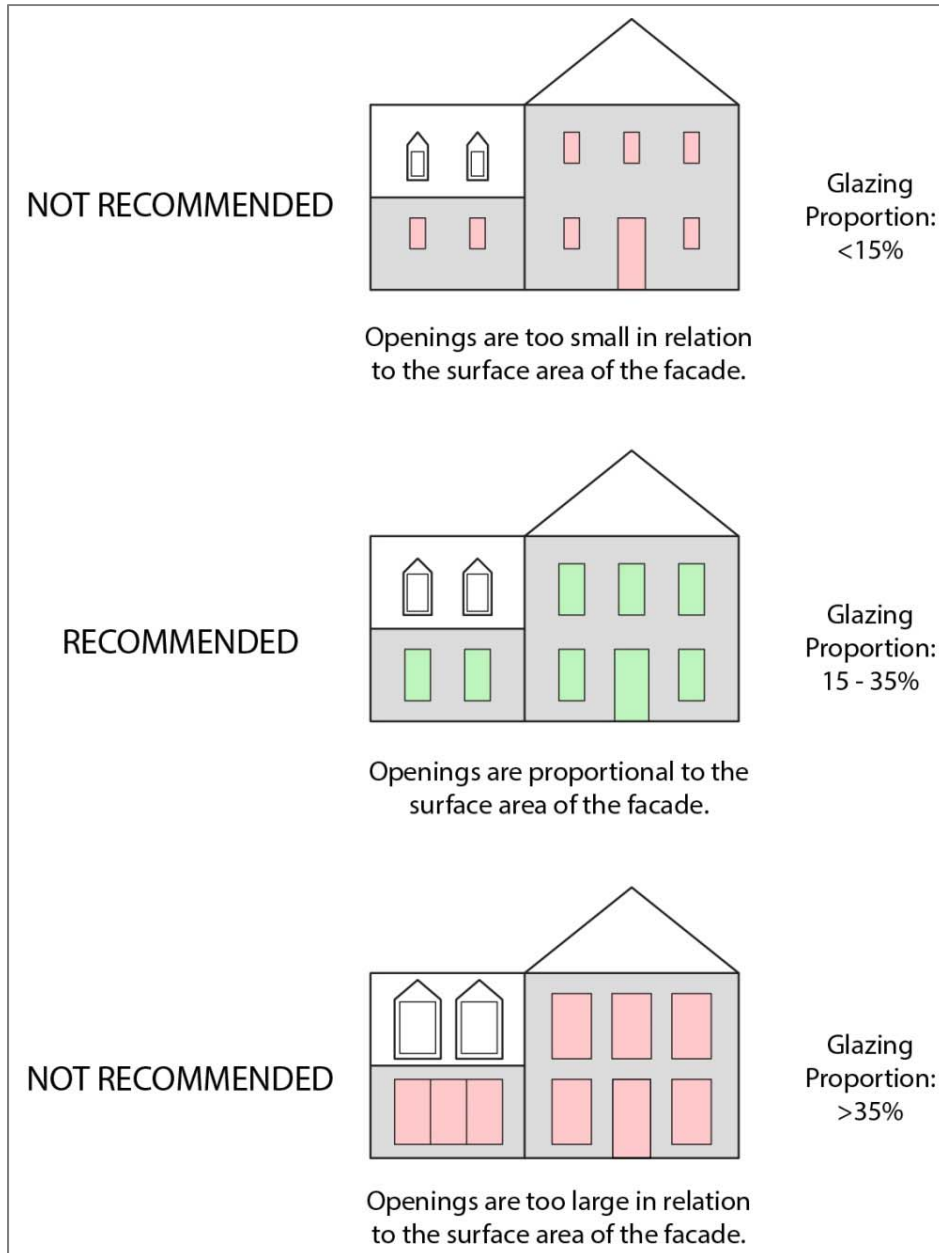


Figure 21: Guidelines for the solid-to-void ratio of new development.

4.3.3.8 Entrances

4.3.3.8.1 Entrances in *new development* shall not negatively impact the *heritage character* of the District.

4.3.3.8.2 Main entrances shall be oriented towards the *public realm*.

4.3.3.9 Porches and Porticos

4.3.3.9.1 Porches and porticos may be permitted, providing they are appropriate for the architectural style of the building and do not negatively impact the *heritage character* of the District.



Figure 22: Entrance portico on 59 Allan St. (left); porch on 37 First St. (right).

Best Practices – Porches and Porticos

When classical architectural elements, including columns and entablatures, are used on new porches or porticos, they should conform to classical proportions.

On new porches and porticos, use materials for columns that facilitate proper column design, such as wood, with brick or stone for column bases.

4.3.3.10 Garages

In addition to the policies listed below, all policies under Section 4.3.1 – General Guidelines and Section 4.3.3 – New Development apply to new garages, as do all applicable requirements under the Town of Oakville’s Zoning By-Law in effect subject to amendments and variances that may be approved.

4.3.3.10.1 *Attached, integral and detached* garage forms may be permitted on Non-Contributing Properties, providing they respond respectfully and appropriately to the shape of the lot and the architectural style and form of the main building. *Detached garages* are preferable.

4.3.3.10.2 New garages shall be located and massed so as to minimize their visibility from the *public realm*

- a. Garages shall be lower in profile than the main building, and be complementary in design, materials and colour.
- b. Use landscaping treatments to shield garages from view. (See Section 4.4.1 – *Guidelines for Landscape Conservation and Design – Private Property*)
- c. Locate *attached* and *integral garages* on rear or secondary elevations of the main building. When located on side elevations, *attached garages* should be set back from the main elevation.
- d. Locate *detached garages* to the rear or side of the main building, set back substantially from the main elevation.
- e. Garage doors and windows shall reflect the style of those on the main building
- f. Garage door openings should be single car width, with separated overhead doors in the case of a double vehicle garage.

4.3.3.11 Utility and Service Equipment

4.3.3.11.1 Utility and service equipment shall not negatively impact the *heritage character* of the District, and shall be located so as to minimize their visibility from the *public realm*.

- a. Service hardware (such as utility meters, cable TV and telephone connections), commercial mechanical elements (such as dryer vents, heat reclamation vents, furnace and water heater exhausts, gas fireplace exhausts and kitchen exhausts), and ground mounted electrical and mechanical hardware (such as heat pumps, transformers and air conditioning units) shall not be located on main elevations, and should not be visible from the *public realm*. If visible from the *public realm*, screen appropriately using landscaping features. (See Section 4.4.1 – *Guidelines for Landscape Conservation and Design – Private Property, for guidance on screening*)

4.3.3.12 Exterior Walls

4.3.3.12.1 The cladding materials of *new development* shall be compatible the District and shall not negatively impact its *heritage character*.

- a. Red brick, stucco, wood clapboard and wood shingles are appropriate cladding materials for the District.
- b. Contemporary and other non-traditional materials, such as metal panelling and glass (curtain walls), stone and artificial stone may be permitted for accent, but not as the principal cladding.
- c. Metal, vinyl and plastic composite siding shall not be permitted.
- d. Exterior Insulation and Finish Systems (EIFS) shall not be permitted. In addition to being aesthetically incompatible with the *heritage character* of the District, this material can promote mould growth and retain moisture in building fabrics that were intended to breath.
- e. For painted surfaces, select colours that are compatible with the architectural style, cladding materials, and colour of the building and the District.

4.4 Guidelines for Landscape Conservation and Design

4.4.1 PRIVATE PROPERTY

4.4.1.1 Soft Landscaping and Trees

- 4.4.1.1.1 Protect and maintain existing areas of soft landscaping, including gardens and lawns. New soft landscapes are encouraged, particularly along sidewalks and curb frontages.
- 4.4.1.1.2 Protect and maintain the existing and future tree canopy within the District. A tree permit shall be required for the injury or removal of any tree located within the front yard of a private property, in accordance with the definitions, conditions and requirements specified in the Town of Oakville's Private Tree Protection By-Law 2008-156 (as amended). All efforts shall be made to design *additions* and *new development* to accommodate existing mature trees, rather than remove them. The planting of new trees is strongly encouraged.
- 4.4.1.1.3 Monitor tree health on a regular basis and remove dead wood to avoid decay and prevent property damage.
- 4.4.1.1.4 The impact of alterations, additions and new development on soft landscaping should be reasonably mitigated through new landscaping plans that respect the *heritage character* of the District.

4.4.1.2 Surface Treatments and Hardscaping

- 4.4.1.2.1 Protect and maintain historic pathways through a property.
- 4.4.1.2.2 New pathways may be permitted, providing their siting and paving materials are compatible with the property frontage and the streetscape. Suitable materials for pathways include flagstone, pavers, gravel, and concrete.
- 4.4.1.2.3 Other hardscaping features, such as patios and artificial water features shall not be permitted on the portions of a Contributing Property that are *visible from the public realm*, except where historic photographs or documentation display a compatible precedent. On Non-Contributing Properties, these hardscaping features may be permitted to be visible from the *public realm*, providing they are physically and visually compatible with the property and do not negatively impact the *heritage character* of the District. Proper methods of drainage must be installed with hardscaping.
- 4.4.1.2.4 Minimize the visibility of driveways and surface parking areas from the *public realm* wherever possible. Suitable materials for driveways include flagstone, pavers, gravel, concrete and asphalt.

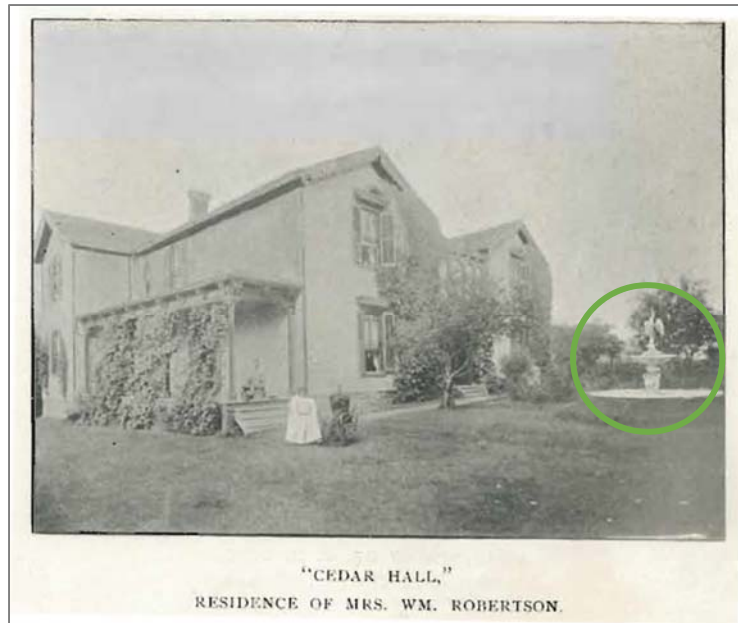


Figure 23: Historic precedent for a fountain at 31 First St. (source: *Beautiful Oakville*, Oakville; J.E. Commins, 1897.)

4.4.1.3 Fences and Walls

- 4.4.1.3.1 Plantings, ornamental fencing and low garden walls may be used to define the edge of the property in relation to neighbouring properties and the *public realm*. These features shall not block traditional views of *heritage buildings* from the *public realm*.
- 4.4.1.3.2 Protect and maintain historic fencing and walls in situ when possible. Proposals for alterations, additions and new development that impact historic fencing and walls should provide appropriate mitigation measures.
- 4.4.1.3.3 Refer to historic photographs or documentation for appropriate styles wherever possible when adding new fences and walls to Contributing Properties. On Non-Contributing Properties or where historic documentation cannot be found, refer to historic precedents within the District or surrounding residential areas.



Figure 24: Low garden wall at 87 First St. (left); white picket fence at 93 Second St. that has been standing for over 70 years (right).

4.4.1.4 Accessory Buildings and Structures (excluding Garages)

- 4.4.1.4.1 Accessory buildings and structures, such as sheds and gazebos shall not be permitted on the portions of a Contributing Property that are *visible from the public realm*, except where historic photographs or documentation display a compatible precedent. On Non-Contributing Properties, accessory buildings and structures may be permitted to be visible from the *public realm*, providing they are physically and visually compatible with the property and do not negatively impact the *heritage character* of the District.



Figure 25: Compatible accessory structure on a Non-Contributing Property (21 Allan St.).

4.4.1.5 Screening and Buffering

- 4.4.1.5.1 Plantings, ornamental fencing and low garden walls should be used to screen or buffer garbage storage areas or utility and service equipment that are otherwise visible from the *public realm*.

4.4.1.6 Lighting

- 4.4.1.6.1 Lighting features may be permitted to illuminate walkways, steps, porches and entrances, providing there is not light trespass or spillover towards neighbouring properties or the *public realm*. Full cut off lighting is required.
- 4.4.1.6.2 Skylighting, extensive building elevation lighting and lighting that could disturb birds or insects will not be permitted.
- 4.4.1.6.3 New and/or replacement lighting should meet the guidelines established in the Town of Oakville’s Design Guidelines for Stable Residential Communities.

4.4.2 PUBLIC PROPERTY

4.4.2.1 Paved Areas

- 4.4.2.1.1 Maintain existing modern streetscape features, such as paved roads, sidewalks and concrete curbs. These features improve accessibility and the pedestrian environment, and help to distinguish the public right-of-ways from private properties. Ensure that water drainage does not negatively impact abutting private properties.
- 4.4.2.1.2 Maintain existing sidewalks. Simple surface treatments, such as concrete, that do not distract from the overall streetscape are encouraged.
- 4.4.2.1.3 New sidewalks are discouraged, unless traffic through the District substantially increases and pedestrian safety is at risk.
- 4.4.2.1.4 Through-traffic should continue to be discouraged using speed limits, limited street grid connectivity and other measures where necessary.
- 4.4.2.1.5 New and/or replacement sidewalks and curbs should meet the standards of the Accessibility for Ontarians with Disabilities Act (AODA).



Figure 26: Existing road paving and sidewalk on Allan St., looking south.

4.4.2.2 Street Trees and Boulevards

- 4.4.2.2.1 Protect and maintain the existing and future tree canopy within the District. Tree health should be monitored on a regular bases and dead wood removed to avoid decay and prevent property damage.
- 4.4.2.2.2 Remove and replace dead trees in accordance with town standards for tree removal and replanting in order to maintain the tree canopy.
- 4.4.2.2.3 Protect and maintain existing grassed boulevards. Where grassed boulevards are damaged by winter maintenance activities they should be repaired the following spring.
- 4.4.2.2.4 New trees are encouraged along sidewalks and boulevards wherever feasible in relation to servicing and overhead wires.
- 4.4.2.2.5 All other applicable Town standards for tree planting and maintenance shall be followed.



Figure 27: Street trees and grass boulevard along First St., looking south.

4.4.2.3 Lighting and Utilities

- 4.4.2.3.1 A variety of street lighting currently exists within the District. New and replacement lighting poles should be of a consistent design, and be compatible with the *heritage character* of the District.
- 4.4.2.3.2 Overhead wires should be buried when possible, in order to minimize conflicts with the mature tree canopy.

4.4.2.4 Views

- 4.4.2.4.1 Protect the tree-framed views of Lake Ontario along public right-of-ways, including Allan Street, First Street and Second Street. New street trees should be located along sidewalks or boulevards to frame these views, not obscure them.

4.4.2.5 Public Parks and Promenades

- 4.4.2.5.1 Protect and maintain the naturalized areas along the Lake Ontario shoreline. These areas should remain publically accessible. Increased pedestrian amenities, such as connecting pathways or paving, may be permitted.

4.4.2.6 Wayfinding

- 4.4.2.6.1 The street signage that currently exists within the District is consistent with the street signage style used throughout downtown Oakville and should be generally be maintained. The Town may consider the possibility of introducing special street signage identifying the heritage conservation district in the future.

5.0 Exempt Alterations and Classes of Alterations

The exempted *alterations* have been guided generally by the principles of either being undertaken within a small area, confined to areas that are generally out of sight from public view, constitute routine maintenance or are easily reversible.

5.1 Private Property

The following *alterations* may be carried out without obtaining a permit under Section 42 of the *Ontario Heritage Act*:

- a) **Interior modifications:** The interiors of buildings or structures are not subject to regulation within the Heritage Conservation District, and no permit is required.

Exceptions:

Those interior features designated under Part IV of the *Ontario Heritage Act* or interior features that have an exterior presence, including but not restricted to windows and doors in building façades.

- b) **Roof materials:** Replacement of existing roof materials *in kind* and of the same colour does not require a permit.

Exceptions:

Replacing or removing original roofing materials including wood or asphalt shingles with other materials.

- c) **Skylights:** The installation of skylights located out of view from the *public realm* and in the same plane as the roof (e.g. on the rear slope of a roof or on a flat or low pitched roof) would not require a permit.

Exceptions:

The installation of skylights located on the front elevation or within view of the *public realm* may not be permitted.

- d) **Solar panels:** The installation of solar panels located out of sight from the *public realm* and in the same plane as the roof (e.g., at the rear slope of a roof or on a flat or low pitched roof) would not require a permit.

Exceptions:

Freestanding panels on poles, panels requiring a structural frame for support, and panels located on front elevations or within view of the *public realm*.

- e) **Satellite dishes:** The installation of satellite dishes that are located out of sight from the *public realm* does not require a permit.

Exceptions:

The installation of satellite dishes located on the front elevation or within view of the *public realm*.

- f) **Security lighting and alarm systems:** The installation of security lighting and/or alarm systems does not require a permit.
- g) **Amenity lighting:** The installation of porch lighting or other amenity or seasonal lighting does not require a permit.
- h) **Eavestrough and downspouts:** The removal and/or installation of new eavestroughs and downspouts in the same material and colour as the previously existing do not require a permit.
- i) **Landscaping, soft:** The removal and/or installation of vegetative landscaping, such as planting beds, shrubbery and small ornamental trees, do not require a permit. The pruning and maintenance of trees or the removal of dead branches or limbs do not require a permit.

Exceptions:

The removal of trees which are at least 4.5m and/or greater than 15 centimetres diameter at breast height (dbh) may require a heritage permit and consultation with heritage planning staff is required. The Town's Private Tree By-law (as amended) may also apply.

- j) **Landscaping, hard:** The removal and/or installation of hard landscaping, such as driveways, entranceways, paths and parking areas in the same materials, in the same location and of the same area and dimension do not require a permit. The removal and/or installation of any hard landscaping located out of view from the *public realm* does not require a permit.

Exceptions:

The removal and/or installation of any hard landscaping, such as driveways, entranceways, paths and parking areas in any new material, new location, and/or of new dimensions require a permit.

- k) **Fencing:** The removal and/or installation of fencing located out of sight from the *public realm* do not require a permit. The Town's Fence By-law may also apply.

Exceptions:

The removal and/or installation of fencing in the front yard or visible from the *public realm* of a property does require a permit. The Town's Fence By-law may also apply

- l) **Decks:** The installation and/or removal of decks that are at grade or less than 60cm off the ground and are located within the rear yard and out of view from the *public realm* do not require a permit.

Exceptions:

The removal and/or installation of decks that are located in the front and side yards of a property require a permit. The installation of decks more than 60cm off the ground requires a permit.

- m) **Storm windows and doors:** The seasonal installation and/or removal of storm windows and screen doors in the same materials and locations do not require a permit.

Exceptions:

New storm windows and new screen doors require a permit.

- n) **Signage:** The installation of number signage on building façades does not require a permit.
- o) **Maintenance or small repairs:** Ongoing *maintenance* or small repairs to buildings, structures or small areas of paving that do not significantly affect the appearance of the outside of the property and do not involve the permanent removal or loss of *heritage attributes* do not require a permit.

Exceptions:

The removal and/or installation of any cladding materials require a permit.
The cleaning of any building façade surface (using any method of cleaning such as chemical cleaning or pressurized water) requires a permit.
Carrying out test patches in any location for any cleaning method requires a permit.
The removal of any paintwork from a masonry building façade surface requires a permit.

- p) **Painting:** The painting of doors, window frames, muntins and mullions, trim, eavestroughs, downspouts and minor architectural detailing does not require a permit. The painting of exterior cladding may require a minor heritage permit.

Exceptions:

The painting of unpainted masonry materials may not be permitted.

- q) **Awnings:** The removal and/or installation of awnings that are of the same material, size and scale as existing awnings do not require a permit. The installation of new awnings or canopies at the rear of the property and out of view of the *public realm* does not require a permit.

Exceptions:

Awnings that are of a different material, are larger than the existing awnings, or require additional fastenings to the building require a permit.

As with any modifications being contemplated, it is beneficial to contact Town of Oakville Heritage Planning staff to discuss proposals before commencing work. Some of the above modifications may also require a Building Permit, and appropriate staff should be consulted

5.2 Public Realm Property

Public realm property includes lands that are primarily located in road rights-of-way and the park and promenades located at the foot of Allan St., First St., and Second St. The following *alterations* may be carried out without obtaining a permit under Section 42 of the *Ontario Heritage Act*:

a) **Maintenance or minor repairs:** Ongoing *maintenance* or minor repairs to road or sidewalks surfaces and areas of paving that do not significantly affect the appearance of the surface and that are exempt from review or approval under the Municipal Class Environmental Assessment do not require a permit.

Exceptions:

The installation of any traffic calming device (not including signage), new road or sidewalk surfaces, new crosswalk surfaces or motifs and new boulevards may require consultation with heritage planning staff and/or the municipal heritage committee.

b) **Installation and/or repair of underground utilities or services:** Subsurface excavation for the installation and repair of utilities (water, sewage, gas, or communications) does not require a permit.

c) **Repair of above-ground utilities or services:** Work undertaken for the repair of above-ground utilities (hydro, communications and lighting), including conduits, poles and associated boxes or covers.

Exceptions:

The installation of any new luminaires and/or poles including any directional or warning signage for vehicular traffic or pedestrians requires a permit.

The installation of street furniture including but not restricted to seating, planters, tree grates, banners, hanging baskets, garbage receptacles and bike racks requires a permit.

d) **Landscaping, soft:** The installation of any soft or vegetative landscaping confined to boulevard installation and associated planting beds does not require a permit.

Exceptions:

The removal and/or installation of trees (with anticipated mature height of 4.5 metres or greater) and/or greater than 15 centimetres diameter at breast height (dbh) requires consultation with heritage planning staff.

e) **Landscaping, hard:** The removal and installation of hard landscaping, such as driveways, entranceways, paths and parking areas in the same materials and of the same area and dimension do not require a permit.

Exceptions:

The removal and/or installation of any hard landscaping, such as driveways, entranceways, paths and parking areas in any new material require a permit.

r) **Street Signs:** The removal and/or installation of street signs in the existing design.

Exceptions:

New or replacement street signs with a different design than currently exists in the District.

As with any modifications being contemplated, it is beneficial to contact Town of Oakville Heritage Planning staff to discuss proposals before commencing work.

5.3 Emergency Work

In some instances, emergency work may have to be carried out to public or private property without the benefit of a heritage permit or ascertaining whether such work is exempt from regulation.

Required emergency work may be permitted where the timing of repairs makes it impossible to consult with Town staff regarding a heritage permit. Notwithstanding this provision, all work should be undertaken in a manner that does not destroy valued *heritage fabric*. Photographs of 'before and after' should be taken to confirm the condition of the building and the nature of the finished repairs, and supplied to Town staff as a record of the work.

6.0 Heritage Conservation District Plan Review Process

The completion of this project marks the first major revision of the First and Second Street Heritage Conservation District Plan and Guidelines since the HCD was designated in 1991. This update was undertaken with the purpose of ensuring that the HCD Plan meets the requirements of the *Ontario Heritage Act*, which was significantly revised in 2005. The update was also undertaken to ensure that the HCD Plan corresponds with the contemporary condition of the District.

It is considered to be a good practice for municipalities to periodically undertake formal reviews of HCD plans and guidelines. This formal review process complements the ongoing monitoring of the District's evolution that Town staff perform as the HCD Plan is implemented. It ensures that the document remains up-to-date with current legislation, with current best practices in heritage conservation, and with community needs and expectations.

It is advised that Town staff undertake a formal review and update of the First and Second Street Heritage Conservation District Plan and Guidelines every 5 to 8 years. The extent of this review and update project will depend on a number of circumstances, including major revisions to related legislation or major changes in the built form of the District. However, it is anticipated that these periodic reviews will result in minor changes to this document, not re-writes.

The review process should include engagement with property owners, community members and other interested parties. An assessment of the heritage permits issued in the period following the last review should be undertaken. Recommendations for any potential revisions to the HCD Plan should be made.

- 6.1 In addition, the policies and guidelines of this Plan may be amended by By-law after consultation, circulation to potentially impacted parties and public notice. Minor administrative and technical changes to the Plan may be implemented by a resolution of Council.

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