

CLIENT  
Randall Oakville Development Ltd.

No.	DESCRIPTION	DATE
1	SPA SUBMISSION	01-12-2023

- GENERAL NOTES**
- DRAWINGS ARE PREPARED BASED ON BOUNDARY PLAN AND TOPOGRAPHICAL SURVEY OF PART OF LOTS A, B AND D, BLOCK 1 REGISTERED PLAN N° 1 TOWN OF OAKVILLE AS PREPARED BY CUNNINGHAM MCCONNELL LIMITED, AND DATED MONTH OCTOBER 30, 2023.
  - DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ALL OTHER CONSULTANTS DRAWINGS AND REPORTS.
    - REFER TO TRAFFIC CONSULTANT'S DOCUMENTATION FOR TRAFFIC DIAGRAMS, TURNING RADI, TRAFFIC REPORT AND SITE ACCESS INFORMATION;
    - REFER TO LANDSCAPE ARCHITECT'S DRAWINGS FOR LANDSCAPING INFORMATION, GRADING, GREEN ROOF AND OUTDOOR AMENITY SPACES;
    - REFER TO SITE SERVICING / CIVIL ENGINEER'S DRAWINGS AND REPORTS FOR SITE SERVICING AND UTILITY INFORMATION;
    - REFER TO WASTE MANAGEMENT CONSULTANT'S DESIGN BRIEF FOR INFORMATION ABOUT WASTE STORAGE, PICK-UP AND HANDLING FOR ALL USES/OCCUPANCIES;
    - REFER TO LETTER FROM STRUCTURAL ENGINEER FOR DRIVEWAYS, PASSAGE WAYS AND LOADING SPACE WITH IMPACT FACTORS WHERE THEY ARE LOCATED OVER A SUPPORTED STRUCTURE;
  - ALL ACCESS DRIVEWAYS TO BE USED BY THE COLLECTION VEHICLE WILL BE LEVEL (+0%), HAVE A MINIMUM VERTICAL CLEARANCE OF 4.5 m THROUGHOUT, A MINIMUM 4.5 m WIDE THROUGHOUT AND 7 m WIDE AT POINT OF INGRESS AND EGRESS.
  - OVERHEAD DOORS THE COLLECTION VEHICLE WILL BE PASSING THROUGH HAVE A MINIMUM WIDTH OF 6 m AND A MINIMUM OVERHEAD CLEARANCE OF 4.5 m
  - TYPE G LOADING SPACE THAT IS LEVEL (+2%), AND IS CONSTRUCTED OF A MINIMUM OF 200 MM REINFORCED CONCRETE.
  - A TRAINED ON-SITE STAFF MEMBER WILL BE AVAILABLE TO MANOEUVRE BINS FOR THE COLLECTION DRIVER AND ALSO ACT AS A FLAGMAN WHEN THE TRUCK IS REVERSING. IN THE EVENT THE ON-SITE STAFF IS UNAVAILABLE AT THE TIME THE CITY COLLECTION VEHICLE ARRIVES AT THE SITE, THE COLLECTION VEHICLE WILL LEAVE THE SITE AND NOT RETURN UNTIL THE NEXT SCHEDULED COLLECTION DAY
  - A WARNING SYSTEM TO CAUTION MOTORISTS LEAVING THE PARKING GARAGE OF HEAVY VEHICLES WHEN LOADING OPERATIONS ARE OCCURRING. THIS WARNING SYSTEM SHOULD INCLUDE BOTH LIGHTS AND SIGNS.
  - A NON-RESIDENTIAL WASTE STORAGE ROOM FOR NON-RESI COMPONENT IS PROVIDED WHICH IS INDEPENDENT OF AND NOT ACCESSIBLE TO THE RESIDENTIAL WASTE ROOM.
  - THE BINS THAT WILL BE USED FOR THE NON-RESIDENTIAL WASTE WILL BE LABELLED SEPARATELY FROM THE BINS FOR THE RESIDENTIAL WASTE.
  - BUILDING TO BE FULLY SPRINKLED
  - \*\*\*\*AREA INDICATED ON FLOOR PLANS IS INCLUDING EXTERIOR WALLS. FOR THE PURPOSE OF THE STATISTICS, AREA IS CALCULATED BASED ON BY-LAW 2014-01\*\*\*\*

No.	DATE	DESCRIPTION
REVISIONS		
ALL DIMENSIONS ARE TO BE CHECKED ON SITE BY THE CONTRACTOR. ANY DISCREPANCIES ARE TO BE REPORTED TO THE ARCHITECT BEFORE PROCEEDING WITH THE WORK. DRAWINGS ARE NOT TO BE SCALED.		
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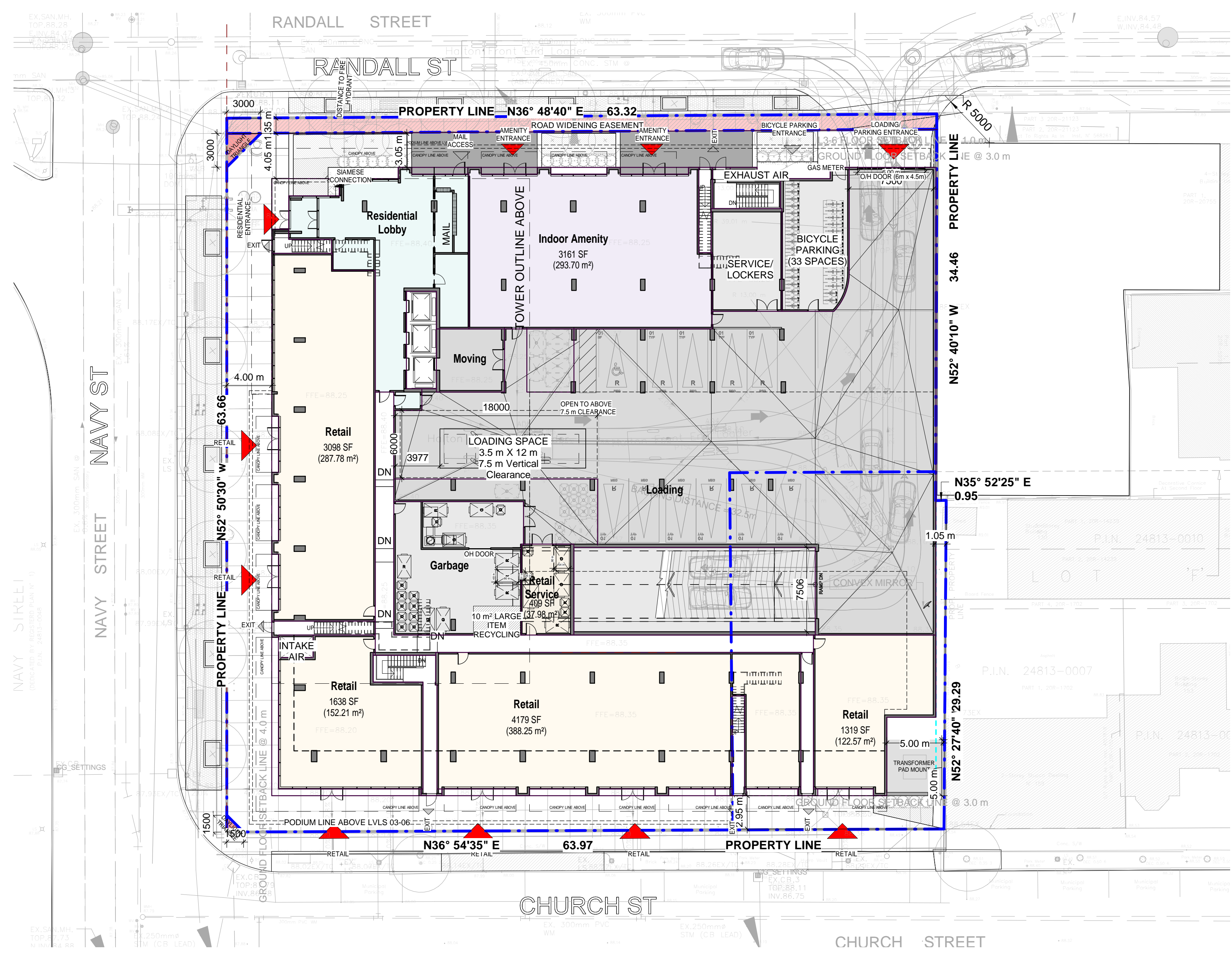


SEAL

PROJECT  
**150 RANDALL STREET, OAKVILLE**  
150 RANDALL STREET, 125 NAVY STREET, 143 AND 147 CHURCH STREET  
OAKVILLE, ONARIO L6J 1P4

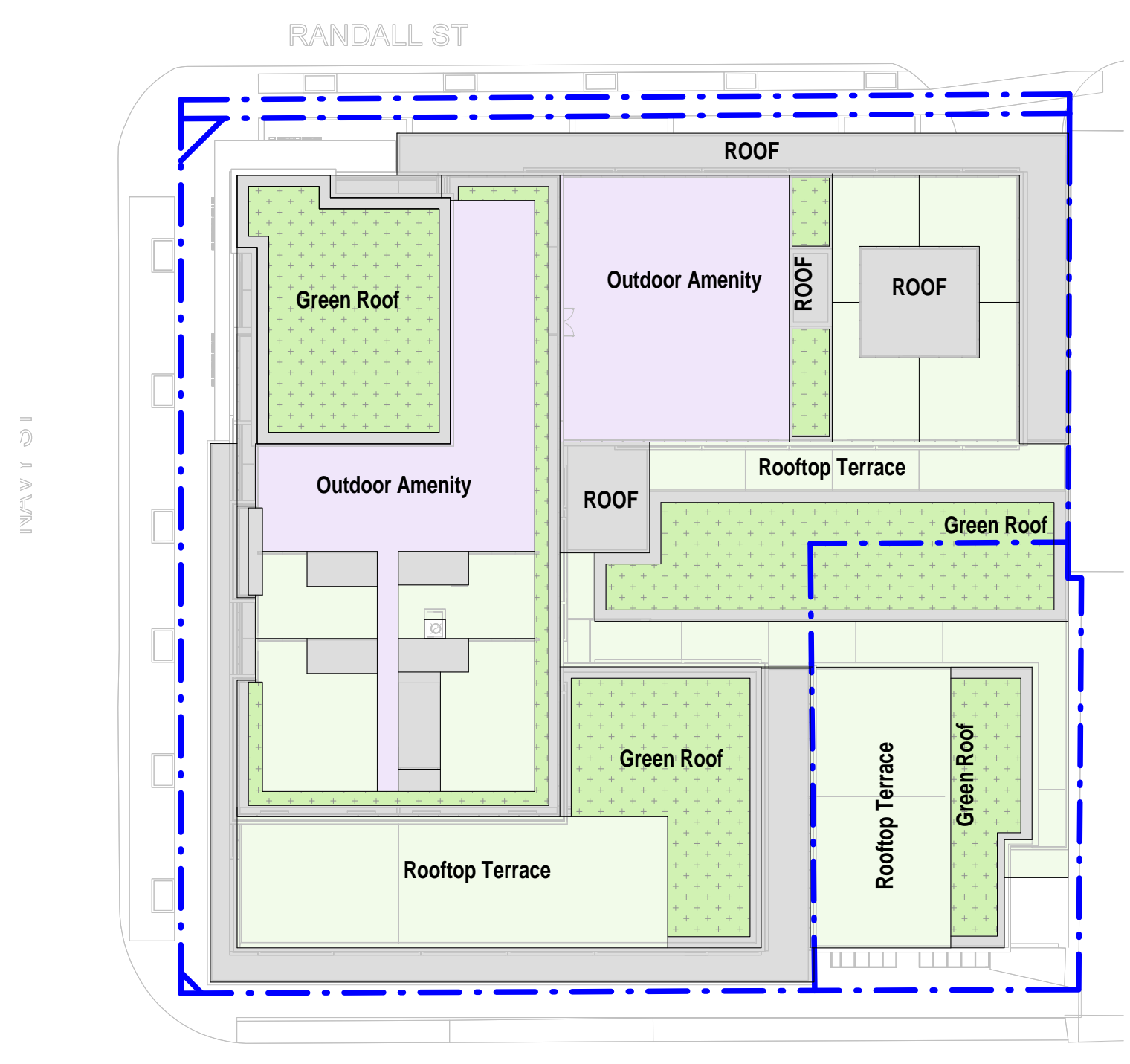
SHEET TITLE  
**SITE PLAN**

DRAWN BY: Author	CHKD' BY: Checker	DATE: 01/12/2023	SCALE: 1 : 200
PROJECT NO: 140567	DWG NO. A-003		



2 GROUND FLOOR PLAN  
A-004 Scale: 1 : 250

<b>ARCADIS ARCHITECTS (CANADA) INC.</b> 55 St. Clair Avenue West, 7 <sup>th</sup> Floor Toronto, Ontario M4V 2Y7 <b>Certificate of Practice Number: 3833</b> The Certificate of Practice Number of the holder is the holder's BCDN. <b>Name of Project:</b> 150 Randall, Oakville <b>Location:</b> 150 Randall Street, 125 Navy Street & 143,147 Church Street, Town of Oakville		<b>CLIENT</b> Randall Oakville Development Ltd.															
<b>ISSUES</b> <table border="1"> <thead> <tr> <th>No.</th> <th>DESCRIPTION</th> <th>DATE</th> </tr> </thead> <tbody> <tr> <td>1</td> <td>SPA SUBMISSION</td> <td>01-12-2023</td> </tr> </tbody> </table>		No.	DESCRIPTION	DATE	1	SPA SUBMISSION	01-12-2023	<b>GENERAL NOTES</b> 1. DRAWINGS ARE PREPARED BASED ON BOUNDARY PLAN AND TOPOGRAPHICAL SURVEY OF PART OF LOTS A, B AND D, BLOCK 1 REGISTERED PLAN N° 1 TOWN OF OAKVILLE AS PREPARED BY CUNNINGHAM MCCONNELL LIMITED, AND DATED MONTH OCTOBER 30, 2022. 2. DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ALL OTHER CONSULTANTS DRAWINGS AND REPORTS. • REFER TO TRAFFIC CONSULTANT'S DOCUMENTATION FOR TRAFFIC DIAGRAMS, TURNING RADI, TRAFFIC REPORT AND SITE ACCESS INFORMATION; • REFER TO LANDSCAPE ARCHITECT'S DRAWINGS FOR LANDSCAPING INFORMATION, GRADING, GREEN ROOF AND OUTDOOR AMENITY SPACES; • REFER TO SITE SERVICING / CIVIL ENGINEER'S DRAWINGS AND REPORTS FOR SITE SERVICING AND UTILITY INFORMATION; • REFER TO WASTE MANAGEMENT CONSULTANT'S DESIGN BRIEF FOR INFORMATION ABOUT WASTE STORAGE, PICK-UP AND HANDLING FOR ALL USES/OCCUPANCIES; • REFER TO LETTER FROM STRUCTURAL ENGINEER FOR DRIVEWAYS, PASSAGE WAYS AND LOADING SPACE WITH IMPACT FACTORS WHERE THEY ARE LOCATED OVER A SUPPORTED STRUCTURE; 3. ALL ACCESS DRIVEWAYS TO BE USED BY THE COLLECTION VEHICLE WILL BE LEVEL (+0%), HAVE A MINIMUM VERTICAL CLEARANCE OF 4.5 m THROUGHOUT, A MINIMUM 4.5 m WIDE THROUGHOUT AND 7 m WIDE AT POINT OF INGRESS AND EGRESS. 4. OVERHEAD DOORS THE COLLECTION VEHICLE WILL BE PASSING THROUGH HAVE A MINIMUM WIDTH OF 6 m AND A MINIMUM OVERHEAD CLEARANCE OF 4.5 m 5. TYPE G LOADING SPACE THAT IS LEVEL (+/-2%), AND IS CONSTRUCTED OF A MINIMUM OF 200 MM REINFORCED CONCRETE. 6. A TRAINED ON-SITE STAFF MEMBER WILL BE AVAILABLE TO MANOEUVRE BINS FOR THE COLLECTION DRIVER AND ALSO ACT AS A FLAGMAN WHEN THE TRUCK IS REVERSING. IN THE EVENT THE ON-SITE STAFF IS UNAVAILABLE AT THE TIME THE CITY COLLECTION VEHICLE ARRIVES AT THE SITE, THE COLLECTION VEHICLE WILL LEAVE THE SITE AND NOT RETURN UNTIL THE NEXT SCHEDULED COLLECTION DAY 7. A WARNING SYSTEM TO CAUTION MOTORISTS LEAVING THE PARKING GARAGE OF HEAVY VEHICLES WHEN LOADING OPERATIONS ARE OCCURRING. THIS WARNING SYSTEM SHOULD INCLUDE BOTH LIGHTS AND SIGNS. 8. A NON-RESIDENTIAL WASTE STORAGE ROOM FOR NON-RESI COMPONENT IS PROVIDED WHICH IS INDEPENDENT OF AND NOT ACCESSIBLE TO THE RESIDENTIAL WASTE ROOM. 9. THE BINS THAT WILL BE USED FOR THE NON-RESIDENTIAL WASTE WILL BE LABELLED SEPARATELY FROM THE BINS FOR THE RESIDENTIAL WASTE. 10. BUILDING TO BE FULLY SPRINKLED 11. ****AREA INDICATED ON FLOOR PLANS IS INCLUDING EXTERIOR WALLS. FOR THE PURPOSE OF THE STATISTICS, AREA IS CALCULATED BASED ON BY-LAW 2014-91****									
No.	DESCRIPTION	DATE															
1	SPA SUBMISSION	01-12-2023															
<b>Ontario Building Code 2012 Part 3 Data Matrix</b>																	
<b>Item</b>		<b>OBC Reference</b>															
1	Project Description: New construction of a 12 storey mixed-use building consisting of 4 levels of underground parking; ground floor retail units; ground, 2 <sup>nd</sup> and 10 <sup>th</sup> floor residential amenity facility and residential units.																
2	Applicable Regulations	Part 3 of the OBC applies to this project.	2.1.1														
3	Major Occupancy(s)	Group C – "Residential" Occupancies, Group E – "Mercantile" Occupancies (Ground Floor), Group F, Division 3 – Storage garage	3.1.2.1.(1)														
4	Building Area (m <sup>2</sup> )	Existing Ø New 3,551 Total 3,551 m <sup>2</sup>	1.1.3.2														
5	Gross Floor Area	Existing Ø New 24,668 Total 24,668 m <sup>2</sup>	1.1.3.2														
6	Number of Storeys	Above grade 12 Below grade 4 Height of Building : (m) 45m	3.2.1.1 & 1.1.3.2														
7	Number of Streets/Fire Fighter Access	3	3.2.2.10 & 3.2.5														
8	Building Classification	Group C, Any Height, Any Area Group E, Any Height, Any Area Group F, Division 3, Any Height, Any Area	3.2.2.42 3.2.2.57 3.2.2.15(2)														
9	Sprinkler System Proposed	<input checked="" type="checkbox"/> entire building <input type="checkbox"/> in lieu of roof rating <input type="checkbox"/> not required	3.2.2.20-83 3.2.2.17														
10	Standpipe required	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	3.2.9														
11	Fire Alarm required	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	3.2.4														
12	Water Service/Supply is Adequate	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	3.2.5.7														
13	High Building	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	3.2.6														
14	Permitted Construction	<input type="checkbox"/> Combustible <input checked="" type="checkbox"/> Non-combustible <input type="checkbox"/> Both	3.2.2.20-83														
15	Actual Construction	<input type="checkbox"/> Combustible <input checked="" type="checkbox"/> Non-combustible <input type="checkbox"/> Both															
16	Mezzanine(s) Area m <sup>2</sup>	N/A	3.2.1.1.(3)-(8)														
17	Occupant load based on	<input type="checkbox"/> m <sup>2</sup> /person <input checked="" type="checkbox"/> design of building	3.1.16														
18	Barrier Free Design	<input checked="" type="checkbox"/> Yes, public areas and 10% of residential suites	3.8														
19	Hazardous Substances	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	3.3.1.2. & 3.3.1.19														
19	Required Fire Resistance Rating (FRR)	<table border="1"> <thead> <tr> <th>Horizontal Assemblies</th> <th>Listed Design No. or Description (SG-2)</th> </tr> </thead> <tbody> <tr> <td>Floors - 2 Hours</td> <td>SB-2 (poured concrete)</td> </tr> <tr> <td>Roof – waived (3.2.2.17.(1))</td> <td>SB-2 (poured concrete)</td> </tr> <tr> <td>Roof under Terraces – 2 Hours</td> <td></td> </tr> <tr> <th>FRR of Supporting Members</th> <th>Listed Design No. Or Description (SG-2)</th> </tr> <tr> <td>Floors – 2 Hours</td> <td>SB-2 (poured concrete)</td> </tr> <tr> <td>Roof – 2 Hour</td> <td>SB-2 (poured concrete)</td> </tr> </tbody> </table>	Horizontal Assemblies	Listed Design No. or Description (SG-2)	Floors - 2 Hours	SB-2 (poured concrete)	Roof – waived (3.2.2.17.(1))	SB-2 (poured concrete)	Roof under Terraces – 2 Hours		FRR of Supporting Members	Listed Design No. Or Description (SG-2)	Floors – 2 Hours	SB-2 (poured concrete)	Roof – 2 Hour	SB-2 (poured concrete)	3.2.2.20-83 & 3.2.1.4
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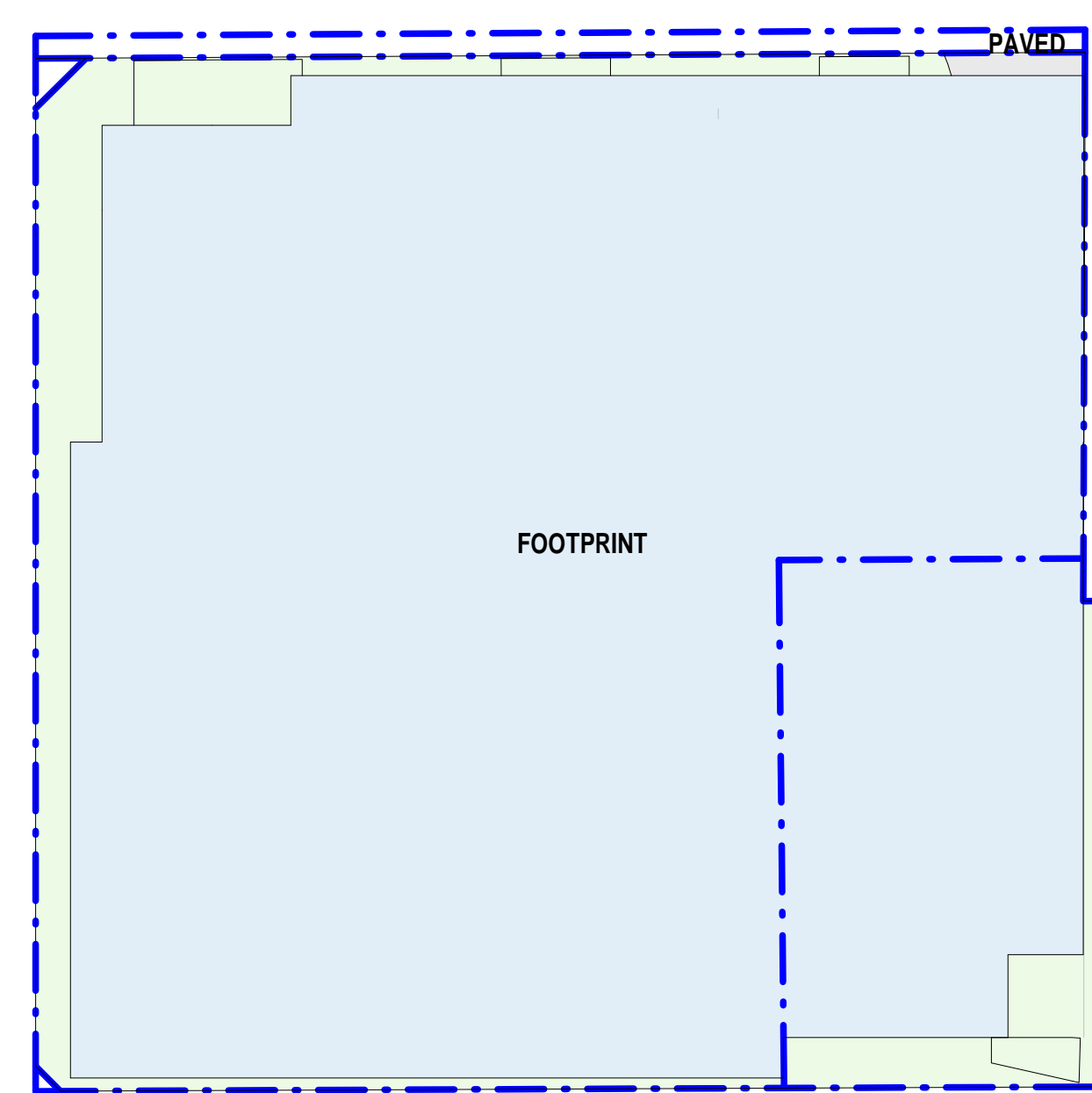
ROOF COVERAGE			
Name	Area	Area sf	%
Green Roof	798 m <sup>2</sup>	8,585 ft <sup>2</sup>	22.47%
Outdoor Amenity	591 m <sup>2</sup>	6,362 ft <sup>2</sup>	16.65%
ROOF	978 m <sup>2</sup>	10,527 ft <sup>2</sup>	27.55%
Rooftop Terrace	1,183 m <sup>2</sup>	12,731 ft <sup>2</sup>	33.32%
<b>Total</b>	<b>3,549 m<sup>2</sup></b>	<b>38,205 ft<sup>2</sup></b>	<b>100.00%</b>

GREEN ROOF PERCENTAGE			
Name	Area	Area sf	Site Area %
Green Roof	798 m <sup>2</sup>	8,585 ft <sup>2</sup>	20%

**ROOF COVERAGE LEGEND**

- Outdoor Amenity
- Rooftop Terrace
- Green Roof
- ROOF

1 ROOF COVERAGE  
A-004 Scale: 1 : 400



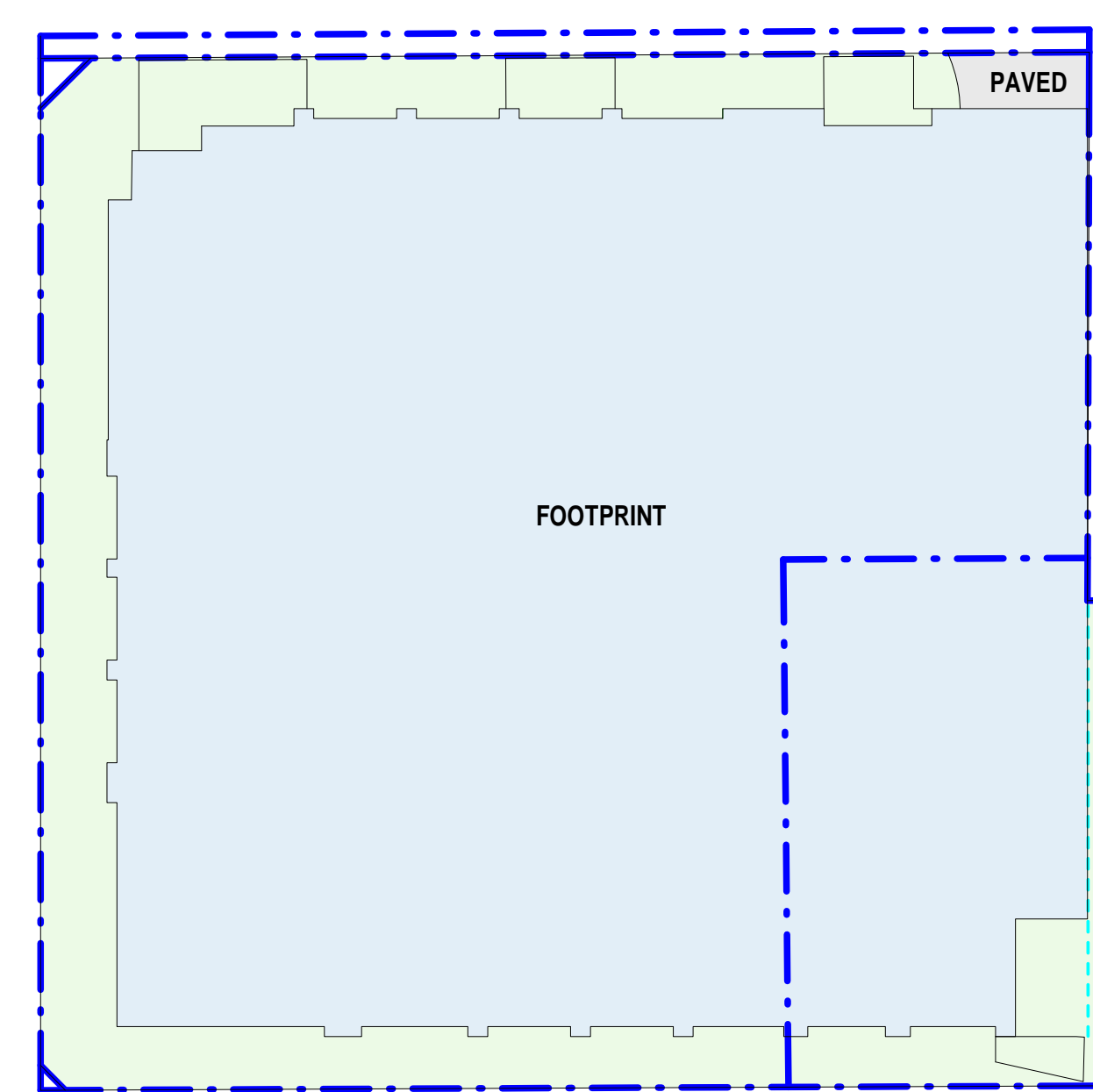
LOT COVERAGE PLAN			
Name	Area	Area SF	%
FOOTPRINT	3,551 m <sup>2</sup>	38,227 ft <sup>2</sup>	89.66%
LANDSCAPE	397 m <sup>2</sup>	4,274 ft <sup>2</sup>	10.03%
PAVED	12 m <sup>2</sup>	132 ft <sup>2</sup>	0.31%
<b>Total</b>	<b>3,961 m<sup>2</sup></b>	<b>42,634 ft<sup>2</sup></b>	

GROUND FLOOR COVERAGE			
Name	Area	Area SF	%
FOOTPRINT	3,196 m <sup>2</sup>	34,398 ft <sup>2</sup>	80.68%
LANDSCAPE	737 m <sup>2</sup>	7,928 ft <sup>2</sup>	18.59%
PAVED	29 m <sup>2</sup>	310 ft <sup>2</sup>	0.73%
<b>Total</b>	<b>3,961 m<sup>2</sup></b>	<b>42,634 ft<sup>2</sup></b>	

**LOT COVERAGE LEGEND**

- FOOTPRINT
- LANDSCAPE
- PAVED

3 LOT COVERAGE  
A-004 Scale: 1 : 400



4 GROUND FLOOR COVERAGE  
A-004 Scale: 1 : 400



PROJECT  
**150 RANDALL STREET, OAKVILLE**  
150 RANDALL STREET, 125 NAVY STREET, 143 AND 147 CHURCH STREET OAKVILLE, ONTARIO L6J 1P4

SHEET TITLE  
**CONCEPT & LANDSCAPE PLAN**

DRAWN BY: Author	CHKD' BY: Checker	DATE: 01/12/2023	SCALE: As indicated
PROJECT NO: 140567	DWG NO. A-004		

