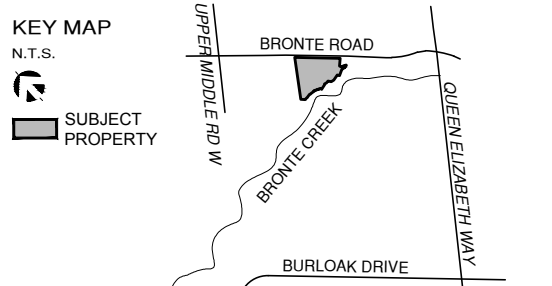




**PRELIMINARY ON-STREET  
PARKING ANALYSIS**  
Bronte River, LP

1300, 1316, 1326, 1342, and 1350 Bronte Road  
PART OF LOT 31  
CONCESSION 2, SOUTH OF DUNDAS STREET

GEOGRAPHIC TOWNSHIP OF TRAFALGAR  
NOW IN THE  
TOWN OF OAKVILLE  
REGIONAL MUNICIPALITY OF HALTON



Residential Parking Requirements

Dwelling Type	Parking Required	Parking Proposed
Single Detached	2 spaces/unit = 172 spaces	2 spaces/unit = 172 spaces*
Back-to-Back Townhouse	2 spaces/unit = 108 spaces	2 spaces/unit = 108 spaces
Dual Front Townhouse	2 spaces/unit = 44 spaces	2 spaces/unit = 44 spaces
Total	324 spaces	324 spaces

\*Double car garage singles may provide up to 4 parking spaces per unit

Visitor Parking Requirements

Dwelling Type	Parking Required	Parking Proposed
Dual Front Townhouse	0.25 of required parking spaces = 11 spaces	58 spaces
Single Detached and Back-to-Back Townhouse	0 spaces required	
Total	11 spaces	58 spaces

**58 visitor spaces/162 units = 0.36 visitor spaces/unit**

- Parking Type**
- Residential Parking Space - Single Detached
  - Residential Parking Space - Back-to-Back Townhouse
  - Residential Parking Space - Dual Front Townhouse
  - Visitor Parking Space\*
- \*Perpendicular parking space dimensions: 2.7m x 5.7m  
Parallel parking space dimensions: 2.5m x 7m

SCALE 1:2000

August 16, 2023

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