

Randall Oakville Development Ltd.

ISSUES

DESCRIPTION DATE 1 SPA SUBMISSION 01-12-2023

GENERAL NOTES

1. DRAWINGS ARE PREPARED BASED ON BOUNDARY PLAN AND TOPOGRAPHICAL SURVEY OF PART OF LOTS A, B AND D, BLOCK 1 REGISTERED PLAN N° 1 TOWN OF OAKVILLE AS PREPARED BY CUNNINGHAM McCONNELL LIMITED, AND DATED MONTH OCTOBER

2. DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ALL OTHER CONSULTANTS' DRAWINGS AND

 REFER TO TRAFFIC CONSULTANT'S DOCUMENTATION FOR TRAFFIC DIAGRAMS, TURNING RADII, TRAFFIC REPORT AND SITE ACCESS INFORMATION;

• REFER TO LANDSCAPE ARCHITECT'S DRAWINGS FOR LANDSCAPING INFORMATION, GRADING,

GREEN ROOF AND OUTDOOR AMENITY SPACES; • REFER TO SITE SERVICING / CIVIL ENGINEER'S DRAWINGS AND REPORTS FOR SITE SERVICING

• REFER TO WASTE MANAGEMENT CONSULTANT'S DESIGN BRIEF FOR INFORMATION ABOUT WASTE STORAGE, PICK-UP AND HANDLING FOR ALL

USES/OCCUPANCIES; • REFER TO LETTER FROM STRUCTURAL ENGINEER FOR DRIVEWAYS, PASSAGE WAYS AND LOADING SPACE WITH IMPACT FACTORS WHERE

THEY ARE LOCATED OVER A SUPPORTED 3. ALL ACCESS DRIVEWAYS TO BE USED BY THE COLLECTION VEHICLE WILL BE LEVEL (+/-8%), HAVE A

AND 7 m WIDE AT POINT OF INGRESS AND EGRESS. 4. OVERHEAD DOORS THE COLLECTION VEHICLE WILL

BE PASSING THROUGH HAVE A MINIMUM WIDTH OF 6 m AND A MINIMUM OVERHEAD CLEARANCE OF 4.5 m

5. TYPE G LOADING SPACE THAT IS LEVEL (+/-2%), AND IS CONSTRUCTED OF A MINIMUM OF 200 MM REINFORCED CONCRETE.

6. A TRAINED ON-SITE STAFF MEMBER WILL BE AVAILABLE TO MANOEUVRE BINS FOR THE COLLECTION DRIVER AND ALSO ACT AS A FLAGMAN WHEN THE TRUCK IS REVERSING. IN THE EVENT THE ON-SITE STAFF IS UNAVAILABLE AT THE TIME THE CITY COLLECTION VEHICLE ARRIVES AT THE SITE, THE COLLECTION VEHICLE WILL LEAVE THE SITE AND NOT RETURN UNTIL THE NEXT SCHEDULED **COLLECTION DAY**

LEAVING THE PARKING GARAGE OF HEAVY VEHICLES
WHEN LOADING OPERATIONS ARE OCCURRING. THIS
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INDEPENDENT OF AND NOT ACCESSIBLE TO THE RESIDENTIAL WASTE ROOM. 9. THE BINS THAT WILL BE USED FOR THE NONRESIDENTIAL WASTE WILL BE LABELLED

10. BUILDING TO BE FULLY SPRINKLED

11. *****AREA INDICATED ON FLOOR PLANS IS INCLUDING EXTERIOR WALLS. FOR THE PURPOSE OF THE STATISTICS, AREA IS CALCULATED BASED ON BY-

DATE DESCRIPTION

ALL DIMENSIONS ARE TO BE CHECKED ON SITE BY THE CONTRACTOR. ANY DISCREPANCIES ARE TO BE REPORTED TO THE ARCHITECT BEFORE PROCEEDING

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150 RANDALL STREET **OAKVILLE**

150 RANDALL STREET, 125 NAVY STREET, 143 AND OAKVILLE, ONATRIO L6J 1P4

SHEET TITLE

CONCEPT & LANDSCAPE PLAN

		140567	β	\-004
	PROJECT NO):	DWG NO.	
)	Author	Checker	01/12/2023	As indicate
/	DRAWN BY:	CHKD' BY:	DATE:	SCALE:

PROPOSED TCA & GFA & NSA

TOTAL CONSTRUCTION AREA & GROSS FLOOR AREA

Total Construc	Deduction * contains mechanical areas, motor vehicle parking and storage below ground.			
* contains all areas within the build				
Level	Area	Area SF	Area	Area SF
MECH.P.H.	318 m²	3,422 ft ²	186.95 m²	2,012 ft ²
LEVEL 12	982 m²	10,572 ft ²	0.00 m ²	0 ft ²
LEVEL 11	981 m ²	10,563 ft ²	0.00 m ²	0 ft ²
LEVEL 10	1,533 m²	16,496 ft ²	0.00 m ²	0 ft ²
LEVEL 09	2,000 m ²	21,523 ft ²	0.00 m ²	0 ft ²
LEVEL 08	2,016 m ²	21,696 ft ²	0.00 m ²	O ft ²
LEVEL 07	2,016 m ²	21,696 ft ²	0.00 m ²	0 ft ²
LEVEL 06	2,446 m ²	26,330 ft ²	0.00 m ²	0 ft ²
LEVEL 05	2,447 m²	26,340 ft ²	0.00 m ²	0 ft ²
LEVEL 04	2,745 m ²	29,548 ft ²	0.00 m ²	0 ft ²
LEVEL 03	2,740 m ²	29,498 ft ²	0.00 m ²	0 ft ²
LEVEL 02	2,462 m ²	26,500 ft ²	0.00 m ²	0 ft ²
LEVEL 01	3,195 m ²	34,392 ft ²	1,354.58 m ²	14,581 ft ²
TCA AREA ABOVE GRADE	25,881 m ²	278,577 ft ²	1,541.53 m ²	16,593 ft ²

	·	•		<u> </u>
Level	Area	Area SF	Area	Area SF
LEVEL P1	3,670 m ²	39,503 ft ²	3,587.98 m ²	38,621 ft ²
LEVEL P2	3,676 m ²	39,571 ft ²	3,463.78 m ²	37,284 ft ²
LEVEL P3	3,701 m ²	39,833 ft ²	3,480.30 m ²	37,462 ft ²
LEVEL P4	3,682 m ²	39,633 ft ²	3,464.31 m ²	37,290 ft ²
TCA AREA BELOW GRADE	14,729 m ²	158,539 ft ²	13,996.37 m ²	150,656 ft ²
			•	

41,264 m² 444,165 ft² 15,537.91 m² 167,249 ft²

Gross Floor Area (GFA) *contains all areas within the building below and above grade excluding mechanical areas, motor vehicle parking, bicycle parking, below grade garbage areas and below grade storage.			Lockers *contains storage locaker area above grade		* contains residential units and supporting areas (Including garbage chute room and vertical circulation)		GFA Retail * contains Retail units		GFA Amenity *contains indoor Amenity Area	
MECH.P.H.	131 m²	1,410 ft ²	0.00 m²	0 ft²	130.98 m²	1,410 ft ²	0.00 m ²	0 ft²	0.00 m ²	0 ft ²
EVEL 12	982 m²	10,572 ft ²	0.00 m ²	0 ft ²	982.14 m ²	10,572 ft ²	0.00 m ²	0 ft ²	0.00 m ²	O ft ²
EVEL 11	981 m²	10,563 ft ²	0.00 m ²	0 ft ²	981.33 m²	10,563 ft ²	0.00 m ²	0 ft ²	0.00 m ²	O ft ²
EVEL 10	1,533 m ²	16,496 ft ²	41.32 m²	445 ft ²	1,265.91 m ²	13,626 ft ²	0.00 m ²	O ft ²	225.33 m ²	2,425 ft ²
EVEL 09	2,000 m ²	21,523 ft ²	41.32 m²	445 ft ²	1,958.27 m ²	21,079 ft ²	0.00 m ²	O ft ²	0.00 m ²	O ft ²
EVEL 08	2,016 m ²	21,696 ft ²	41.32 m²	445 ft ²	1,974.30 m ²	21,251 ft ²	0.00 m ²	O ft ²	0.00 m ²	O ft ²
EVEL 07	2,016 m ²	21,696 ft ²	41.32 m²	445 ft ²	1,974.32 m ²	21,251 ft ²	0.00 m ²	0 ft ²	0.00 m ²	O ft ²
EVEL 06	2,446 m ²	26,330 ft ²	41.32 m²	445 ft ²	2,404.78 m ²	25,885 ft ²	0.00 m ²	O ft ²	0.00 m ²	O ft ²
EVEL 05	2,447 m ²	26,340 ft ²	41.32 m²	445 ft ²	2,405.75 m ²	25,895 ft ²	0.00 m ²	O ft ²	0.00 m ²	O ft ²
EVEL 04	2,745 m ²	29,548 ft ²	41.32 m²	445 ft ²	2,703.81 m ²	29,104 ft ²	0.00 m ²	O ft ²	0.00 m ²	O ft ²
EVEL 03	2,740 m ²	29,498 ft ²	41.32 m²	445 ft ²	2,699.16 m ²	29,054 ft ²	0.00 m ²	0 ft ²	0.00 m ²	O ft ²
EVEL 02	2,462 m ²	26,500 ft ²	41.32 m²	445 ft ²	2,248.64 m ²	24,204 ft ²	0.00 m ²	0 ft ²	172.00 m ²	1,851 ft ²
EVEL 01	1,841 m²	19,811 ft ²	0.00 m²	0 ft ²	440.06 m ²	4,737 ft ²	1,107.69 m²	11,923 ft ²	292.77 m ²	3,151 ft ²
OTAL GFA ABOVE GRADE	24,339 m ²	261,984 ft ²	371.90 m ²	4,003 ft ²	22,169.45 m ²	238,630 ft ²	1,107.69 m ²	11,923 ft ²	690.11 m ²	7,428 ft ²

81.93 m²

82.46 m²

81.93 m²

81.93 m²

328.24 m²

Area SF

888 ft²

882 ft²

882 ft²

24,667 m² 265,518 ft²

3,533 ft²

82 m²

82 m²

TOTAL GFA BELOW GRADE 328 m²

UNIT MIX

LEVEL 12

The sum of the areas of each storey of a building above or below established

- Mechanical floor area
- Motor vehicle parking
- recyclable waste generated within the building that is below ground level.

GFA DEFINITION -

grade, measured from the exterior of outside walls of the building including floor area occupied by interior walls but excluding:

- Bicycle parking
- Below-grade storage
- Any enclosed area used for the collection or storage of disposable or

SITE	
EASEMENT (RANDALL ST.) DAYLIGHT TRIANGLE	8 ,960.77 m ²
EASEMENT (RANDALL &NAVY EASEMENT (CHURCH &NAVY)	1.12 m ²
	I,052.55 m ²
TOTAL NFA FOR FSI CALCULATING	22,108 m ²
PROPOSED FSI FOR SITE AREA EXCLUDING EASEMENT	5.59

PROPOSED FSI

TOTAL BIKE SPACES

TOTAL BIKE SPACES

BICYCLE PARKING

TOTAL RESIDENTIAL BIKE SPACES

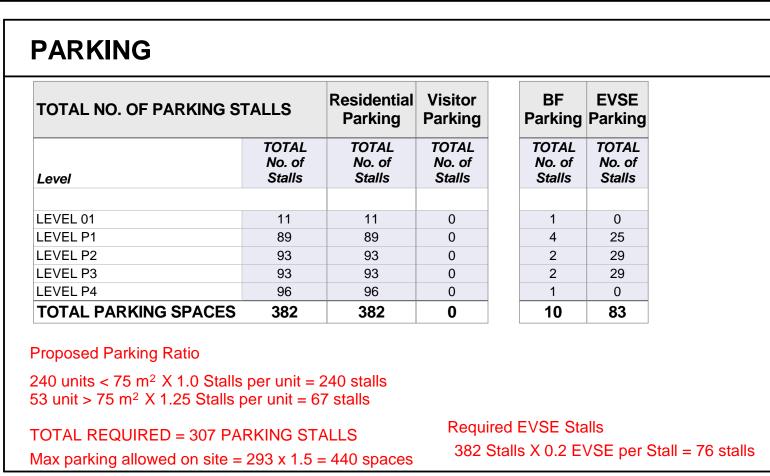
FOR TOTAL SITE AREA

Level

LEVEL 01

LEVEL 01

<varies>



LEVEL P1

LEVEL P2

LEVEL P3

LEVEL P4

<varies>

5.46 Proposed Bicycle Parking VIS ST **RES LT** Total Bike Short Term Retail bicycle parking Long Term RESIDENTIAL Spaces RESIDENTIAL requirments: The greater of 2 or 1.0 per 1,000.0 m2 net floor area = 2 commercial bicycle Visitor bicycle parking: 0.25 of the bicycle parking spaces required per dwelling shall be designated as visitors bicycle parking COMM ST TOTAL COMMERCIAL BIKE SPACES COMM LT spaces Total Bike Long Term Short Term COMMERCIAL COMMERCIAL Spaces 5.4.1.b: In no circumstance shall the number of minimum bicycle parking spaces required on a lot be greater than 30.

INDOOR AND OUTDOOR AMENITY

Area SF

882 ft²

888 ft²

882 ft²

882 ft²

22,497.69 m² 242,163 ft²

3,533 ft²

Indoor Amenity					
Level	Area	Area SF			
_EVEL 10	225.33 m²	2,425 ft ²			
LEVEL 02	172.00 m ²	1,851 ft ²			
LEVEL 01	292.77 m²	3,151 ft ²			
Grand total	690.11 m ²	7,428 ft ²			

Outdoor Amenity						
Level	Area	Area SF				
MECH.P.H.	344.49 m²	3,708 ft ²				
LEVEL 10	310.33 m ²	3,340 ft ²				
Grand total	654.82 m ²	7,048 ft ²				

LEVEL 09 30 5 20 5 LEVEL 08 30 5 20 5 LEVEL 07 30 5 20 5
LEVEL 09 30 5 20 5 LEVEL 08 30 5 20 5 LEVEL 07 30 5 20 5
LEVEL 08 30 5 20 5 LEVEL 07 30 5 20 5
LEVEL 07 30 5 20 5
LEVEL 05 31 0 24 7
LEVEL 04 34 0 25 9
LEVEL 03 37 1 29 7
LEVEL 02 32 7 17 8
Total Units 293 26 200 67
TOTAL UNIT COUNT
293
AVG UNIT AVG UNIT
DD_Unit_Count-Mix AVG UNIT AVG UNI
<i>TYPE COUNT PERCENT (%)</i> 65.5 m ² 705 SF
2 BR 67 23%
1 BR 200 68%
0 BR 26 9%
TOTAL 293 100%
LOCKER COUNT
LOCKER COUNT Level Count
Level Count
Level Count LEVEL 10 14
Level Count LEVEL 10 14
Level Count LEVEL 10 14 LEVEL 09 14
Level Count LEVEL 10 14 LEVEL 09 14 LEVEL 08 14
Level Count LEVEL 10 14 LEVEL 09 14 LEVEL 08 14 LEVEL 07 14
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LEVEL 10
LEVEL 10
Level Count LEVEL 10 14 LEVEL 09 14 LEVEL 08 14 LEVEL 07 14 LEVEL 06 14 LEVEL 05 14 LEVEL 04 14 LEVEL 03 14 LEVEL 03 14 LEVEL 02 14 LEVEL P2 35

1 BR

Randall Oakville Development Ltd.

DATE

DESCRIPTION 1 SPA SUBMISSION 01-12-2023

GENERAL NOTES

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APPROVAL OF THE ARCHITECTS.

150 RANDALL STREET,

OAKVILLE 150 RANDALL STREET, 125 NAVY STREET, 143 AND 147 CHURCH STREET OAKVILLE, ONATRIO L6J 1P4

SHEET TITLE

GENERAL NOTES & STATISTICS BREAKDOWN

	140567	Α	\-00
PROJECT NO):	DWG NO.	
Author	Checker	01/12/2023	
DRAWN BY:	CHKD' BY:	DATE:	SCALE:

A-005