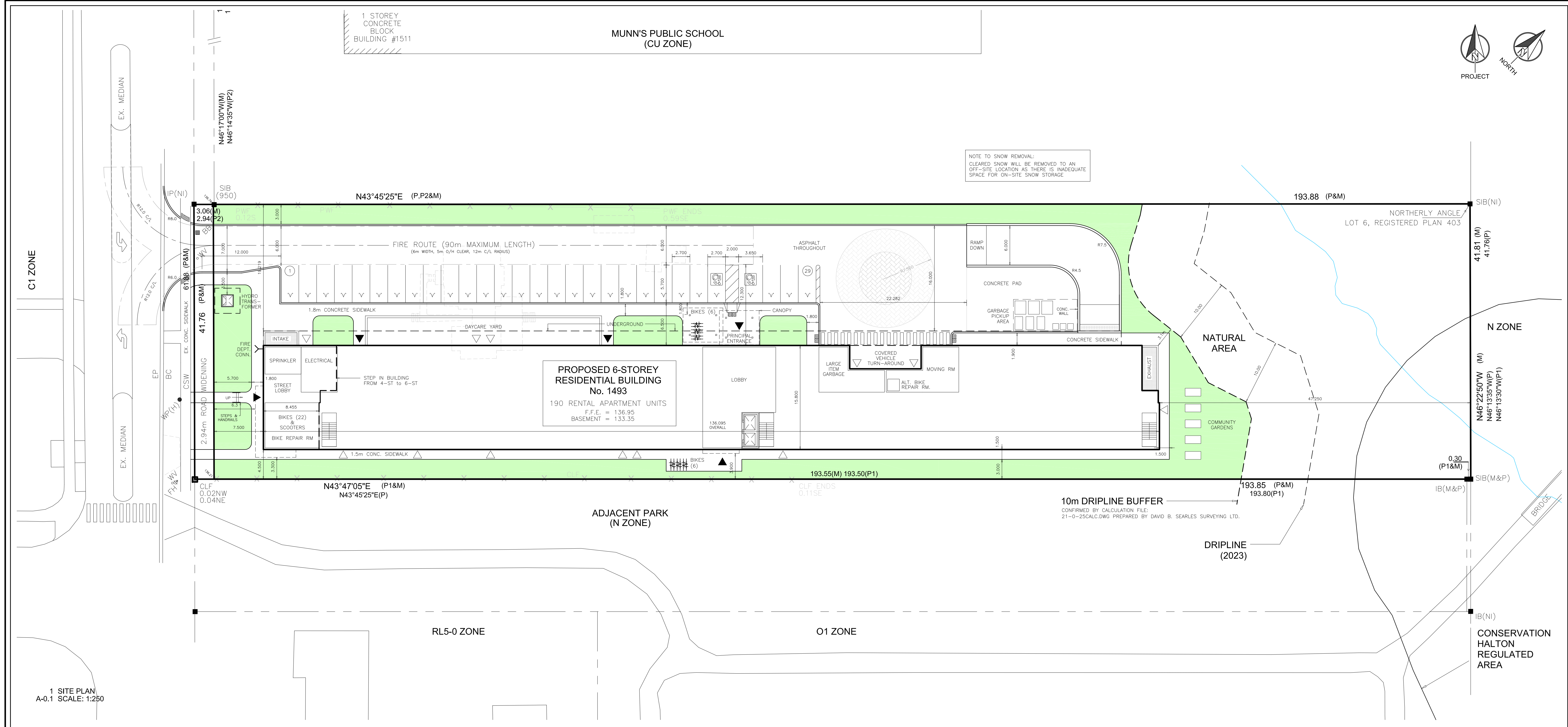




1 SITE PLAN
A-0.1 SCALE: 1:250

RH ZONE REQUIREMENTS		
	REQUIREMENT	PROPOSED
Minimum lot area*	1,859.0 m ²	6,166.2 m ²
Minimum lot frontage	24.0 m	41.8 m
Minimum front yard*	7.5 m	7.5 m
Minimum interior side yard (north)	4.5 m	19.2 m
Minimum interior side yard (south)	4.5 m	4.5 m
Minimum rear yard (from lot line)	7.5 m	47.2 m
Minimum rear yard (from 10m buffer)	-	3.1 m
Maximum height	n/a	20.6 m
Maximum lot coverage*	35%	2,131.9 m ² (35%)
Minimum landscaping coverage*	10%	1,531.3 m ² (25%)
Landscape buffer adjacent parking area	3.0 m	3.0 m

*based on NET lot area (less widening, natural area and buffer)

PROPOSED 6-STOREY RESIDENTIAL HOUSING

LOT AREA	
GROSS AREA	8,092.4 m ² (0.8092 ha)
ROAD WIDENING	122.6 m ² (0.0123 ha)
LOT AREA	7,969.8 m ² (0.7969 ha)
NATURAL AREA + 10m BUFFER	1,803.6 m ² (0.1804 ha)
NET LOT AREA*	6,166.2 m ² (0.6166 ha)
GROSS FLOOR AREA	
8th FLOOR	1,979.8 m ² 21,310 sf
5th FLOOR	1,979.8 m ² 21,310 sf
4th FLOOR	2,131.9 m ² 22,945 sf
3rd FLOOR	2,131.9 m ² 22,945 sf
2nd FLOOR	2,131.9 m ² 22,945 sf
1st FLOOR	2,057.5 m ² 22,145 sf
TOTAL	12,412.8 m ² 133,600 sf

UNIT BREAKDOWN

6th FLOOR	23 1br, 11 2br, 1 3br = 35
5th FLOOR	23 1br, 11 2br, 1 3br = 35
4th FLOOR	23 1br, 12 2br, 2 3br = 37
3rd FLOOR	23 1br, 12 2br, 2 3br = 37
2nd FLOOR	23 1br, 12 2br, 2 3br = 37
1st FLOOR	2 1br, 7 2br, 0 3br = 9

TOTAL 117 1br, 65 2br, 8 3br = 190 UNITS @ 0.6166 ha = 308 uph

ACCESSIBLE UNITS

1br UNITS	32
2br UNITS	22
3br UNITS	3

TOTAL 57 (30% OF 190)

RENTABLE AREA

117 1br @ 425 = 49,725 sf
65 2br @ 635 = 41,275 sf
8 3br @ 880 = 6,880 sf
TOTAL = 97,880 sf

BICYCLES

22 SPACES PROVIDED INDOOR AT GROUND FLOOR
6 SPACES PROVIDED OUTDOORS AT NORTH ENTRANCE (COVERED)
6 SPACES PROVIDED OUTDOORS AT SOUTH ENTRANCE
34 SPACES TOTAL

FLOOR AREA BREAKDOWN

FLOOR AREA, RESIDENTIAL	11,952.8 m ²	128,650 sf
INCLUDES AREA OF ALL SUITES (INCLUDING EXTERIOR WALLS), CORRIDORS, STAIRS, ELEVATORS, LOBBY, ABOVE GRADE SERVICE ROOMS AND RESIDENTIAL AMENITY AREAS.		
FLOOR AREA, NON-RESIDENTIAL	460.0 m ²	4,950 sf
INCLUDES 1st FLOOR AREAS DEDICATED TO OFFICE, DAYCARE, AND ADMIN.		
FLOOR AREA, GROSS	12,412.8 m ²	133,600 sf
ADDITIONAL FLOOR AREAS (NOT INCLUDED IN GROSS AREA)		
BASEMENT PARKING LEVEL	2,442.4 m ²	26,290 sf
MECHANICAL PENTHOUSE	192.2 m ²	2,070 sf

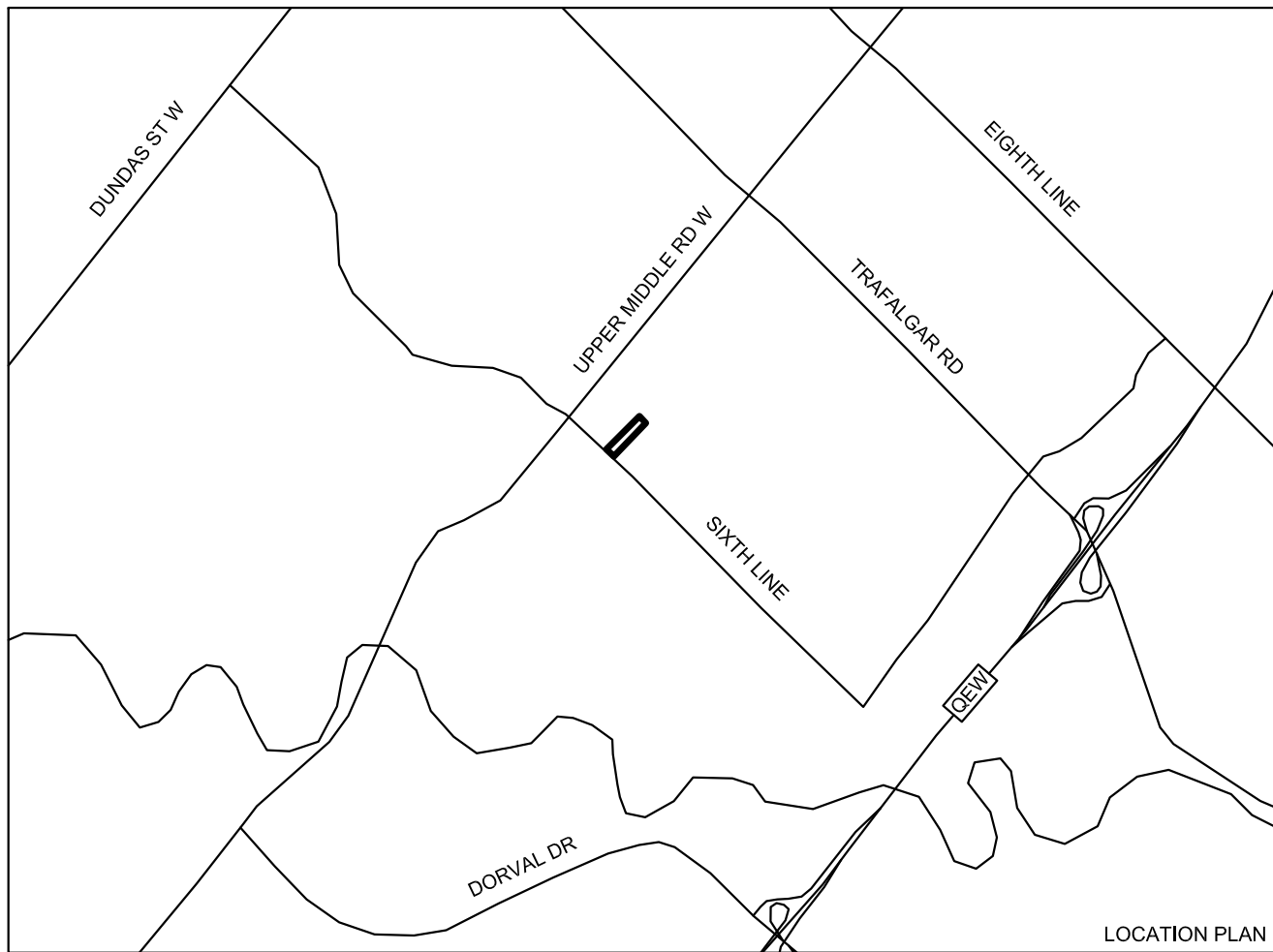
PARKING

190 RENTAL UNITS @ 0.37 RESIDENT SPACES = 71 SPACES
190 RENTAL UNITS @ 0.17 VISITOR SPACES = 33 SPACES*

* VISITOR SPACES - ALL MARKED 'V' - ARE SHARED BETWEEN VISITOR, OFFICE, AND DAYCARE USE

TOTAL = 104 PARKING SPACES

75 SPACES PROVIDED UNDERGROUND (71 RESIDENT, 4 VISITOR)
29 SPACES ON SURFACE (ALL VISITOR)
ACCESSIBLE PARKING @ 1, PLUS 3% = 5 REQUIRED, 6 PROVIDED



patrick markus luckie, Architect

7203 BENDIGO CIRCLE • MISSISSAUGA, ON • L4M 1G4 • TEL: 416 685 0100

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Revisions:

Date	Particular
DEC.10.25	REVISED CONCEPT, BUILDING ALONG SOUTH LOT LINE
FEB.24.26	UPDATE ACCESSIBLE PARKING LOCATION
MAR.05.26	RESUBMITTED PER STAFF COMMENTS
MAY.29.26	UPDATED WITH SURVEY PREPARED DRIPLINE BUFFER
JUL.10.26	UPDATED PARKING STATUS, ADJUST TURN-AROUND AREA

Issues:

Date	Particular
JUN.17.25	ISSUED FOR REVIEW
MAY.28.25	ISSUED FOR APPLICATION
APR.20.25	ISSUED FOR S.P. APPLICATION

SIXTH LINE HOUSING

1493 SIXTH LINE, OAKVILLE

SITE PLAN

SCALE 1:250

A-0.1