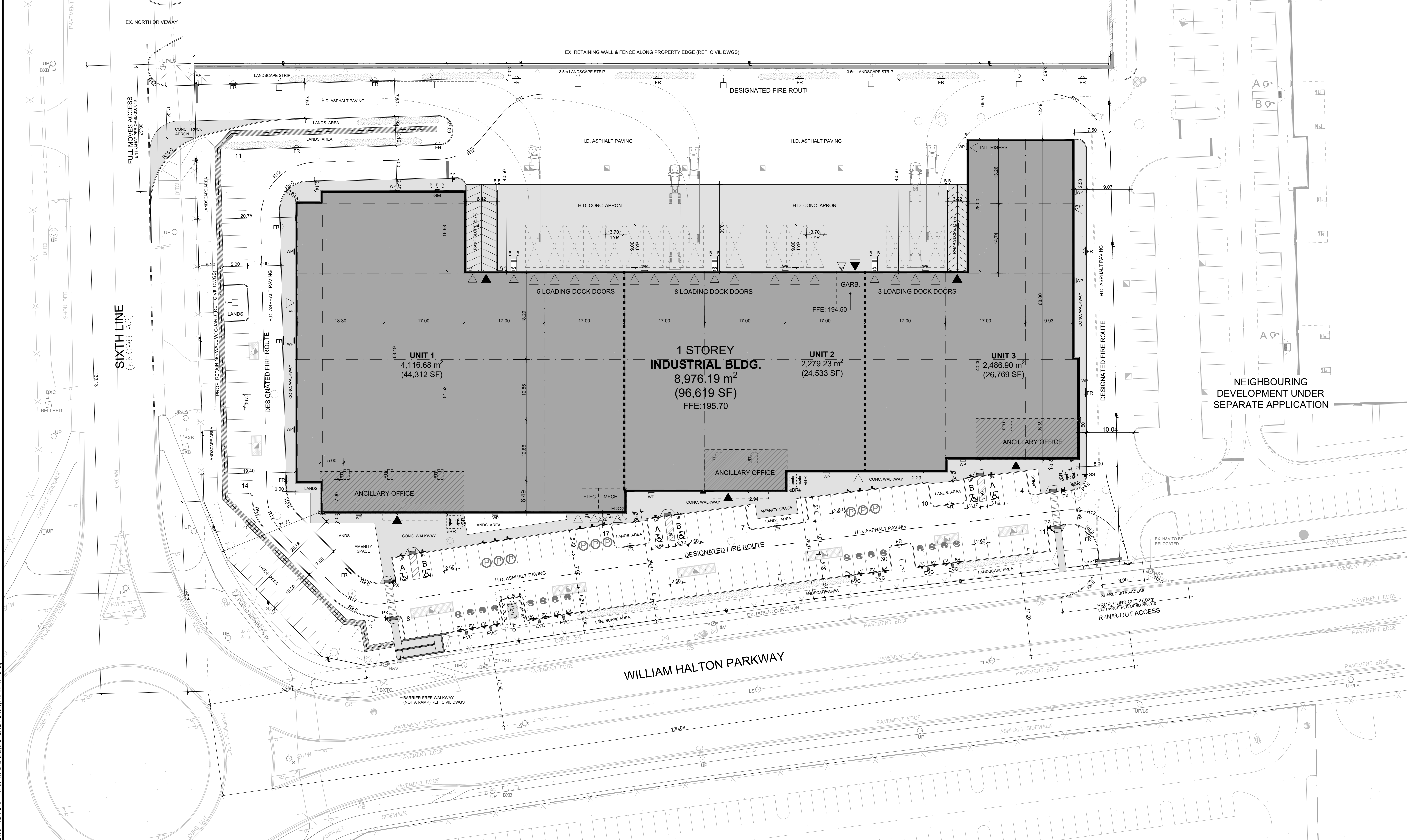
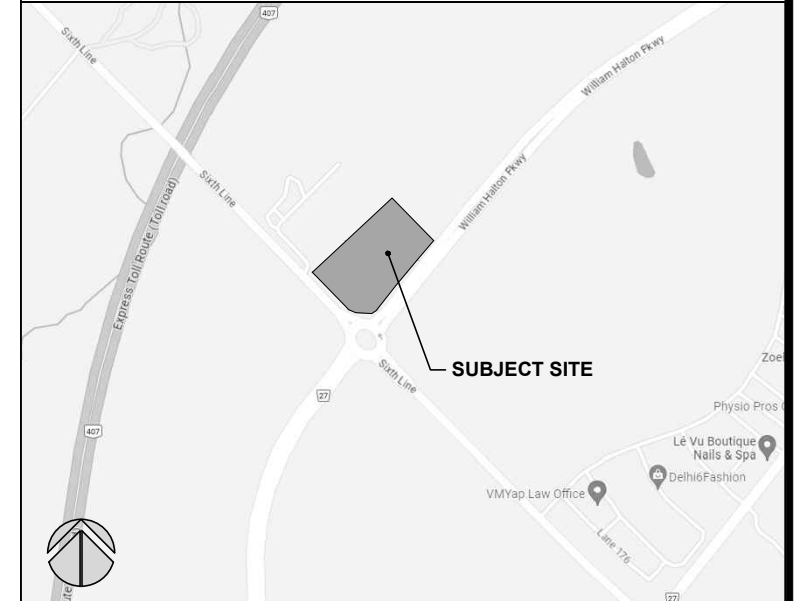


**SURVEY LEGEND**

BXB	DENOTES BELL BOX	-X-	DENOTES FENCE LINE	INV.	DENOTES INVERT ELEVATION
CB	DENOTES CATCH BASIN	○	DENOTES HYDRANT	OBV.	DENOTES OBVERT ELEVATION
P.L.N.	DENOTES PROPERTY IDENTIFIER NUMBER	PC	DENOTES PEDESTRIAN CROSSING		
M/W	DENOTES MONITORING WELL	SW	DENOTES SIDEWALK		
MH	DENOTES MANHOLE	LS	DENOTES LANDSCAPE STRIP		
MHSA	DENOTES MANHOLE SANITARY	LS	DENOTES LAMP STANDARD		
MHST	DENOTES MANHOLE STORM	HW	DENOTES HANDWELL		
MHW	DENOTES MANHOLE WATER	BXC	DENOTES COMMUNICATION BOX		
UP	DENOTES UTILITY POLE	BXTC	DENOTES TRAFFIC CONTROL BOX		
WV	DENOTES WATER VALVE		DENOTES GUY WIRE ANCHOR		
-W-	DENOTES OVERHEAD WIRE				



**KEY PLAN**



**LEGAL DESCRIPTION**  
 BLOCK 7 on Plan 20M-1243  
 PLAN OF SUBDIVISION OF  
 PART OF XXXX  
 CONCESSION XX  
 NORTH OF DUNDAS STREET  
 (GEOGRAPHIC TOWNSHIP OF TRAFALGAR)  
**TOWN OF OAKVILLE**  
 REGIONAL MUNICIPALITY OF HALTON

**SITE STATISTICS**

ZONING	LE sp:45	LIGHT EMPLOYMENT
SITE AREA	22,462.50 m <sup>2</sup>	or 5.55 Ac
REQUIRED	15m MIN	133.13 m
PROVIDED	3m MIN   24m MAX	19.40 m
FRONT YARD	3.0m	15.99 m
REAR YARD	7.5m	7.50 m
FLANKAGE YARD	3m MIN   24m MAX	22.49 m
BUILDING AREA	8,976.19 m <sup>2</sup>	or 96,619 SF
GROSS FLOOR AREA	8,976.19 m <sup>2</sup>	or 96,619 SF
LEASEABLE FLOOR AREA	8,994.79 m <sup>2</sup>	or 95,743 SF
REQUIRED	3 MAX	0.4
PROVIDED	UNKNOWN	39.90%
FLOOR SPACE INDEX	15 STOREYS	1 STOREY
SITE COVERAGE	10% MIN	10.87%
BUILDING HEIGHT	UNKNOWN	49.17%
LANDSCAPING COVERAGE	REQUIRED	PROVIDED
PAVED AREA	UNKNOWN	49.17%

**PARKING ANALYSIS**

INDUSTRIAL USE LIGHT OR GENERAL INDUSTRIAL	90 Spaces	112 Spaces
LEASEABLE FLOOR AREA OF EACH PREMISES UNDER 7,500 m <sup>2</sup>	3 Type A	3 Type A
1 PARKING SPACE PER 100 m <sup>2</sup> OF LEASEABLE FLOOR AREA	2 Type B	3 Type B
TOTAL PARKING	OR 5 Spaces	OR 6 Spaces
BARRIER FREE PARKING	2 Spaces MIN	16 Spaces
101-150 Spaces PROVIDED		
LOADING SPACES		
BICYCLE SPACES	7 Spaces	12 Spaces

**SYMBOL LEGEND**

▶	MAN DOOR LOCATIONS
▶	PRINCIPAL DOOR LOCATIONS
▶	LOADING DOCK LOCATIONS
▶	DRIVE-IN OR OVERHEAD DOORS
▶	NEW FIRE HYDRANT
▶	CATCH BASIN (REF. CIVIL DWGS)
▶	DOUBLE CATCH BASIN (REF. CIVIL DWGS)
▶	SANITARY MANHOLE (REF. CIVIL DWGS)
▶	CATCH BASIN / MANHOLE (REF. CIVIL DWGS)
▶	STORM MANHOLE (REF. CIVIL DWGS)
▶	HYDRO POLE STANDARD / UTILITY POLE (REF. ELECTRICAL DWGS)
▶	BICYCLE RING: 2 SPACES (REF. DTL BELOW & LANDS DWGS)
▶	DIRECTION OF TRAFFIC FLOW
▶	HYDRO TRANSFORMER ON CONC. PAD (REF. ELECTRICAL DWGS)
▶	GAS METER
▶	BARRIER FREE PARKING   TYPE 'A' (3.65m WIDE) TYPE 'B' (2.70m WIDE)
▶	LIGHT STANDARD (REF. ELECTRICAL DWGS)
▶	PEDESTRIAN DRIVE AISLE CONNECTIONS: PAINTED LINEWORK CURB-RAMP WITH TACTILE PLATE (REF. A-1.2 DETAILS SHEET)
▶	1.2m H. 0.2m DIA. CONC. FILLED STEEL BOLLARD
▶	FIRE DEPARTMENT CONNECTION / SIAMISE CONNECTION
▶	BARRIER FREE PARKING SIGNAGE
▶	CARPOOL PARKING SPACE & SIGN
▶	POST MOUNTED FIRE ROUTE SIGN
▶	POST MOUNTED STOP SIGN
▶	PAINTED STOP BAR (WHERE REQUIRED)
▶	MECH. MECHANICAL ROOM
▶	ELEC. ELECTRICAL ROOM
▶	GARB. INTERNAL REFUSE STORAGE ROOM
▶	LOADING SPACE (8.0m x 3.7m x 4.2m Clear Height)
▶	HIGH EFFICIENCY VEHICLE CHARGING STATION
▶	HIGH EFFICIENCY VEHICLE PARKING SIGN & SPACE
▶	POST MOUNTED SIGNAGE & SIGNAGE PLAN BY LEA CONSULTING LTD.
▶	SNOW STORAGE AREAS (REF. LANDS DWGS)
▶	BOUNDARY / PROPERTY LINE
▶	POST MOUNTED PEDESTRIAN CROSSING SIGNS
▶	POST MOUNTED SIGNAGE & SIGNAGE PLAN BY LEA CONSULTING LTD.
▶	WP / WS LIGHTING WALL PACK or WALL SCONCE (REF. ELECTRICAL DWGS)

**BICYCLE PARKING CONFIGURATION CLEARANCES**



No.	ISSUED	DATE
1	ISSUED FOR SITE PLAN PRE-CONSULTATION	JAN. 31, 2024
2	ISSUED FOR SITE PLAN REVIEW 1ST SUBMISSION	JULY 16, 2024
3	RE-ISSUED FOR SITE PLAN 2ND SUBMISSION	MAR. 21, 2025
4	RE-ISSUED FOR SITE PLAN 3RD SUBMISSION	JUNE 23, 2026

No.	REVISION	DATE
1	REVISED TO SUIT MUNICIPAL COMMENTS	MAR. 21, 2025
2	REVISED TO SUIT MUNICIPAL COMMENTS	FEB. 06, 2026

**BALDASSARRA**  
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 T. 905.660.0722 | www.baldassarra.ca

OWNERS INFORMATION:  
**TAFIA DEVELOPMENT CORP.**



**SIXTH LINE & WILLIAM HALTON PKWY**

**SITE PLAN**

SP.1215.006/01

DATE: OCT. 2023 DRAWN BY: DW CHECKED: SCALE: 1:400

PROJECT No. 24-06 DRAWING No. **A-1.0**

15 WILLIAM HALTON PARKWAY EAST  
 OAKVILLE, ON