

**NOT FOR CONSTRUCTION**  
ISSUED FOR REVIEW & COMMENTS ONLY

NOTE:  
Vegetation inventory undertaken by Jeremy Jackson, ISA Certified Arborist (ON-1089A) on February 21, 2022 and September 7th, 2023.

REVISIONS/ SUBMISSIONS

#	DATE	DESCRIPTION
1	2022-03-24	Issued for 1st Submission
2	2022-07-05	Issued for 2nd Submission
3	2023-05-19	Issued for 3rd Submission
4	2023-07-26	Issued for 4th Submission
5	2023-09-08	Issued for 5th Submission



CLIENT  
Graywood Bronte Village Limited Partnership  
MUNICIPALITY  
Town of Oakville  
PROJECT  
2365 - 2377 Lakeshore Road West

MUNICIPAL FILE NUMBER  
OPA. 1729.61 and Z.1729.61

SHEET  
Tree Protection Plan **L-1**

adesso design inc.  
landscape architecture

69 John Street South, Suite 250  
Hamilton, ON L8N 2B9  
1.905.526.8876  
www.adessodesigninc.ca



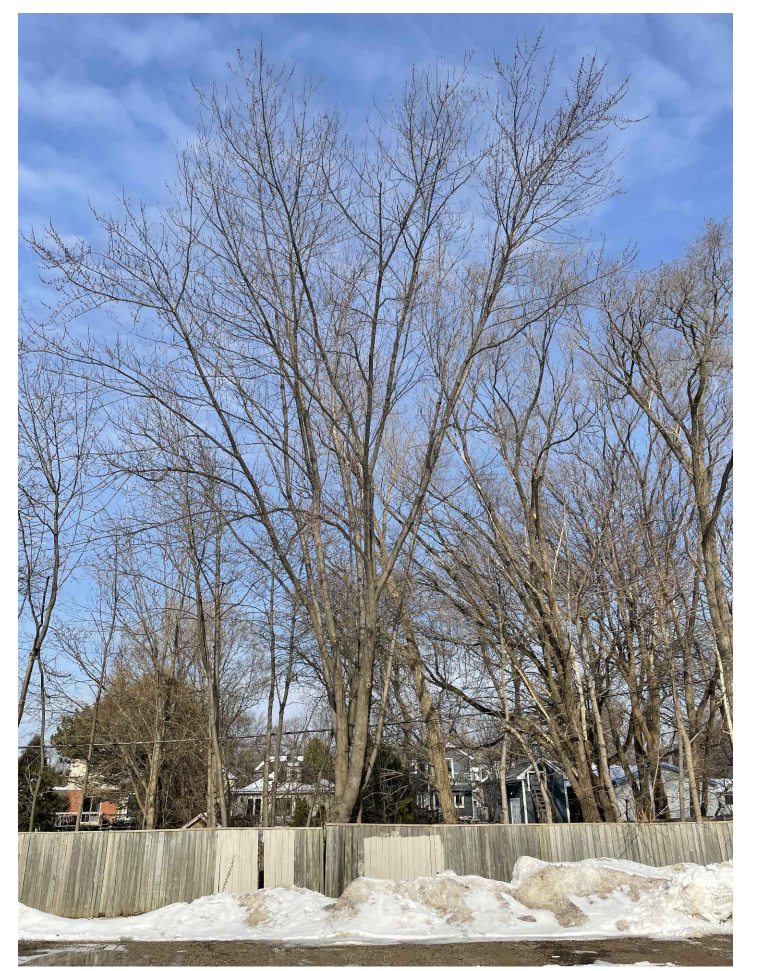
Tree 1-2



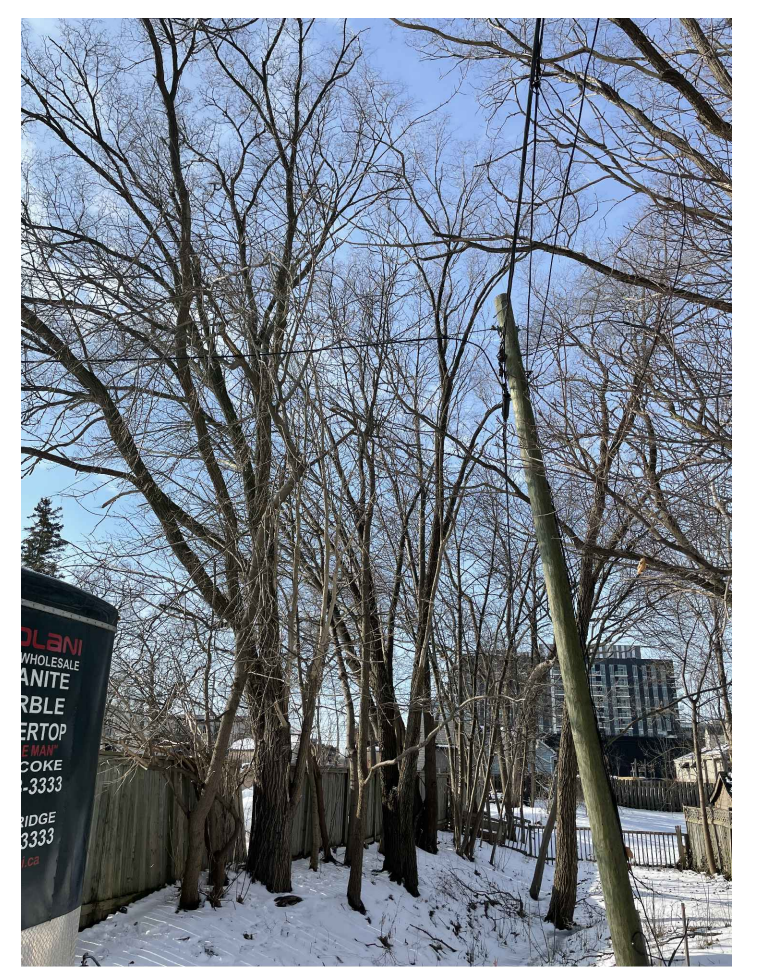
Tree 3-5



Tree 4-8



Trees 6-14



Trees 6-23



Trees 16-23

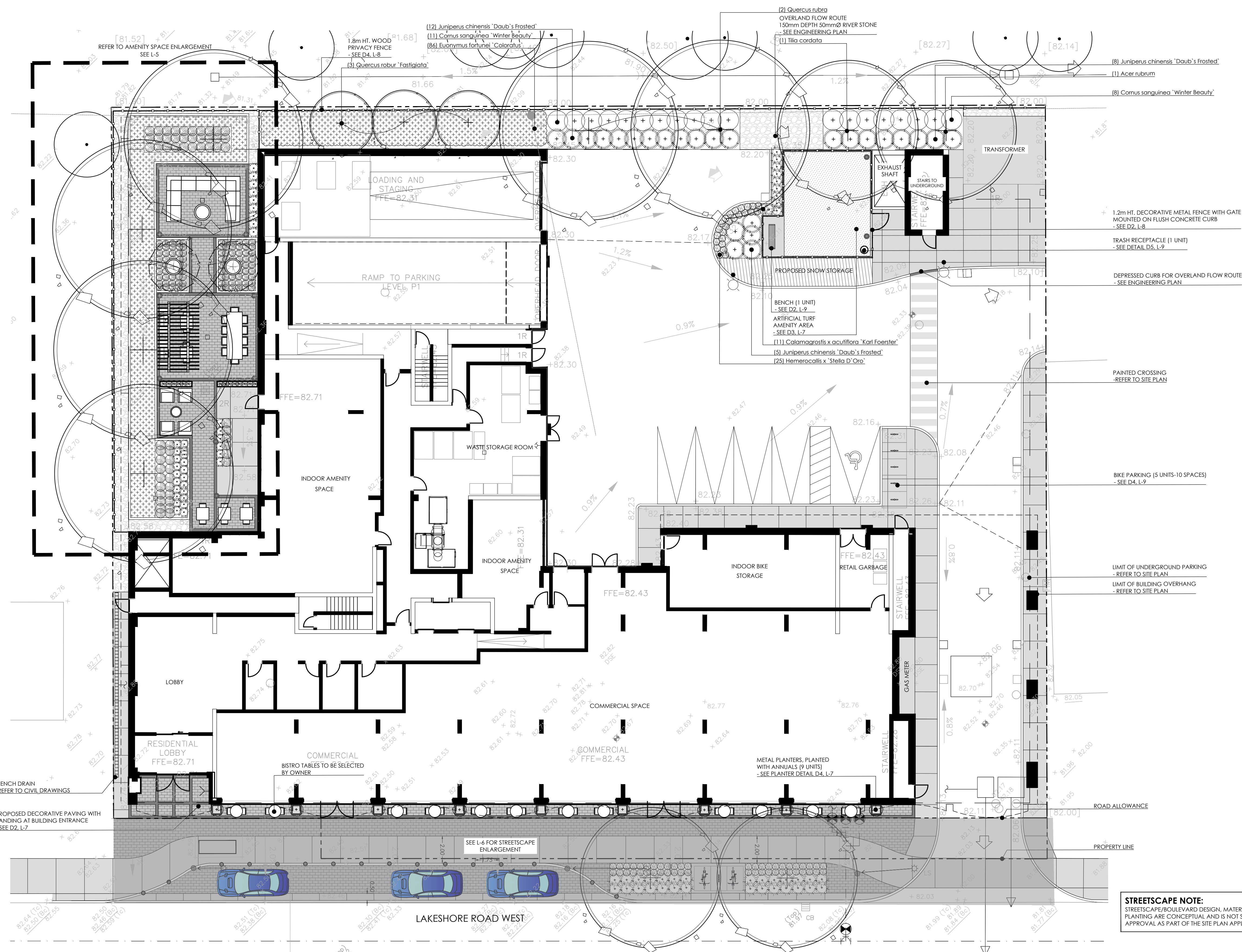


Trees 24-27

FILED: 2023-09-08 10:00 AM  
 PROJECT: 21-230  
 DRAWING: TREE PROTECTION PLAN  
 SHEET: L-1  
 DATE: 2023-09-08 10:00 AM  
 PROJECT: 21-230  
 DRAWING: TREE PROTECTION PLAN  
 SHEET: L-1

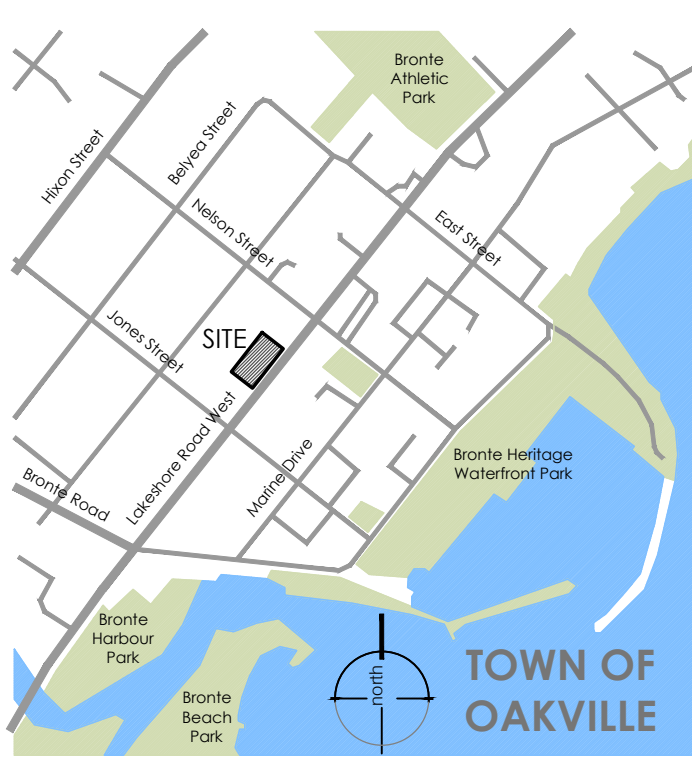






- LANDSCAPE NOTES:**
- All work to be carried out in accordance with by-laws and codes having jurisdiction over site location.
  - Complete all work to the satisfaction of the Landscape Architect.
  - Report any changes, discrepancies or substitutions to the Landscape Architect for review. Obtain approval from the Landscape Architect before proceeding.
  - It is the contractor's responsibility to determine existing service locations.
  - Exact locations of plant material will be determined by placement of site services such as hydrant vaults, meters, utility roof rain water leaders, downpipes, light standards, etc.
  - All plant material locations to be staked or marked out and approved by Landscape Architect prior to installation.
  - Supply all plant material in accordance with the Canadian Standards for Nursery Stock (8th ed.).
  - Install plant material according to details shown.
  - Supply and place mulch in accordance with Canadian Landscape Standards (section 10, Mulching). Disturbed soil areas around trees and shrubs are to be covered with shredded conifer bark mulch such as "Cedar Bark Mulch" by All Treat Farms or "Classic Cedar Mulch" by Gro-Bark, or approved equivalents. Alternative mulches must be approved by the Landscape Architect.
  - Contractor to utilize layout dimensions where provided.
  - Provide planting bed area as noted on the drawing or to accommodate mature size of plant material.
  - All support systems must be removed by the contractor at time of final acceptance. No extras will be paid to complete this work.
  - Supply and place topsoil in accordance with Canadian Landscape Standards (Section 4, Grading & Drainage and Section 6, Growing Medium) to a minimum depth of 150mm unless otherwise specified.
  - Supply and place sod in accordance with Canadian Landscape Standards (Section 7, Lawns & Grass and Section 8, Turfgrass Sod) unless otherwise specified.
  - Supply and place seed in accordance with Canadian Landscape Standards (Section 4, Grading & Drainage and Section 6, Growing Medium) unless otherwise specified. All 1:1 or greater slopes to be seeded with facier. Contractor to provide necessary erosion control protection as required to ensure soil stabilization and proper seed germination.
  - All dimensions in meters unless otherwise noted.
  - If discrepancies arise between plant material count shown on drawing and plant list, the drawing shall be considered correct.
  - Contractor to provide minimum one (1) year warranty (including trees on municipal property) from date accepted on all work unless otherwise specified.
  - Any site plan or grading and servicing shown is for information only. Refer to approved drawings.
  - Not for construction unless stamped, signed and dated by Landscape Architect.
  - Drawings not to be reproduced without written consent from Landscape Architect.
  - Approval of landscape plan to be obtained from municipality.
  - All plant material to be planted a minimum of 1.0m from any swales or ditches.
  - For grading and servicing information refer to the consulting Engineer's drawings.
  - For lighting information and power distribution refer to the electrical consultant's drawings.

KEY MAP - N.T.S.



LEGEND

- property line
- existing tree to remain
- proposed deciduous tree
- proposed shrub
- proposed perennial
- existing elevation
- proposed elevation
- min. 150mm topsoil, fine grade & sod
- C.I.P. concrete
- precast concrete unit pavers
- river stone
- artificial turf
- light fixtures - refer to electrical plan by MV Shore

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STAMP



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Graywood Bronte Village  
Limited Partnership

MUNICIPALITY  
Town of Oakville

PROJECT  
2365 - 2377 Lakeshore Road West

MUNICIPAL FILE NUMBER  
OPA. 1729.61 and Z.1729.61

SHEET  
Landscape Plan

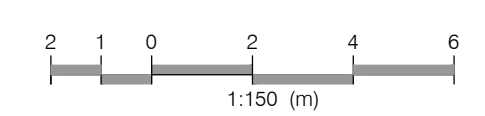
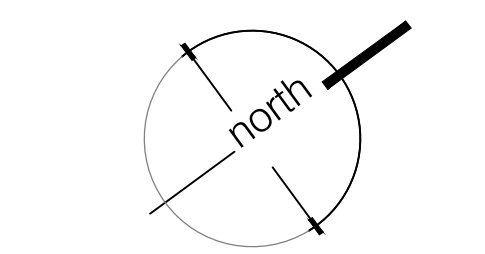
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landscape architecture

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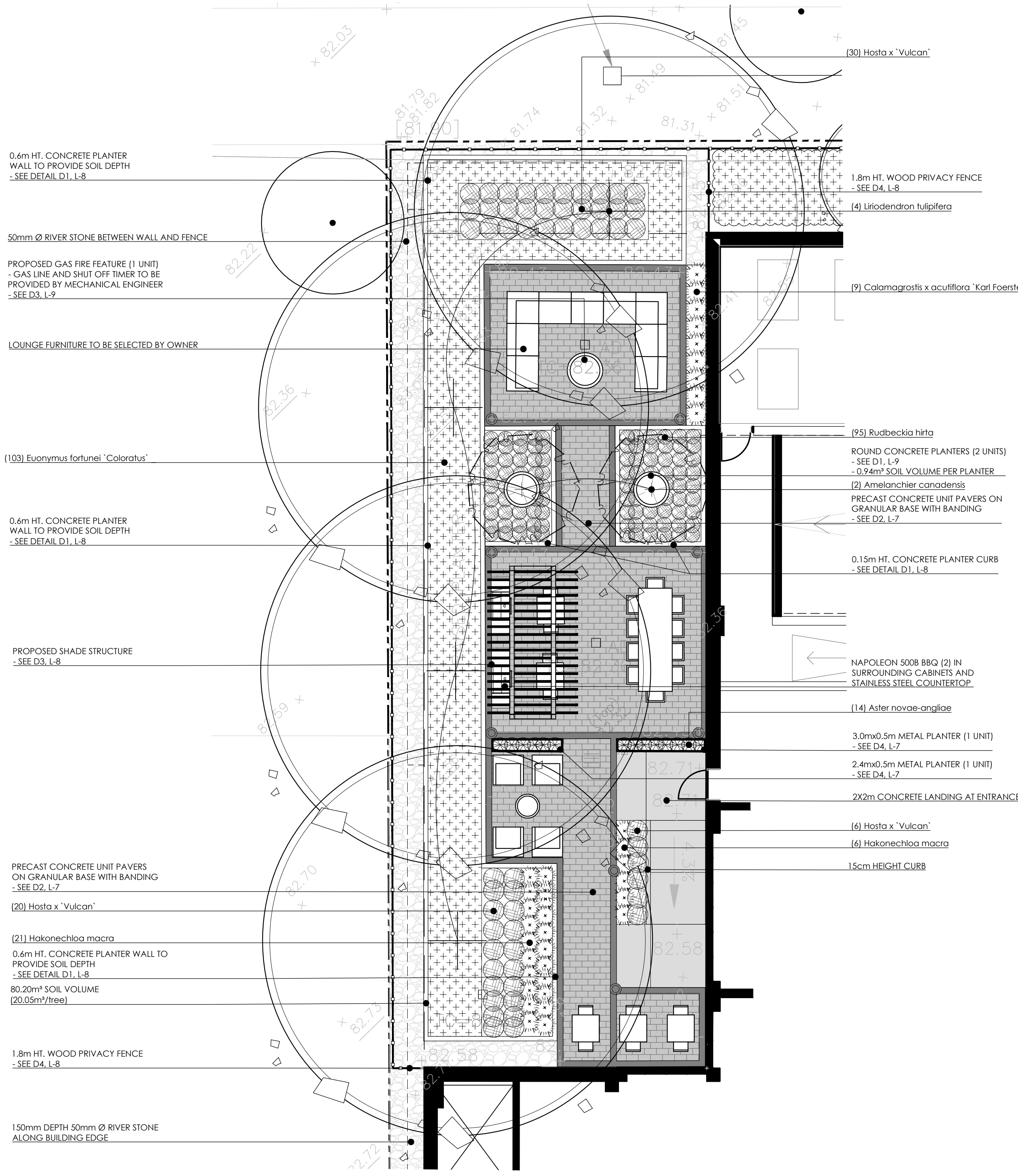
PLANT SCHEDULE SITE

TREES	BOTANICAL NAME	COMMON NAME	SIZE	COND.	MATURE HT. (M)	MATURE SPR. (M)	O.C. (M)	REMARKS
1	Acer rubrum	Red Maple	60mm Cal.	W.B.	15.0	12.0	As Shown	Native to Ontario
3	Quercus robur 'Fastigiata'	Pyramidal English Oak	50mm Cal.	W.B.	15.0	5.0	As Shown	
2	Quercus rubra	Red Oak	50mm Cal.	W.B.	18.0	17.0	As Shown	Native to Ontario
1	Tilia cordata	Littleleaf Linden	60mm Cal.	W.B.	18.0	10.0	As Shown	
SHRUBS	BOTANICAL NAME	COMMON NAME	SIZE	COND.	MATURE HT. (M)	MATURE SPR. (M)	O.C. (M)	REMARKS
19	Cornus sanguinea 'Winter Beauty'	Winter Beauty Dogwood	60cm	#3 cont.	1.25	1.5	1.3	
25	Juniperus chinensis 'Daub's Frosted'	Daub's Frosted Juniper	60cm	#3 cont.	0.40	1.25	1.0	
GRASSES	BOTANICAL NAME	COMMON NAME	SIZE	COND.	MATURE HT. (M)	MATURE SPR. (M)	O.C. (M)	REMARKS
11	Calamagrostis x acutiflora 'Karl Foerster'	Karl Foerster Feather Reed Grass	#1 cont.		1.25	0.60	0.50	
PERENNIALS	BOTANICAL NAME	COMMON NAME	SIZE	COND.	MATURE HT. (M)	MATURE SPR. (M)	O.C. (M)	REMARKS
25	Hemerocallis x 'Stella D'Oro'	Stella D'Oro Daylily	#1 cont.		0.30	0.50	0.40	
GROUND COVERS	BOTANICAL NAME	COMMON NAME	SIZE	COND.	MATURE HT. (M)	MATURE SPR. (M)	O.C. (M)	REMARKS
86	Euonymus fortunei 'Coloratus'	Purpleleaf Wintercreeper	40cm	#2 cont.	0.30	1.25	0.80	

**STREETSCAPE NOTE:**  
STREETSCAPE/BOULEVARD DESIGN, MATERIALS AND PLANTING ARE CONCEPTUAL AND IS NOT SUBJECT TO APPROVAL AS PART OF THE SITE PLAN APPLICATION



DATE: 2023-09-08, 2:02:18 PM, PROJECT: 21-230, DRAWING: 21-230-01, SHEET: L-4, PROJECT LOCATION: 2365-2377 LAKESHORE ROAD WEST, OAKVILLE, ONTARIO, CANADA. DRAWING SCALE: 1:100.00. DATE PLOTTED: 2023-09-08, 2:02:18 PM. PLOTTER: HP DesignJet T1300. PLOTTER MODEL: HP DesignJet T1300. PLOTTER DRIVER: HP DesignJet T1300. PLOTTER LANGUAGE: HP DesignJet T1300. PLOTTER OPTIONS: HP DesignJet T1300. PLOTTER STATUS: HP DesignJet T1300. PLOTTER MESSAGE: HP DesignJet T1300. PLOTTER ERROR: HP DesignJet T1300. PLOTTER WARNING: HP DesignJet T1300. PLOTTER INFO: HP DesignJet T1300.

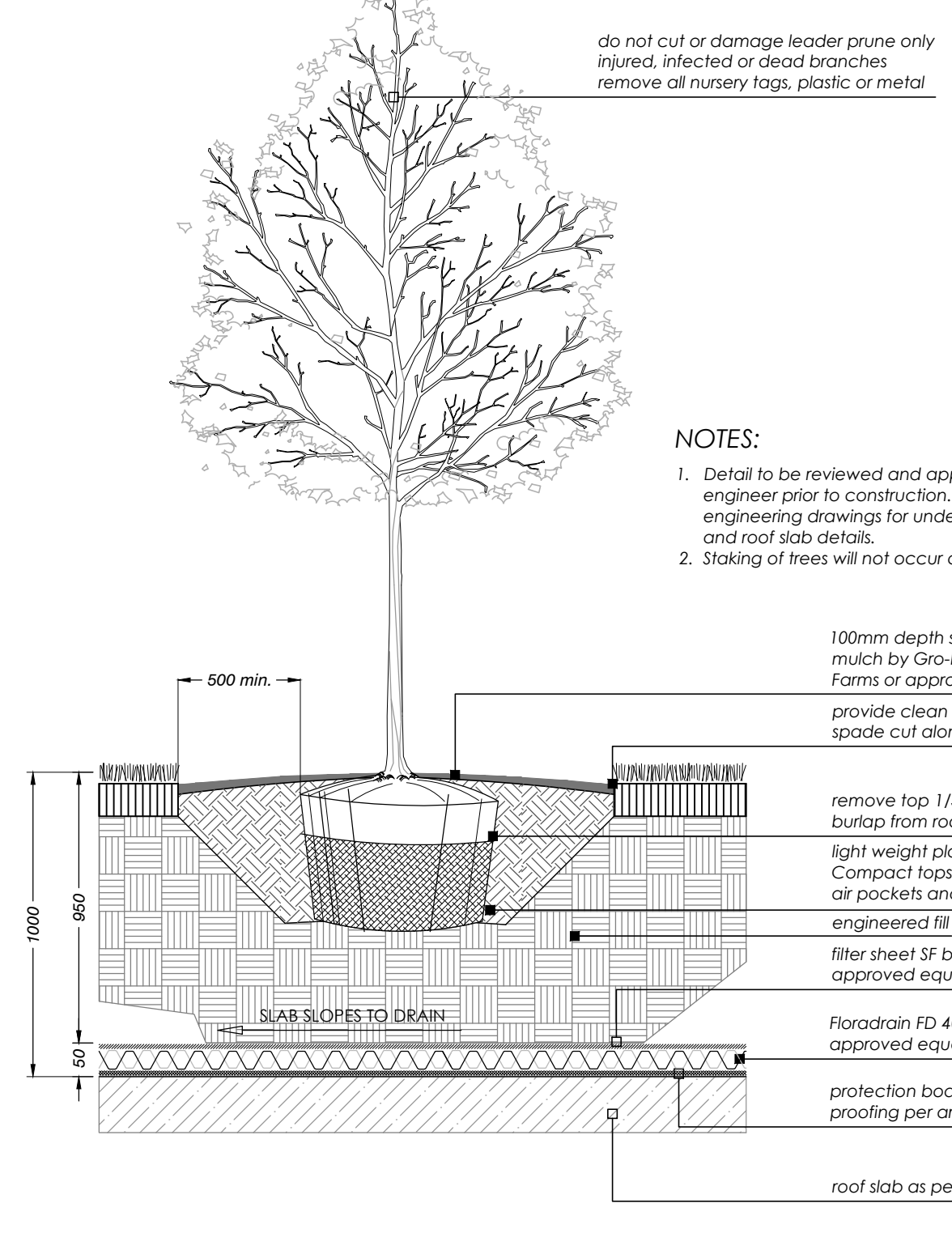


PLANT SCHEDULE AMENITY SPACE

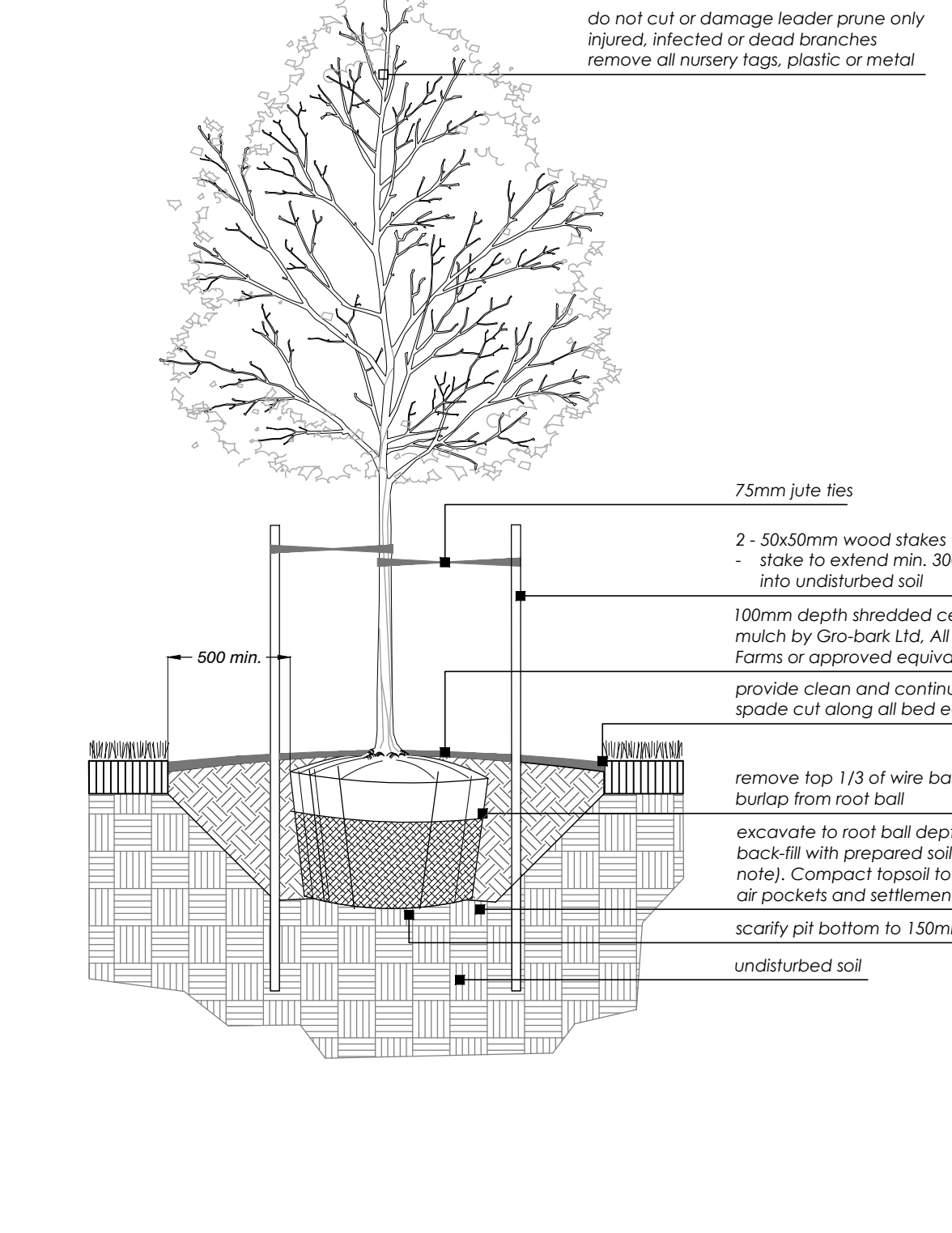
Table with columns: TREES, GRASSES, PERENNIALS, GROUND COVERS. Columns include botanical name, common name, size, condition, mature height, mature spread, O.C., and remarks.

PLANTING NOTES:

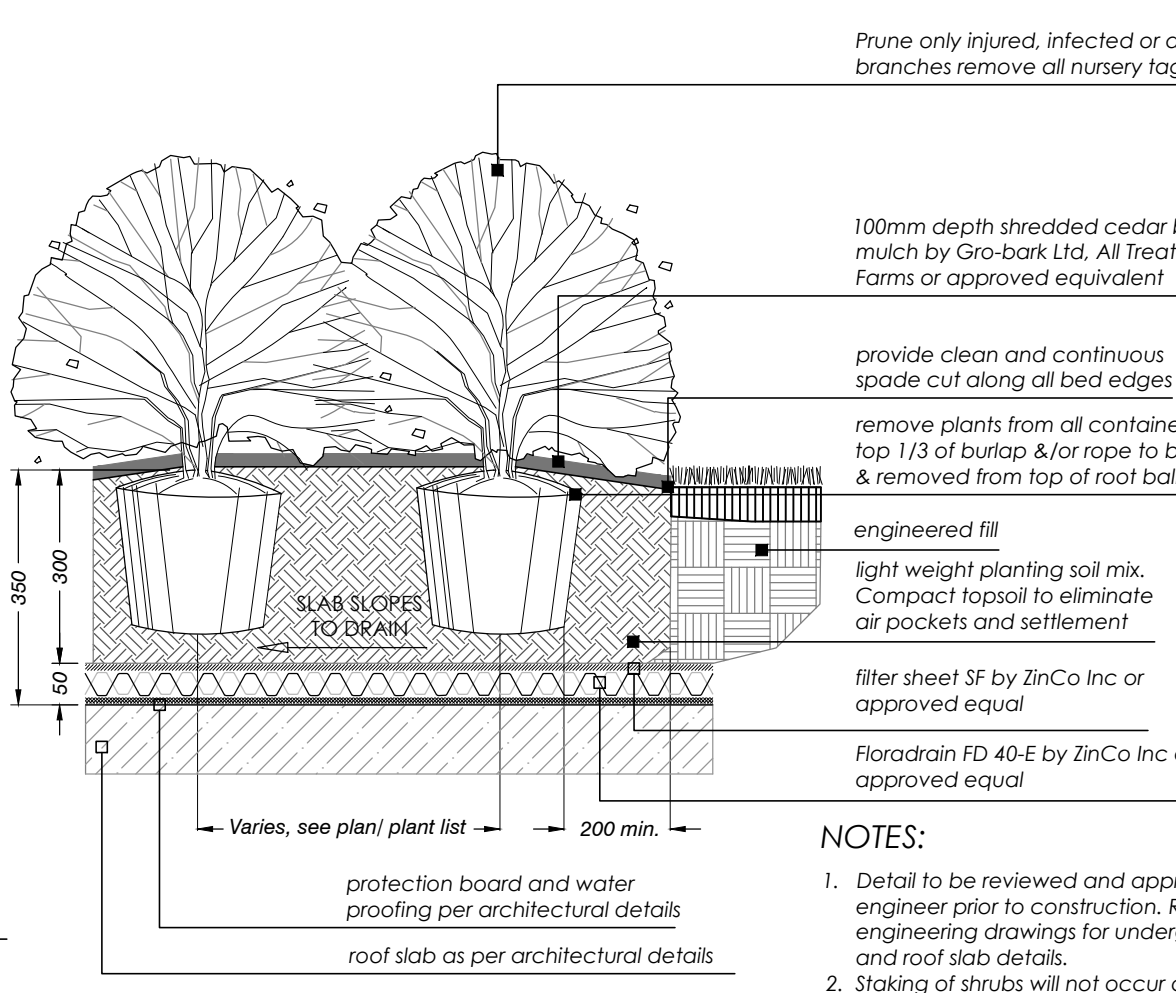
- 1. Soil mixture: four (4) parts native soil, one (1) part well rotted compost. If existing soil is not suitable provide...
2. Saucer shall be soaked with water and mulched immediately following planting.
3. Massed shrubs shall be planted in continuous mulched beds unless otherwise noted.
4. Staking schedule:
5. All support systems must be removed once tree is established.
6. All trees to be straight and planted vertically regardless of slope.
7. Top of root flare shall be positioned 50mm above grade.
8. The following depths of soil are required for planting:
 - 15cm topsoil for sod;
 - 30cm of topsoil for perennials;
 - 45cm of topsoil for shrubs;
 - 90cm of topsoil for trees



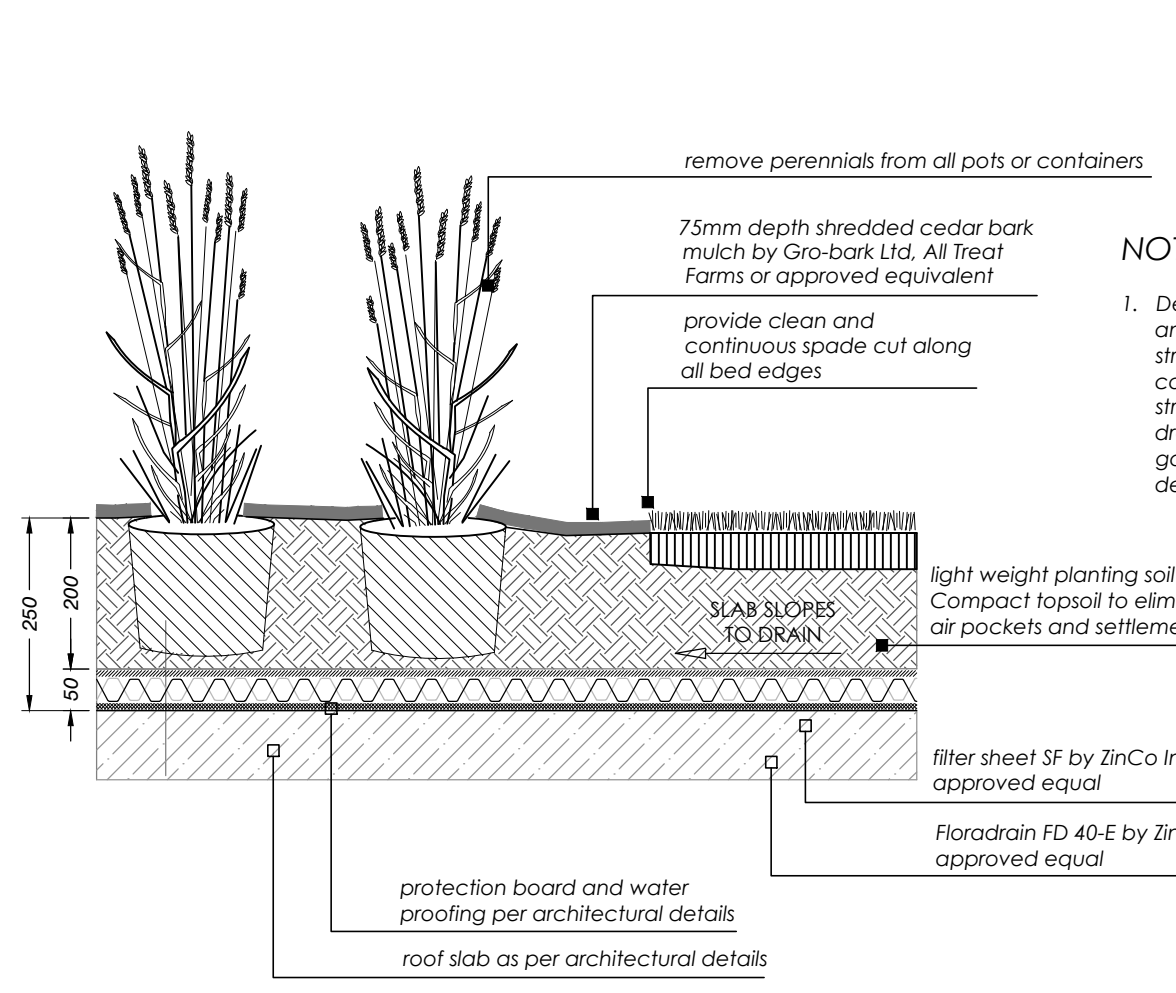
Balled & Burlapped/ Wire Basket Deciduous Tree (on slab) SCALE: 1/1.5



Balled & Burlapped/ Wire Basket Deciduous Tree SCALE: 2/1.5



Container Grown Shrub (on slab) SCALE: 3/1.5



Container Grown Perennial SCALE: 4/1.5

KEY MAP - N.T.S.



LEGEND

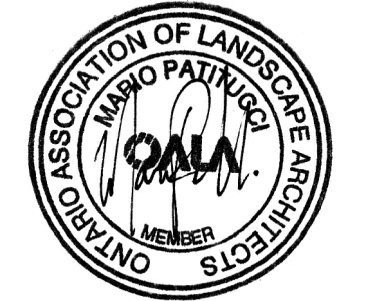
- property line
( ) existing tree to remain
( + ) proposed deciduous tree
( ) proposed shrub
( ) proposed perennial
+ 81.88 existing elevation
+ 82.10 proposed elevation
[ ] C.I.P. concrete
[ ] precast concrete unit pavers

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REVISIONS/ SUBMISSIONS

Table with columns: #, DATE, DESCRIPTION. Lists 5 revisions from 2022-03-24 to 2023-09-08.

STAMP



CLIENT Graywood Bronte Village Limited Partnership
MUNICIPALITY Town of Oakville
PROJECT 2365 - 2377 Lakeshore Road West

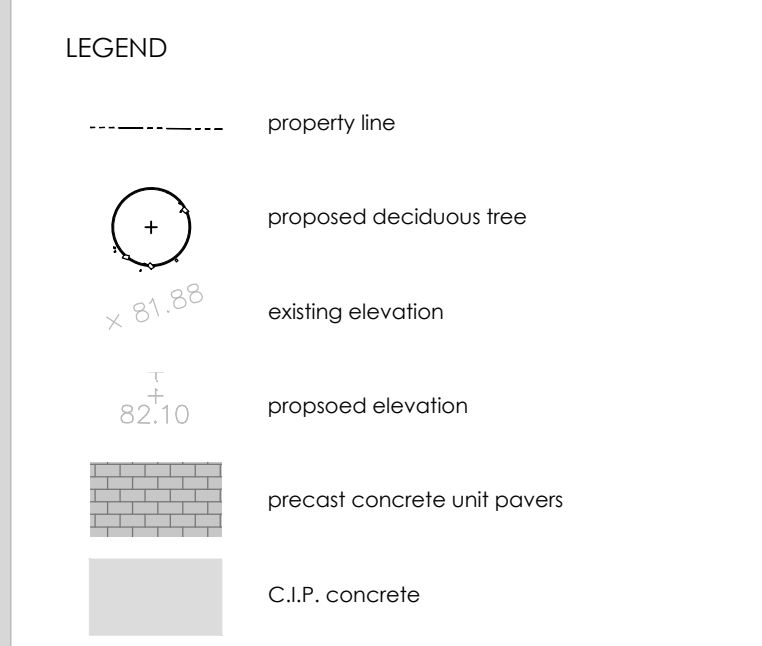
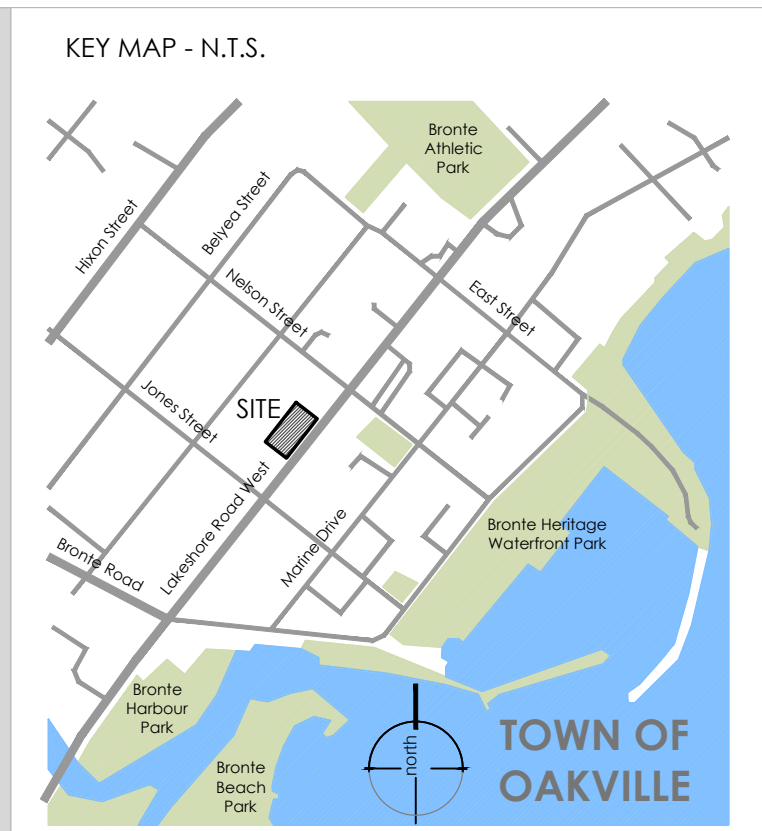
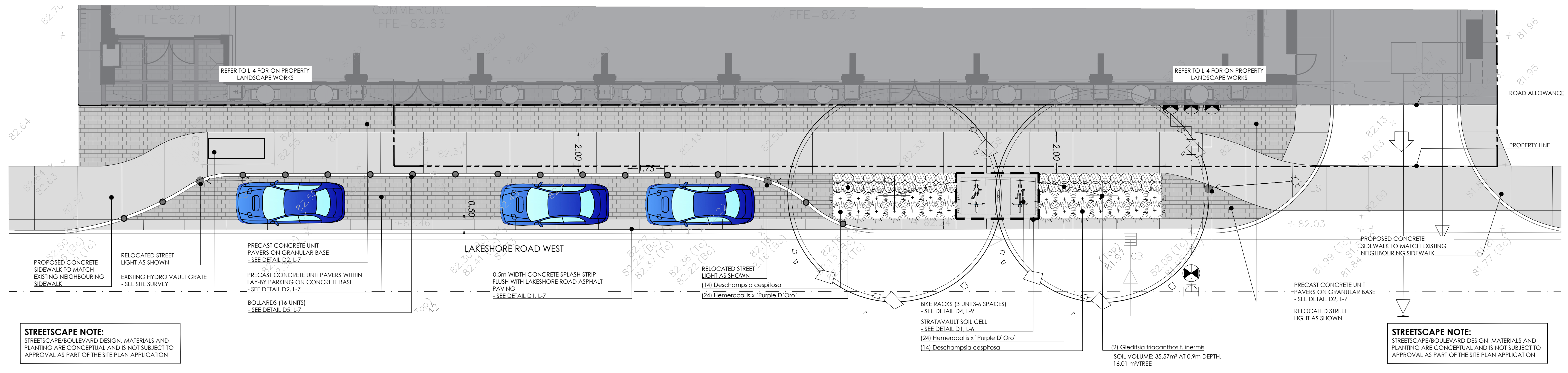
MUNICIPAL FILE NUMBER OPA. 1729.61 and 1729.61

SHEET Amenity Space Enlargement L-5

adesso design inc. landscape architecture

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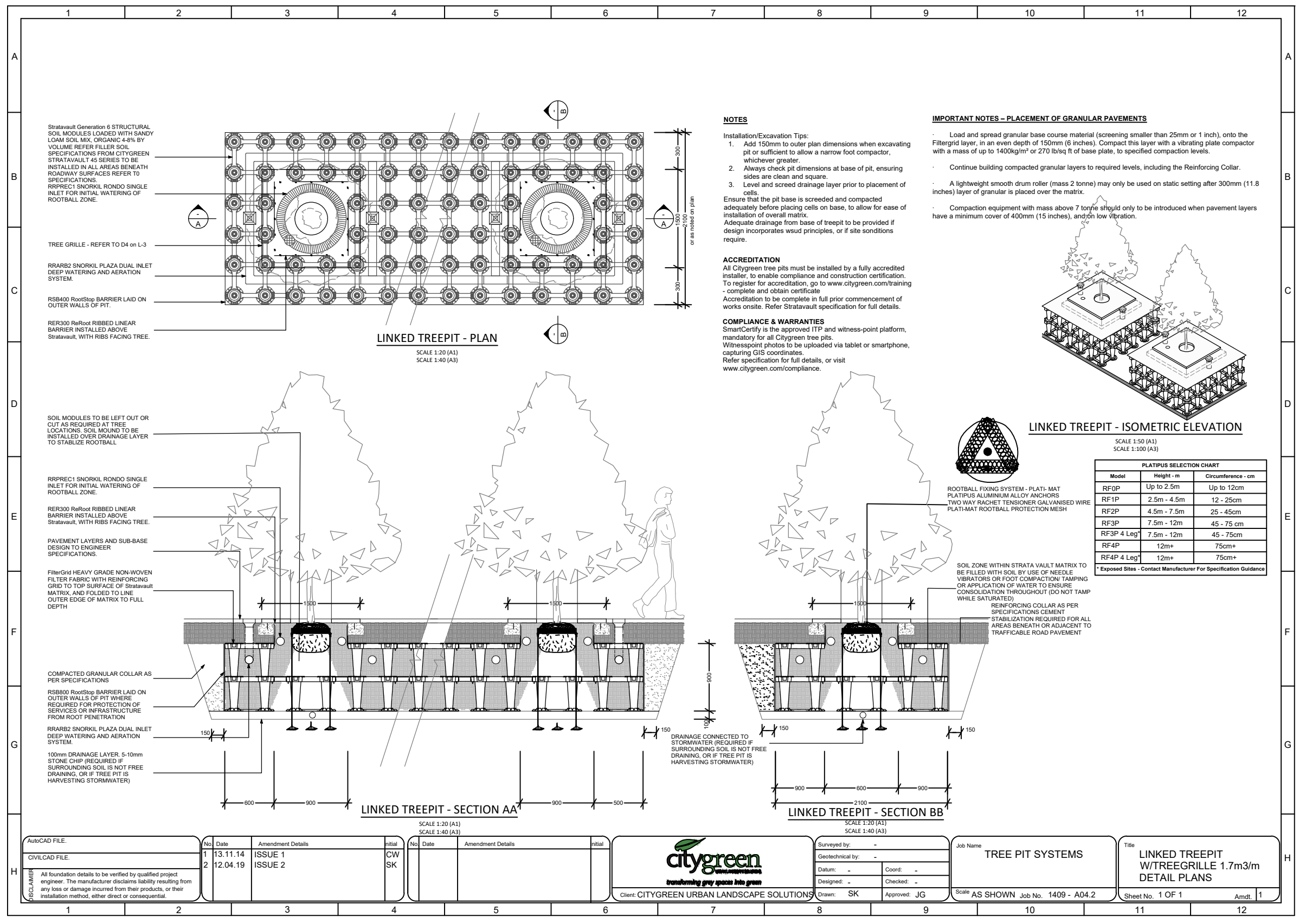
DATE: 2023-09-08, 2023-07-26, 2023-07-05, 2023-03-24, 2022-03-24. PROJECT: 21-230 AMENITY SPACE ENLARGEMENT. DRAWING: L-5.



STREETSCAPE ENLARGEMENT  
SCALE: 1:100

PLANT SCHEDULE STREETScape

TREES	BOTANICAL NAME	COMMON NAME	SIZE	COND.	MATURE HT. (M)	MATURE SPR. (M)	O.C. (M)	REMARKS
2	<i>Gleditsia triacanthos f. inermis</i>	Thornless Honey Locust	70mm Cal.	W.B.	17.0	12.0	As Shown	
GRASSES	BOTANICAL NAME	COMMON NAME	SIZE	COND.	MATURE HT. (M)	MATURE SPR. (M)	O.C. (M)	REMARKS
28	<i>Deschampsia cespitosa</i>	Tufted Hair Grass	#1 cont.		0.70	0.70	0.60	Native to Ontario
PERENNIALS	BOTANICAL NAME	COMMON NAME	SIZE	COND.	MATURE HT. (M)	MATURE SPR. (M)	O.C. (M)	REMARKS
48	<i>Hemerocallis x 'Purple D'Oro'</i>	Purple D'Oro Daylily	#1 cont.		0.50	0.50	0.40	Rebloomer



Stratavault soil cells by citygreen (or approved equal)  
SCALE: N.T.S.

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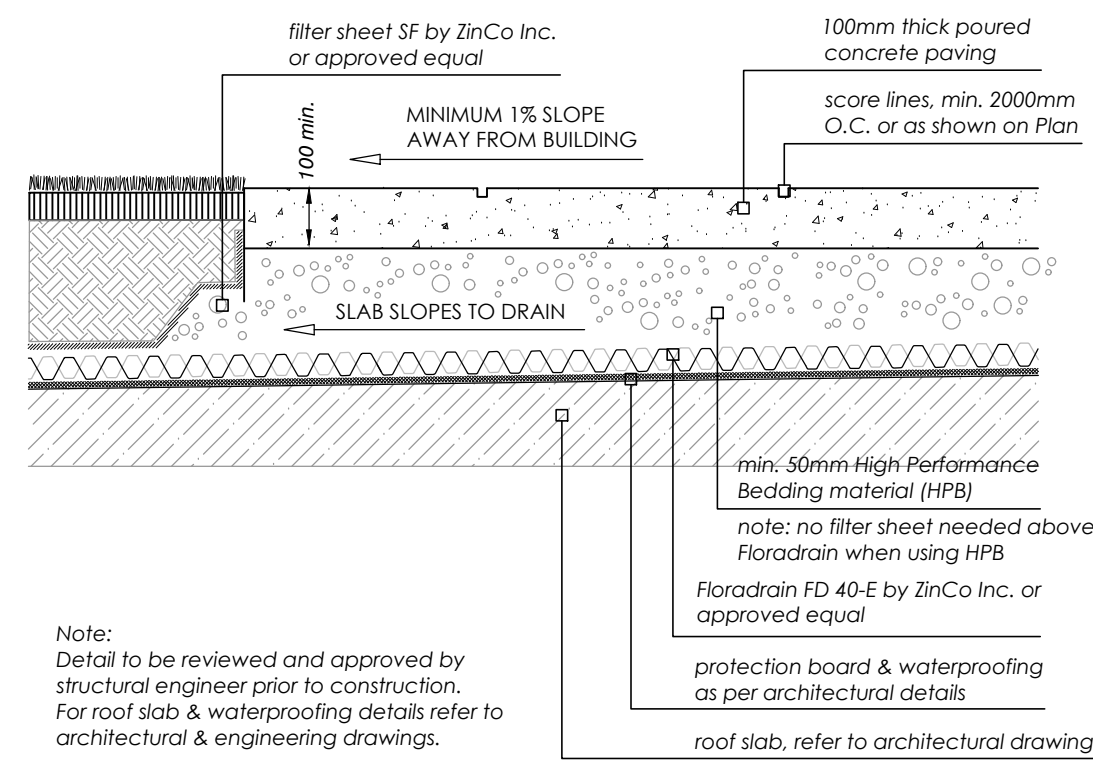
SHEET  
Landscape Streetscape Plan  
**L-6**

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landscape architecture

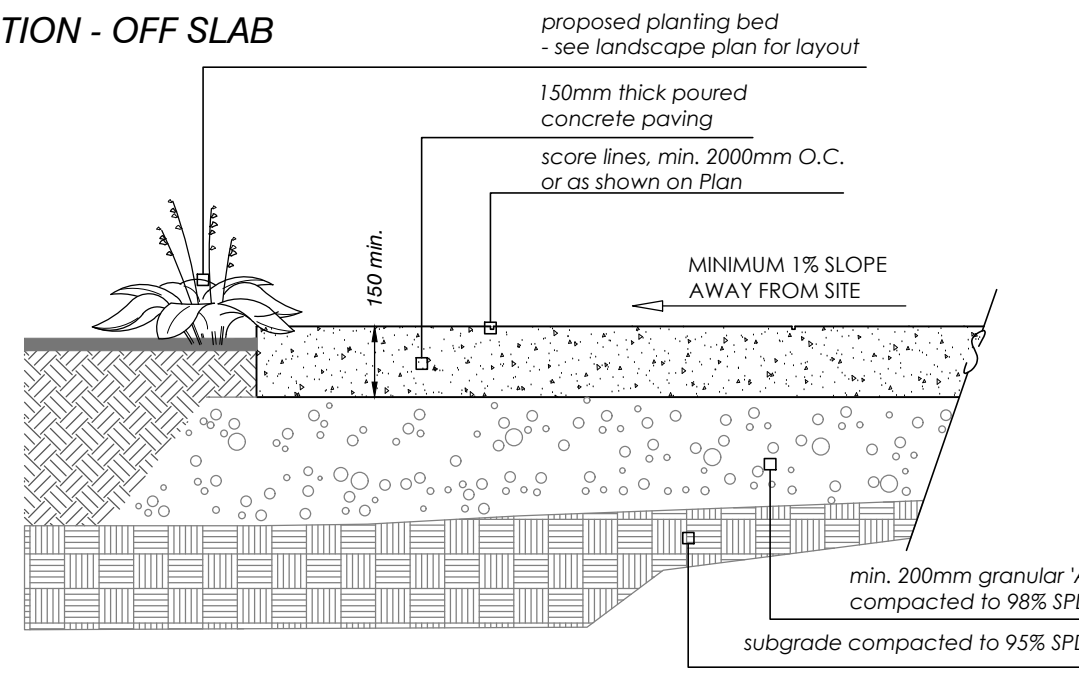
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DATE: 2023-09-08, TIME: 10:58 AM, PROJECT: 21-230, DRAWING: L-6, SCALE: N.T.S., DRAWN BY: J. VANDERKAM, CHECKED BY: J. VANDERKAM, PLOTTED: 2023-09-08, PLOTTER: HP DesignJet T1100, PLOT SIZE: 11x17 INCHES

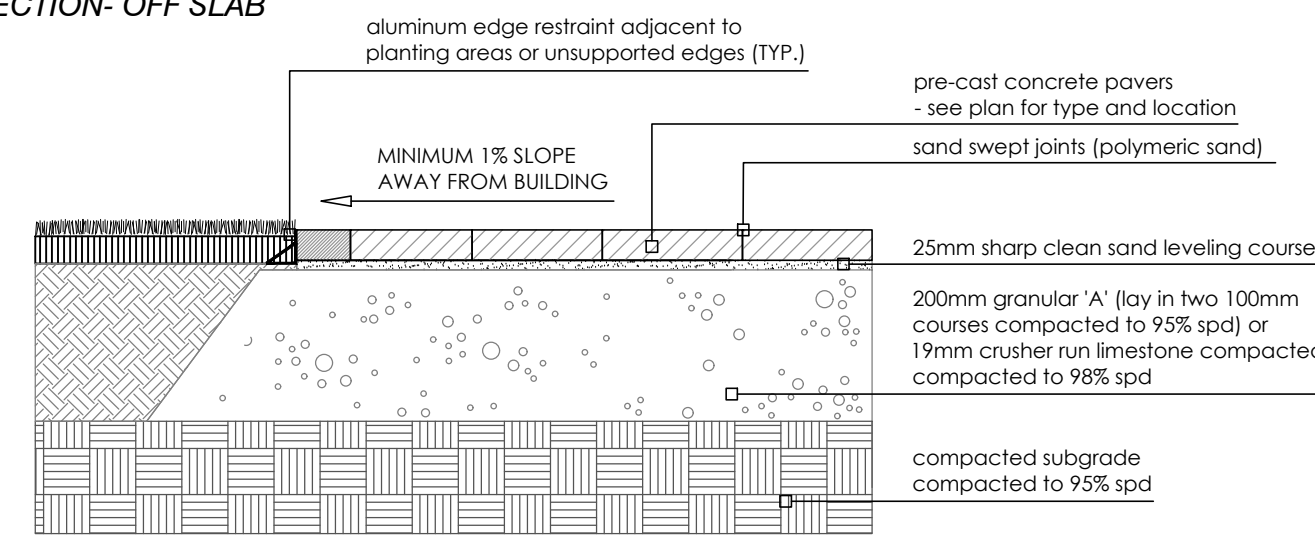
SECTION - ON SLAB



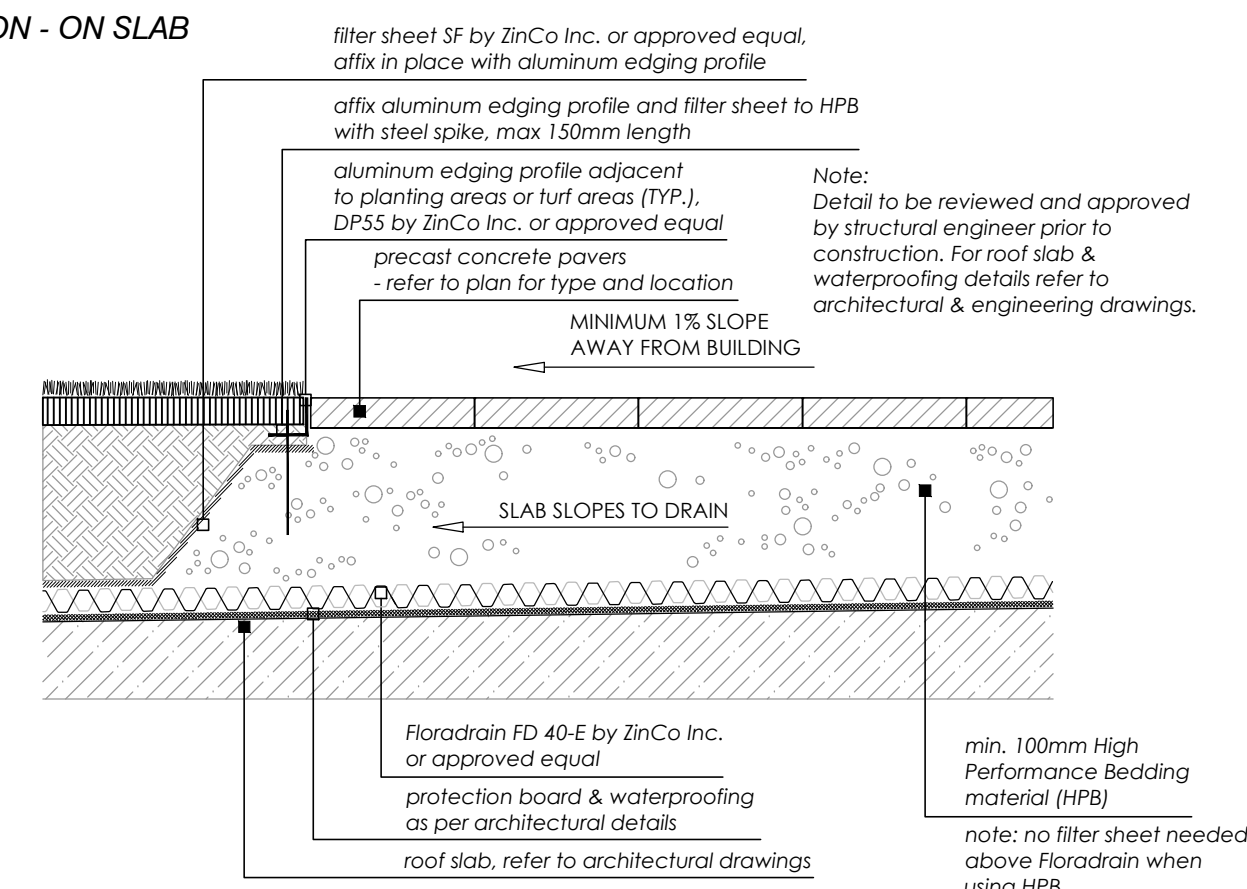
SECTION - OFF SLAB



SECTION - OFF SLAB



SECTION - ON SLAB



CONCRETE NOTES:

- Do concrete materials and methods of concrete construction in accordance with structural engineering drawings.
- Contractor to verify accuracy of concrete details and reinforcement prior to installation.
- For construction materials refer to structural engineering drawings and specifications.
- Concrete mix to provide compressive strength of 28MPa at 28 days, entrained air of 6% to 1% and slump at point of discharge of 60mm, as per structural engineering drawings and specifications.
- Four concrete in favorable weather conditions. Inform the landscape architect of any adverse weather impacts prior to pouring.
- Four concrete in uniform layers of continuous lengths between expansion joints. An expansion joint is required where placing has been suspended for 30 minutes.
- Provide control joints/expansion joints as shown on drawings or as per structural engineering drawings.
- Surface finish of planter is to be an architectural finish with the use of form liners as per architectural concrete specifications.
- Repair defective areas while concrete is still plastic, or remove defective work and replace with new concrete.
- Concrete areas will not be accepted if:
  - fails to meet requirements of this specification;
  - contains excessive honeycombing or embedded debris;
  - 28 days average strength in any defined area is less than 95% of specified minimum strength;
  - surface irregularities;
  - damaged or chipped;
  - poor workmanship.
- It is the contractor's responsibility to maintain and protect concrete areas until time of final acceptance.

Cast in Place Concrete Paving

SCALE: NTS

1  
L-7

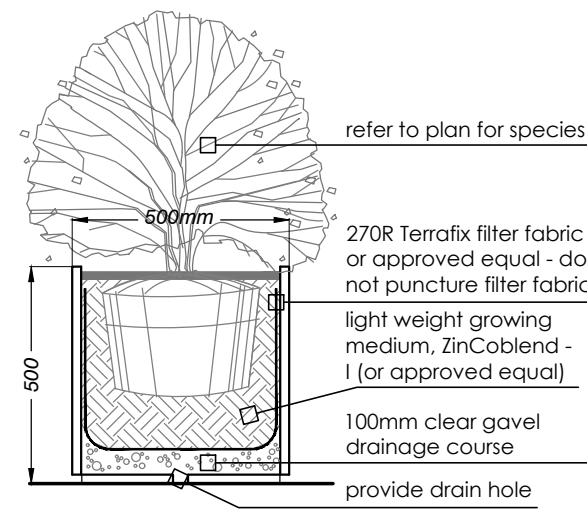
Precast Concrete Unit Pavers

SCALE: NTS

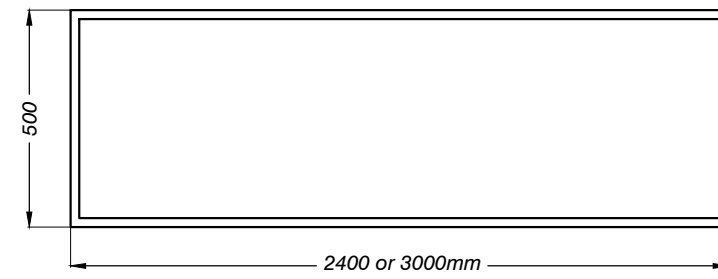
2  
L-7

SECTION

**Flatpack Planter** (or Approved equal)  
 DIMENSIONS: 3.00m x 0.5m x 0.5m (1 Quantity)  
 COLOUR: Black  
 MANUFACTURER: Green Theory Design  
 E: sales@greentheorydesign.com  
 P: 604-475-7002

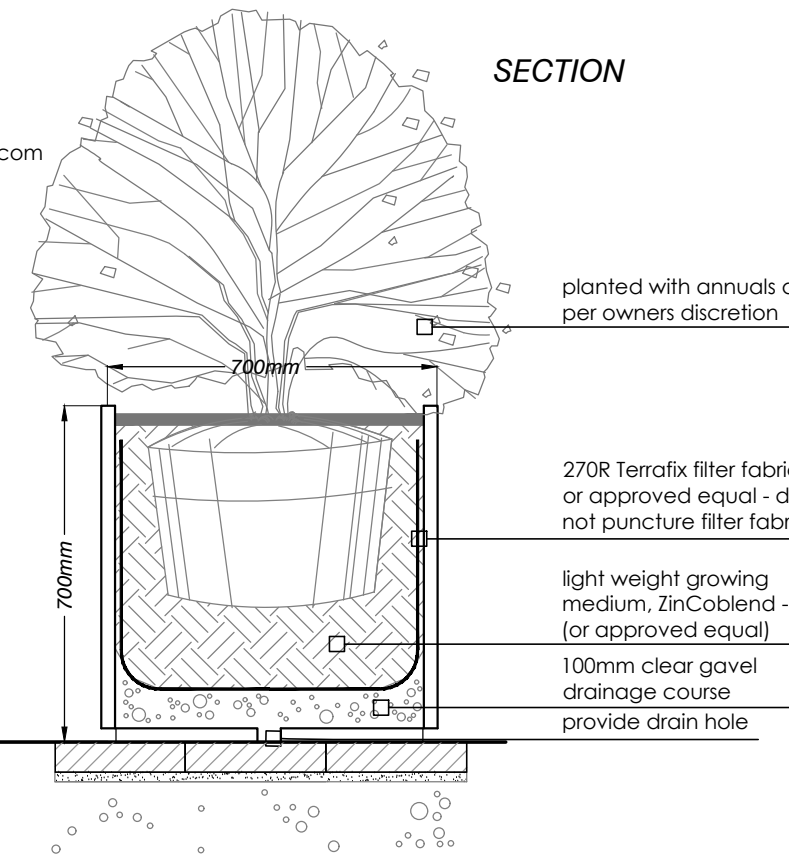


PLAN

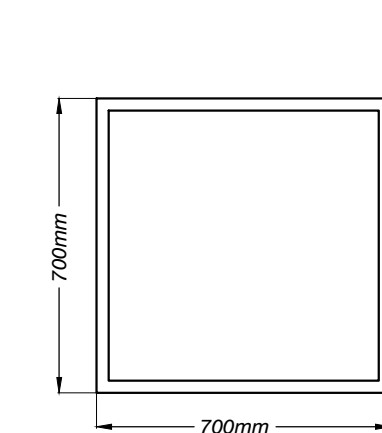


Square Aluminum Planter

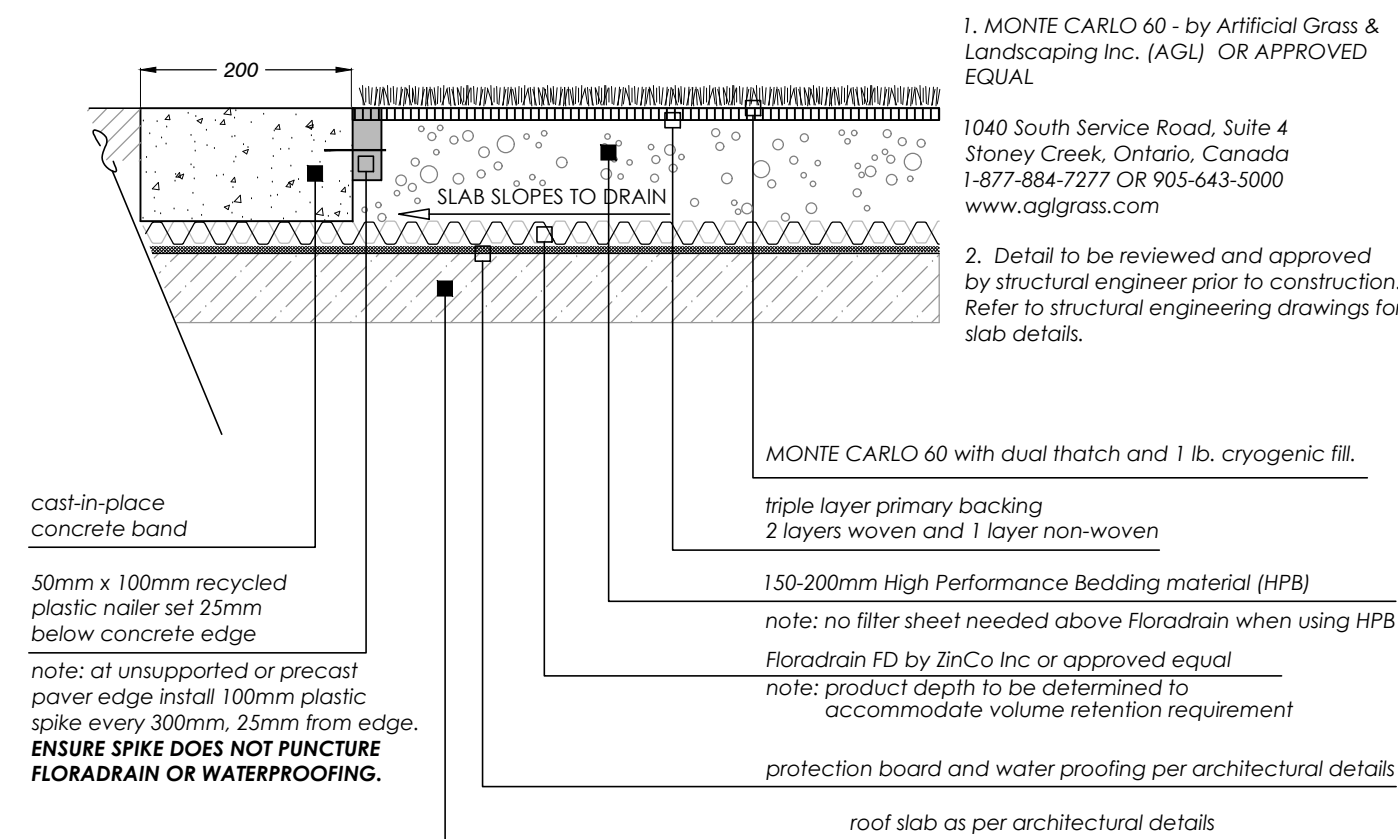
DIMENSIONS: 0.7m x 0.7m x 0.7m  
 COLOUR: Black  
 QUANTITY: 9  
 MANUFACTURER: Green Theory Design  
 CONTACT: Park Street - Kevin Beilidge  
 E: sales@greentheorydesign.com  
 P: 604-475-7002



PLAN



SECTION



Artificial Grass

SCALE: NTS

3  
L-7

Green Theory Metal Planter (or approved equal)

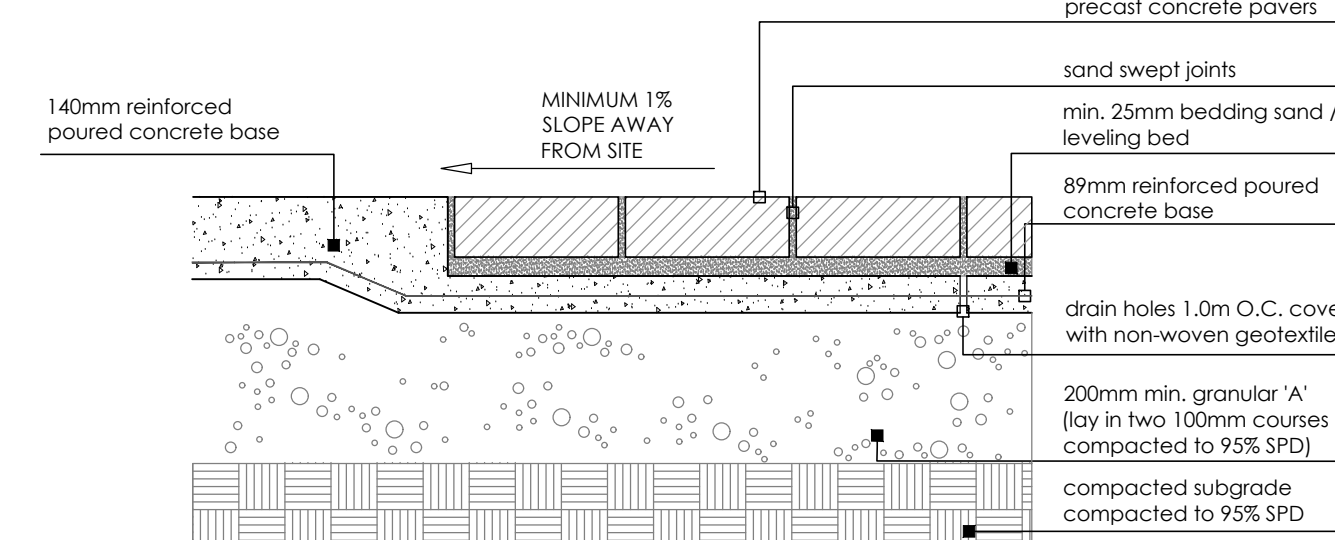
SCALE: NTS

4  
L-7

Bollard by Maglin - or approved equal

SCALE: NTS

SECTION - ON CONCRETE BASE (lay-by parking)



NOTES:

1. Paver types are as follows (or approved equal):

TYPE	DESCRIPTION	PATTERN	SIZE	COLOUR	LOCATION
'A'	Permacon Melville Plank	Running Band	127mmx400mm	Scandia Grey	Entrance, boulevard, amenity area, & lay-by parking
'B'	Permacon Melville Plank	Banding	127mmx300mm	Rockland Black	Banding (Entrance and Amenity Space)

2. Unit pavers are 80mm thick. Contractor to provide samples on site to be approved by Landscape Architect and/or Owner.

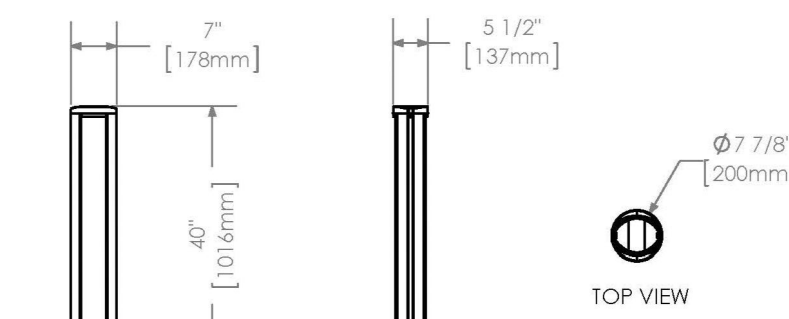
1600 SERIES

**MBO-1600-00014**  
 Legacy # SCTB1600-W-B2



**MATERIALS:** The bollard is made with extruded aluminum. Decorative top and base are cast aluminum with ipe.  
**FINISH:** The Maglin Powdercoat System provides a durable finish on all metal surfaces.  
**INSTALLATION:** Base Type - B2, Threaded rod is set into concrete. Base mount threaded onto rod. Bollard is screwed onto mount with 4 screws and tightened.  
**TO SPECIFY:** Select MBO-1600-00014  
 Choose:  
 - Powdercoat Color

HEIGHT: 40" (101.6cm) WIDTH: 7" (17.8cm) RADIUS: 7.9" (20.0cm) WEIGHT: 40.76lbs (18.5kg)



MAGLIN

Site Furniture  
 1-800-798-8004  
 F-877-260-9393  
 www.maglin.com  
 sales@maglin.com

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SHEET  
 Details

L-7

adesso design inc.  
 landscape architecture

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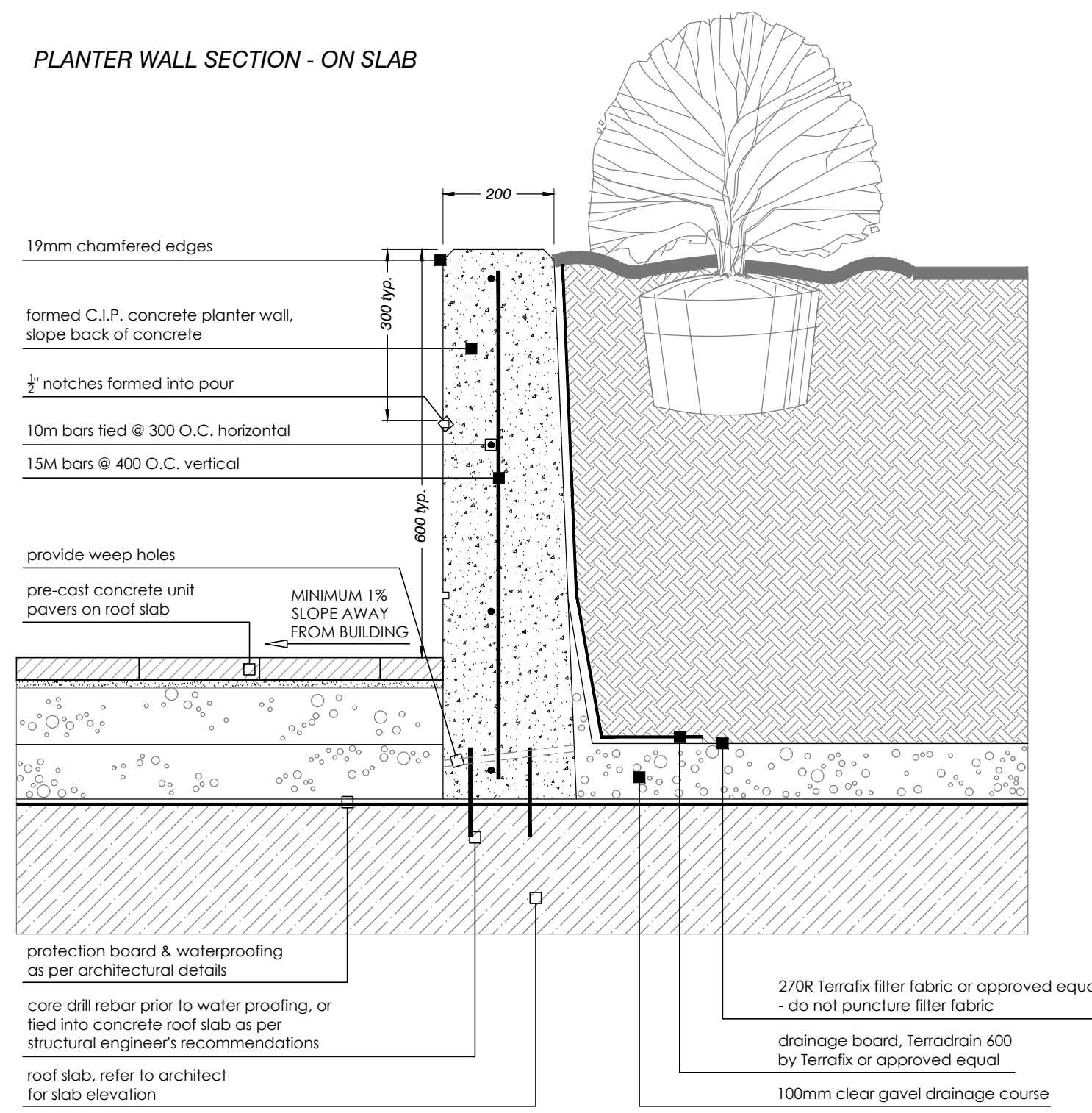
**CONCRETE NOTES:**

- Do concrete materials and methods of concrete construction in accordance with OPSS 351.
- Contractor to verify accuracy of concrete details and reinforcement prior to installation.
- Provide following materials:
  - cement: to OPSS 905 and 1350.
  - aggregates for concrete: OPSS 905 and 1350
  - reinforcing steel if detailed: OPSS 905 and 1350
  - wire ties if detailed: plain, cold drawn annealed steel wire.
  - form stripping agent: colorless mineral oil, free of kerosene.
  - latex bonding agent: sika bond, sikamix limited, or approved equal.
  - form lumber and plywood: clean, free of loose knots, splits and with repairs made smoothly and securely.
  - joint fillers: preformed, non-extruding, resilient bituminous type.
  - admixtures: to be used only when approved by engineer.
  - aggregates for base: granular 'A' to OPSS form 1010.
  - water: water used in mixing or curing shall be reasonably clean and free of oil, salt, acid, alkali, sugar, vegetable matter or other substance injurious to the finished project and shall meet the requirement of OPSS.
- Concrete mix to provide compressive strength of 28MPa at 28 days, entrained air of 6% to 1% and slump at point of discharge of 60mm for curbs and footings.
- Granular base to be compacted to 95% maximum dry density to OPSS and to depths as detailed.
- Pour concrete in favourable weather conditions.
- Apply surface finish as detailed.
- Provide control joints/expansion joints 3000mm O.C. or as required.
- Repair defective areas while concrete is still plastic, or remove defective work and replace with new concrete.
- Concrete areas will not be accepted if:
  - fails to meet requirements of this specification
  - contains excessive honeycombing or embedded debris.
  - 28 days average strength in any defined area is less than 95% of specified minimum strength.
  - surface irregularities.
  - damaged or chipped.
  - poor workmanship.
- It is the contractor's responsibility to maintain and protect concrete areas until time of final acceptance.

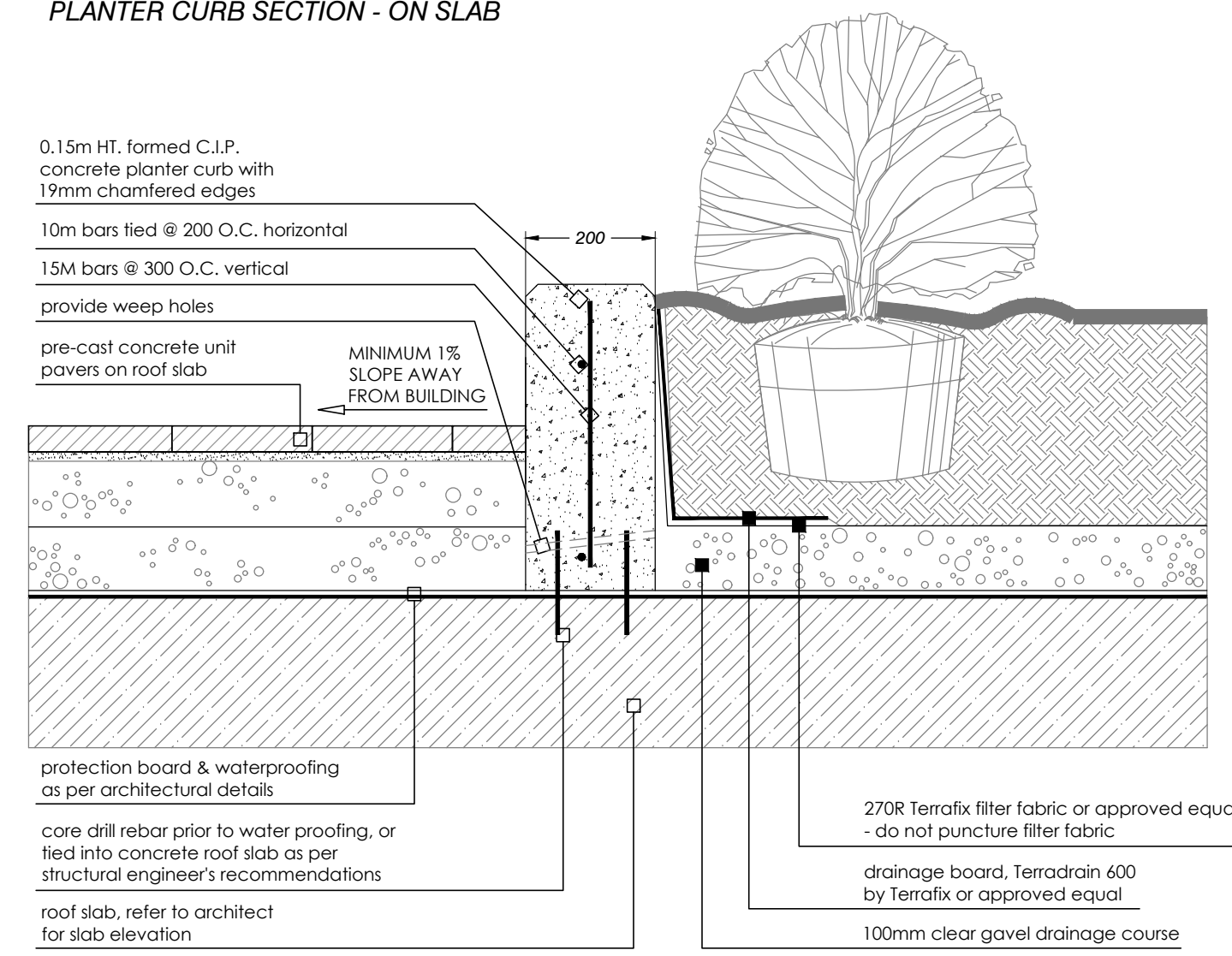
**GENERAL NOTES:**

- Detail to be reviewed and approved by structural engineer prior to construction. Refer to structural engineering drawings for underground garage wall and roof slab details.

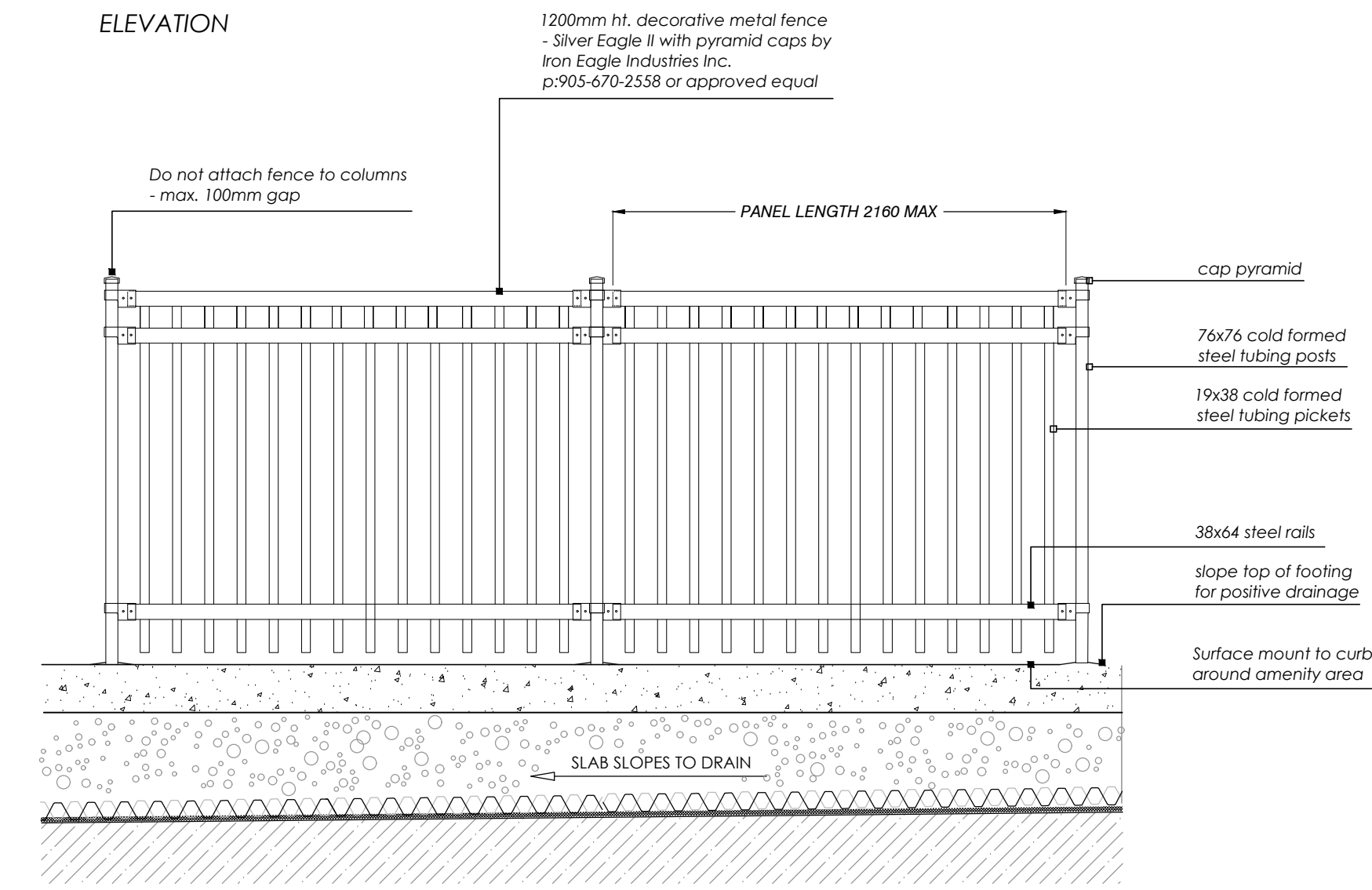
**PLANTER WALL SECTION - ON SLAB**



**PLANTER CURB SECTION - ON SLAB**



**ELEVATION**



**LAYOUT**

- All fences adjacent to road allowances and walkways to be erected 0.15m onto private property. Fencing is not to be erected on the lot line or into any road allowance or easement.
- Footing and excavation to be entirely on proposed development lands.

**Raised Concrete Planter Wall & Curb**

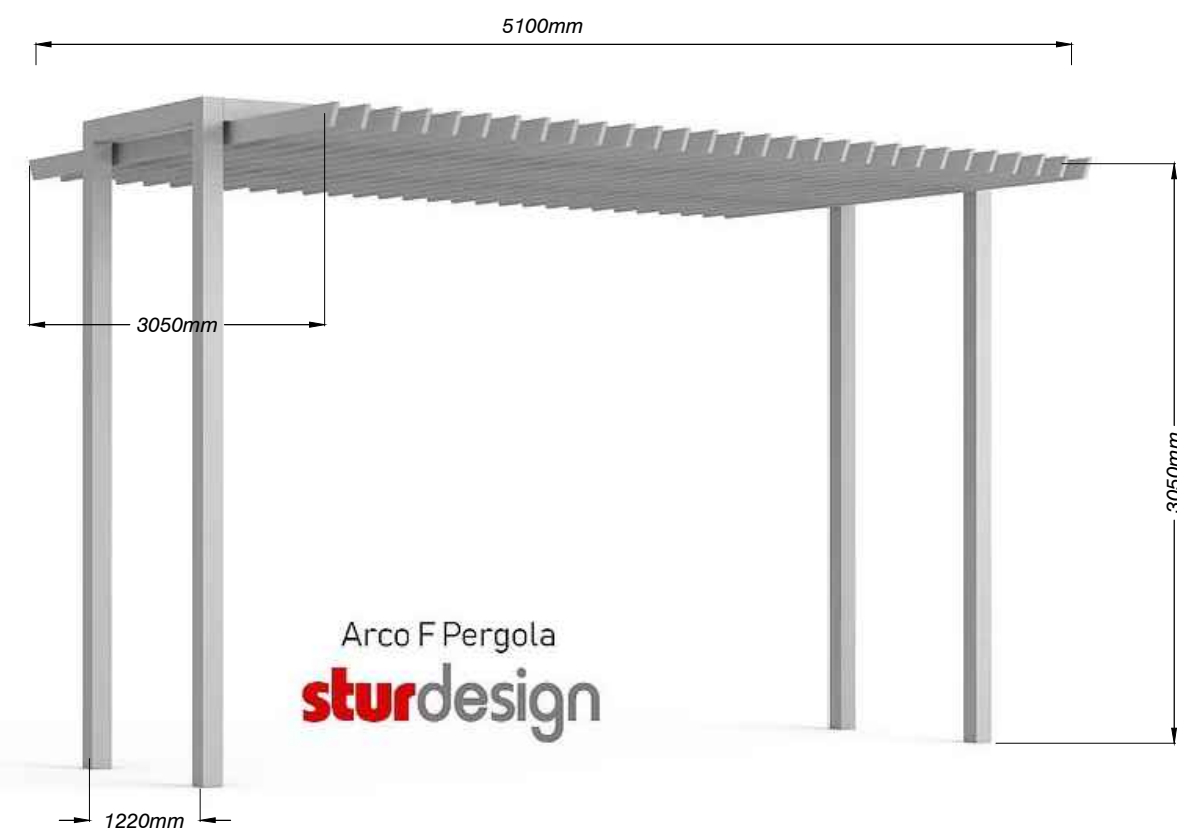
Scale: NTS

1  
L-8

**Decorative Metal Fence on slab (1200mm Height)**

NOT TO SCALE

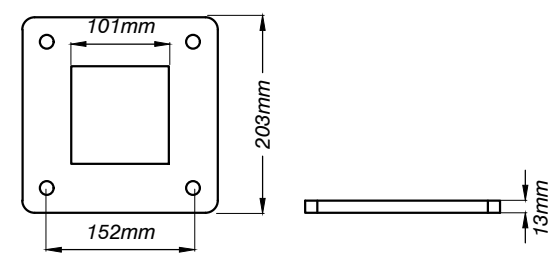
2  
L-8



**MOUNTING PLATE**

SCALE: NTS

Plan Elevation

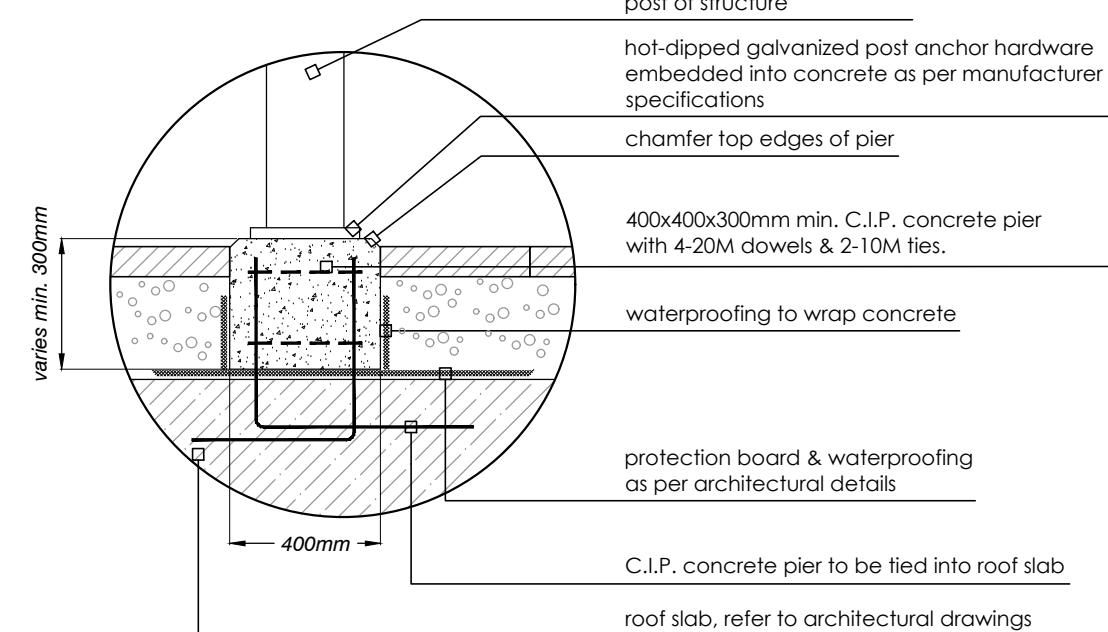


**NOTE**

- Detail to be reviewed and approved by structural engineer prior to construction.
- Install as per manufacturer's specifications.
- Sturdesign Contact Information: Mike Sankey, 855-207-9669, www.sturdesign.com

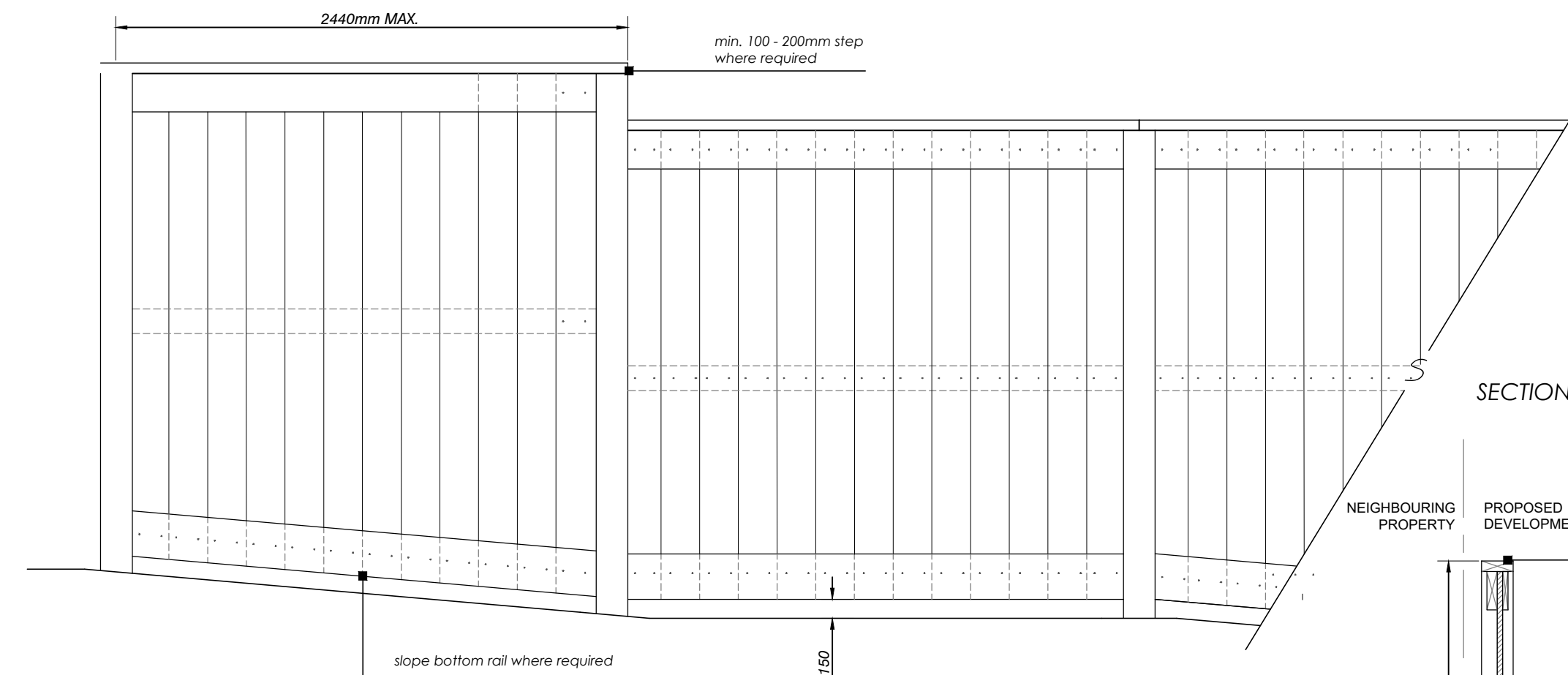
**INSET #1 - TYPICAL**

NTS



Acro Pergola by Sturdesign or approved equal

3  
L-8

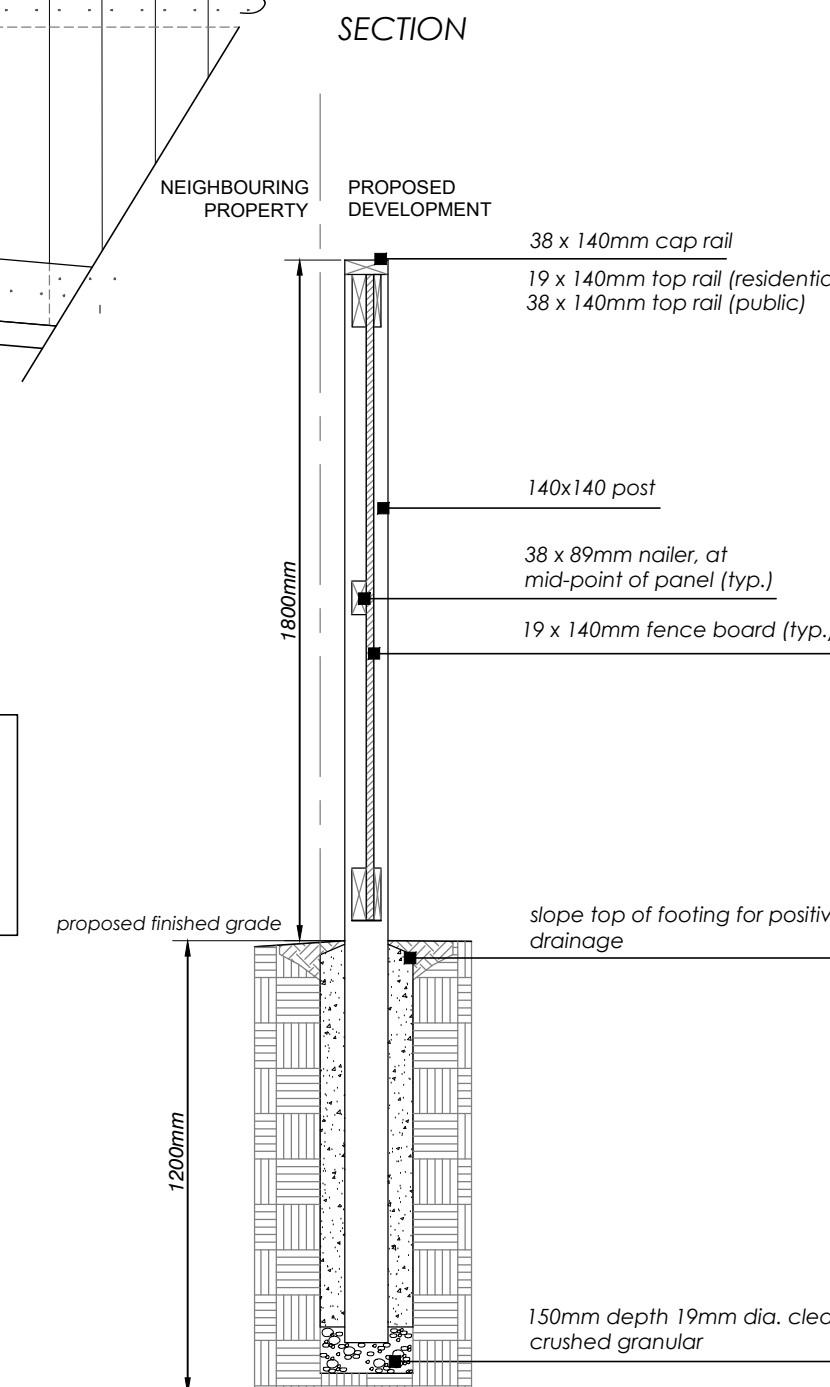


**NOTES:**

- All materials, components and workmanship to conform to building and local by-laws.
- All wood to be Pressure Treated (Spruce, Pine Fir) selected mainly for good appearance all members shall be free of wane and bark pockets. All 10m grain shall be eliminated by sanding and planing. Members exhibiting moderate to heavy knots shall be well distributed throughout the site.
- All cuts and holes that expose untreated wood should be liberally brush-coated with two applications of an end-cut preservative (copper naphthenate in ground contact or zinc naphthenate above ground) before the wood is installed. Follow the manufacturer's recommendations re: the application of suitable preservatives.
- All wood to bear lumber grading stamp.
- All fasteners shall have exterior grade finishes suitable for use with Pressure Treated Lumber. Stainless steel, galvanized, zinc-dipped or ceramic-coated wooddeck screws are acceptable.
- All galvanizing to be hot dipped in conformance to CSA standard C164.
- Drive all fastener heads below surface of wood. Use sufficient size and quantity of fasteners to ensure a stable, secure structure.
- Step fence panels minimum of 100 - 200mm at posts as required by grade conditions. Sloping of panels may be required for certain grade conditions - Consultant's approval required.
- Lumber sizes are actual sizes rather than nominal sizes.
- Concrete to have minimum compressive strength of 25 MPa @ 28 days with 5-7% air entrainment.
- See landscape plan for fence location.

**GENERAL LAYOUT NOTES**

- All fences adjacent to road allowances and walkways to be erected 0.15m onto private property. Fencing is not to be erected on the lot line or into any road allowance or easement.
- Footing and excavation to be entirely on proposed development lands.



4  
L-8

Wood Privacy Fence (1.8m height - pressure treated)

SCALE: NTS

NOT FOR CONSTRUCTION  
ISSUED FOR REVIEW & COMMENTS ONLY

**REVISIONS/ SUBMISSIONS**

#	DATE	DESCRIPTION
1	2022-03-24	Issued for 1st Submission
2	2022-07-05	Issued for 2nd Submission
3	2023-05-19	Issued for 3rd Submission
4	2023-07-26	Issued for 4th Submission
5	2023-09-08	Issued for 5th Submission

STAMP



CLIENT  
Graywood Bronte Village  
Limited Partnership  
MUNICIPALITY  
Town of Oakville  
PROJECT  
2365 - 2377 Lakeshore Road West

MUNICIPAL FILE NUMBER  
OPA. 1729.61 and Z.1729.61

SHEET  
Details

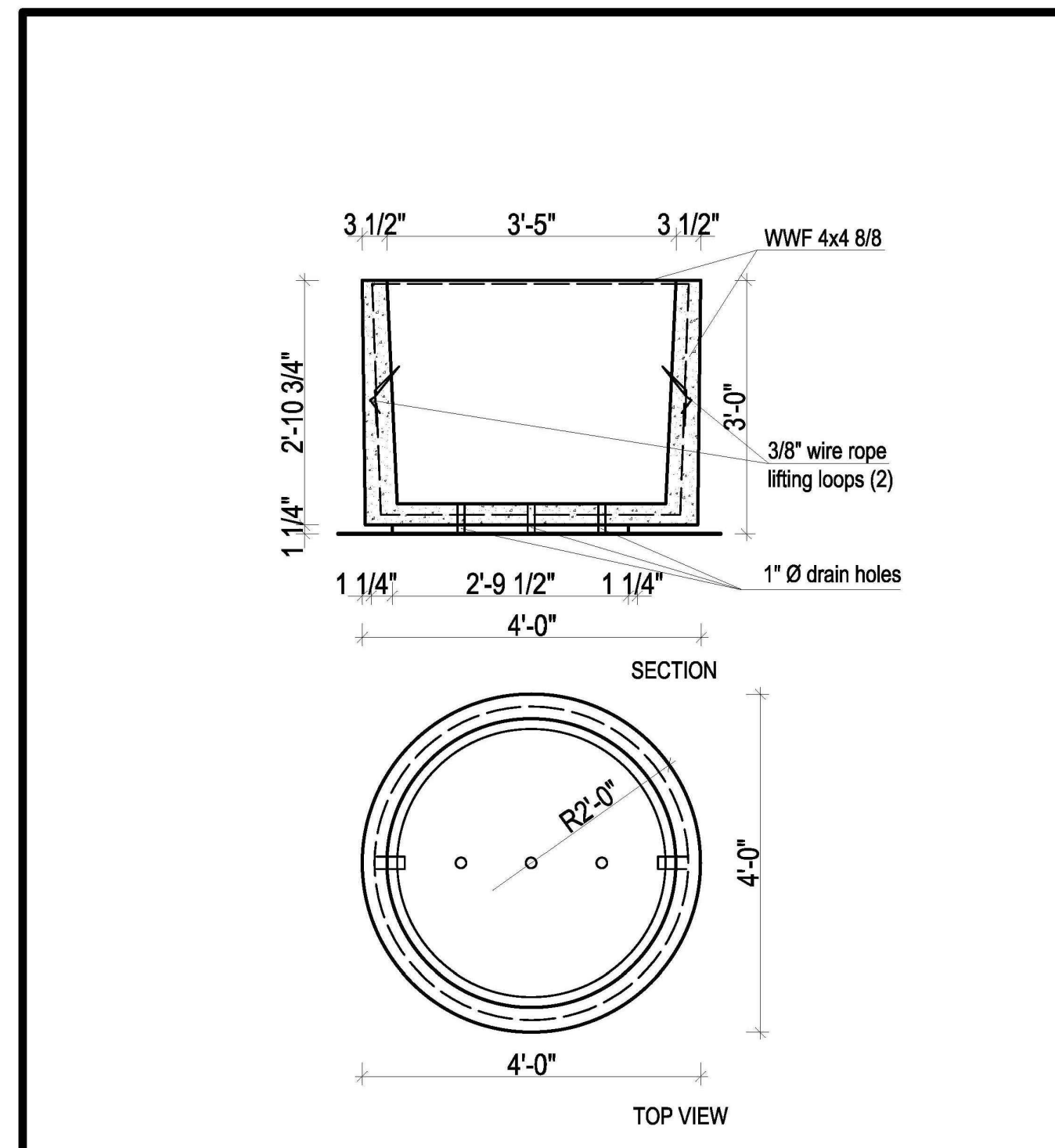
adesso design inc.  
landscape architecture

69 John Street South, Suite 250  
Hamilton, ON L8N 2B9  
t. 905.526.8876  
www.adessodesigninc.ca

L-8



 www.sanderasonconcrete.com 12655 118 Ave Sunnyvale, ON V3V 3S9 Ph: (844)580-4108 Toll Free: (800)471-5892 FAX: (800)580-4111 info@sanderasonconcrete.com	PROJECT DESCRIPTION:	DRAWN BY:	SCALE:
	CYLINDRICAL PLANTER	V. TOSHANOVA	DATE:
	RD 4836 48" dia x 36"	APPROVED BY:	DWG NO:
		REV DATE:	



Note: Lifting loops are for plant use and ground movement only and are not engineered for overhead use. Extreme caution must be used when lifting planter from lifting loops higher than 12" from ground.

RD4836	Diameter x Height	weight
Cylindrical Planter	48" x 36"	2430 lbs

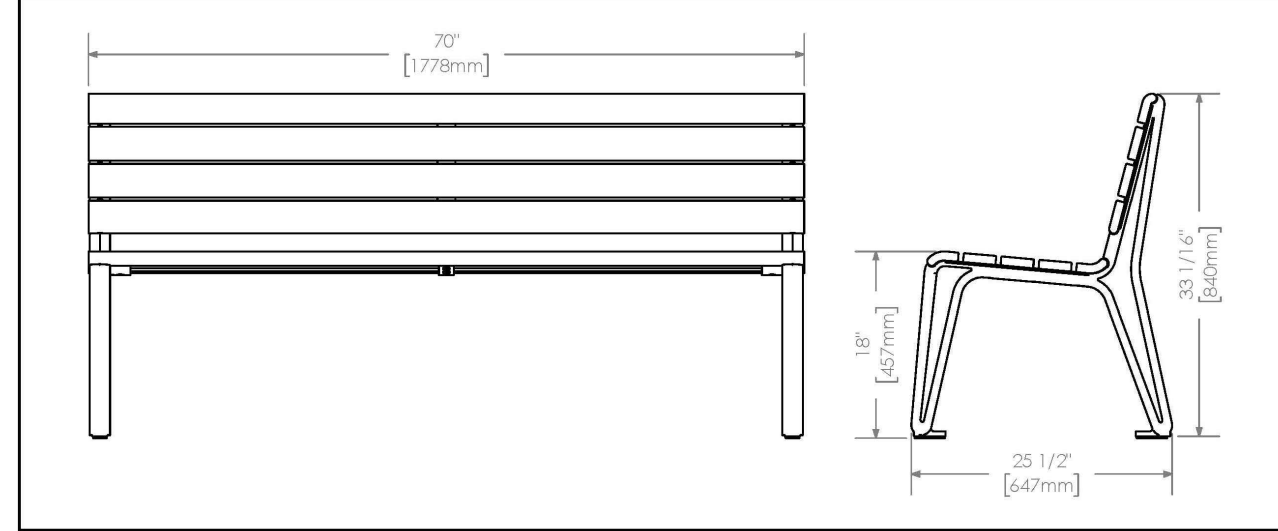
Round Concrete planter SCALE: NTS 1 L-9

**MBE-2300-00015** **ICONIC**



**MATERIALS:** The legs are aluminum castings. The boards are made from Ipe wood. All brackets are made of steel.  
**FINISH:** The Maglin Powdercoat System provides a durable finish on all aluminum castings. The wood boards are treated with penetrating sealers. The steel brackets are e-coated and powdercoated.  
**INSTALLATION:** The bench is delivered pre-assembled. The legs have 7/16" holes for anchoring.  
**TO SPECIFY:** Select MBE-2300-00015  
 Choose:  
 - Powdercoat Color

HEIGHT: 33 1/16" (84cm)    LENGTH: 70" (177.8cm)    DEPTH: 25 1/2" (64.7cm)    WEIGHT: 115 lbs (52.1kg)



**MAGLIN** Site Furniture  
 1 800 716 6554  
 F 877 263 5933  
 www.maglin.com  
 sales@maglin.com

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 Details and specifications may vary due to continuing improvements of our products.

Maglin Bench (or approved equal) SCALE: NTS 2 L-9

**SERENADE**

The Serenade fire pit is handmade by Dekko in North America. Ships with your choice of NG or LP burner, one decorative aggregate option and chrome On/Off key.

**Size:** 32"W x 16"H  
**Certification:** CSA/UL Approved

	Manual Ignition	Electronic Ignition
BTU/Hr	65,000	125,000
Weight	90 lbs	90 lbs
Fuel Options	NG/LP	NG/LP

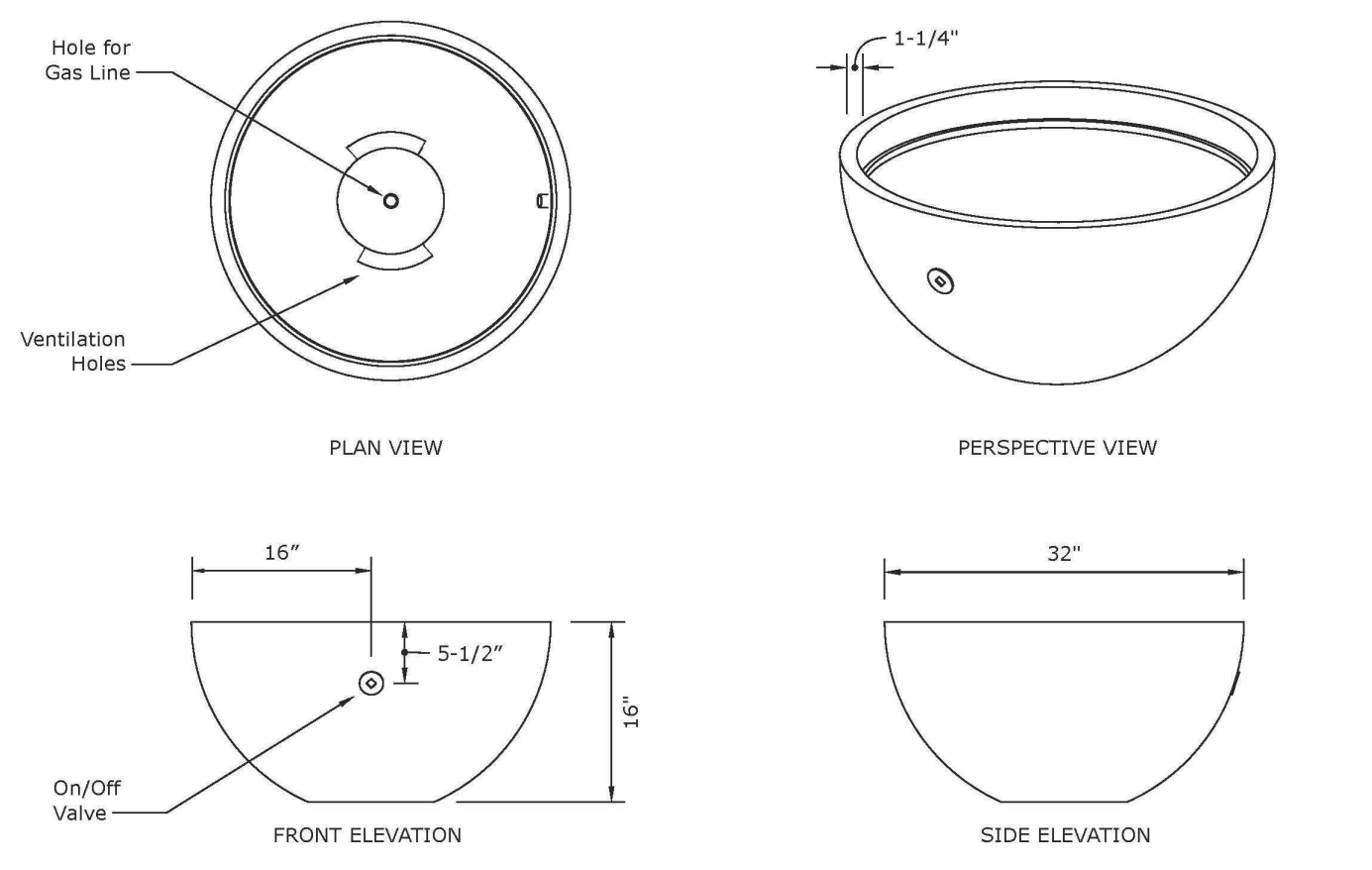
**Optional Accessories:**  
 Propane Tank Cover 16"W x 16"D x 21"H  
 Glass Wind Guard 23"D x 6"H  
 Vinyl Weather Cover  
 Powder Coated Aluminium Table Top 32"D

**Colour Options**

NATURAL	LIMESTONE	CLAY
ASH	SANDSTONE	CHARCOAL

**Decorative Aggregate Options**

IVORY BEACH STONE	SLATE BEACH STONE	BLACK LAVA ROCK



Dekko Serenade Fire Pit (or approved equal) SCALE: NTS 3 L-9

NOT FOR CONSTRUCTION  
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**MBR-2300-00001** **ICONIC**

**Sustainability Facts**

Unit Size: 26 1/2" H x 20 1/2" W x 2" D (MBR-2300-00001) Bike Rack

Carbon footprint (CFP) Measured in kilograms of carbon dioxide equivalent	133 kg CO <sub>2</sub> -Eq
Total energy use (TPE) Measured in megajoules of energy equivalent	2480 MJ-Eq
Waster use (WUP) Measured in cubic meters of water	1.9 m <sup>3</sup> water
Material recyclability	100%

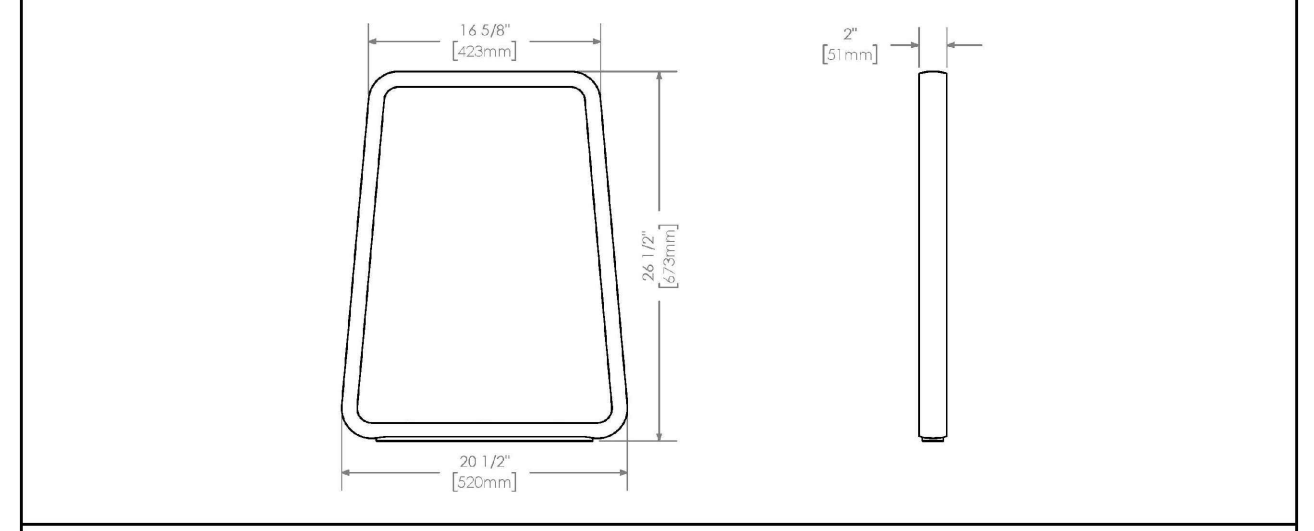
**LEED v4.1 Credits**

Type III Environmental Product Declaration	<input checked="" type="checkbox"/>
Material Inventory	<input checked="" type="checkbox"/>
Low VOC Formulas	<input checked="" type="checkbox"/>
Free of Red List substances	<input checked="" type="checkbox"/>

\*CFP/CW can be reviewed for more information  
<https://www.epa.gov/epa/leed/leed-credits>

**DESCRIPTION:** 2300 Series - Iconic Bike Rack: Cast Aluminum, Surface Mount, 2 Bike Configuration  
**FINISH:** The Maglin Powdercoat System provides a durable finish on all aluminum castings.  
**INSTALLATION:** The bike rack is delivered in parts. Reference INSTALL\_MBR-2300-00001 PDF for more information.  
**TO SPECIFY:** Select MBR-2300-00001  
 Choose:  
 - Powdercoat Color

HEIGHT: 26 1/2" (67.3cm)    LENGTH: 20 1/2" (52cm)    WIDTH: 2" (5.1cm)    WEIGHT: 18 lbs (8kg)



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Maglin Bike Rack (or approved equal) SCALE: NTS 4 L-9

**MTR-1500-00001** **LEXICON**

**Sustainability Facts**

Unit Size: 37" H x 24 7/16" W x 19" D (MTR-1500-00001) Trash Receptacle

Carbon footprint (CFP) Measured in kilograms of carbon dioxide equivalent	142.95 kg CO <sub>2</sub> -Eq
Total energy use (TPE) Measured in megajoules of energy equivalent	2640 MJ-Eq
Waster use (WUP) Measured in cubic meters of water	2.5 m <sup>3</sup> water
Material recyclability	100%

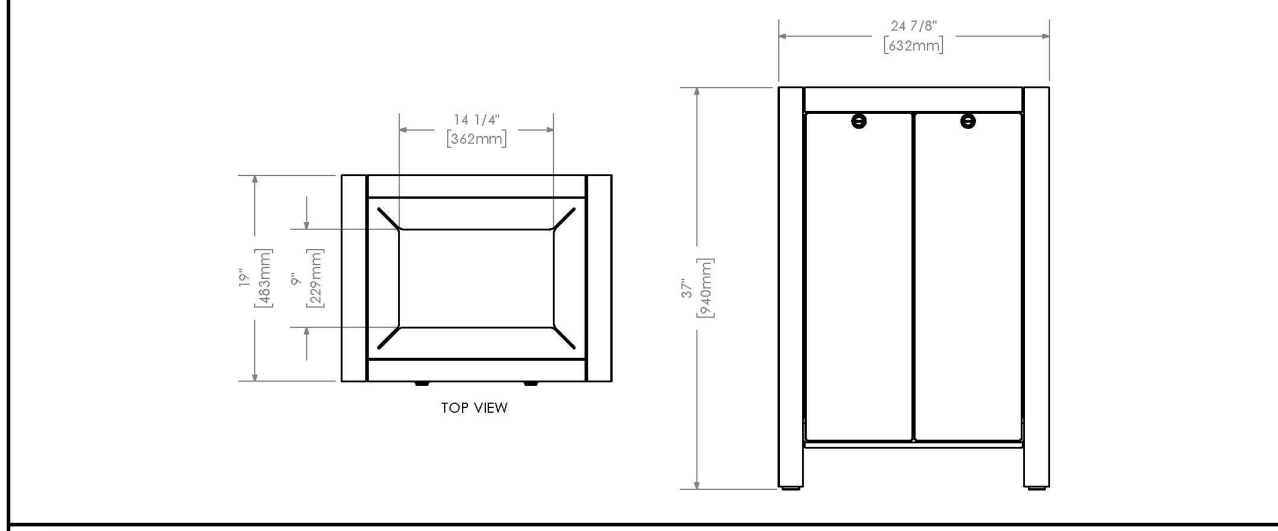
**LEED v4.1 Credits**

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Free of Red List substances	<input checked="" type="checkbox"/>

\*CFP/CW can be reviewed for more information  
<https://www.epa.gov/epa/leed/leed-credits>

**DESCRIPTION:** 1500 Series - Lexicon Trash Receptacle: Steel Frame, Laser Cut and Formed Steel Side Panels, Metal Lids, Front Opening, 1 Stream, 1 x 32 Gallon Polyethylene Liner  
**FINISH:** All steel components are protected with E-Coat rust proofing. The Maglin Powdercoat System provides a durable finish on all metal surfaces.  
**INSTALLATION:** The trash/recycle unit is delivered pre-assembled. Holes (9/16") are provided in each mounting foot for securing to base.  
**TO SPECIFY:** Select MTR-1500-00001  
 Choose:  
 - Powdercoat Color

HEIGHT: 37" (94.0cm)    LENGTH: 24 7/16" (63.1cm)    DEPTH: 19" (48.3cm)    WEIGHT: 142.95lbs (64.8kg)



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Maglin Trash Receptacle (or approved equal) SCALE: NTS 5 L-9

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 Limited Partnership

MUNICIPALITY  
 Town of Oakville

PROJECT  
 2365 - 2377 Lakeshore Road West

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 OPA. 1729.61 and Z.1729.61

SHEET  
 Details

L-9

adesso design inc.  
 landscape architecture