



PROJECT SUMMARY

PROJECT NAME:	HOTEL + RESTAURANT
CIVIC ADDRESS:	2650 SHERWOOD HEIGHTS DRIVE, OAKVILLE, ONTARIO
LEGAL DESCRIPTION:	PART BLOCK 1, REGISTERED PLAN 20M-518 Pl 4, 20R14801 Side Plots 1 To 3, 20R19415 Together With An Easement Over Pl 1, 20R15241(hstc453) As In Hr280482 Town Of Oakville
ZONE:	= E1
SITE AREA:	= 126,561.09 SQ FT ; 11,757.91 M ² ; 2.91 ACRES
FLOOR SPACE INDEX:	= 105,189.85 / 126,561.09 SQ FT 9,772.47 / 11,757.91 M ² ; = 0.83
LOT COVERAGE:	= 25,481.41 / 126,561.09 SQ FT ; 2,367.30 / 11,757.91 M ² ; = 17.81%
LANDSCAPED AREA:	= 24,571.75 / 126,561.09 SQ FT ; 2,282.79 / 11,757.91 M ² ; = 19.41% (> 10% Min. Requirement)

TOTAL GROSS FLOOR AREA

HOTEL & RESTAURANT	TOTAL
GROUND FLOOR	= 22413.21 SQ FT ; 2,082.26 M ²
GARAGE / BIKE PARKING ENCLOSURE	= 348.32 SQ FT ; 32.36 M ²
SECOND FLOOR	= 11,042.25 SQ FT ; 1,025.86 M ²
THIRD FLOOR	= 17,463.74 SQ FT ; 1,622.44 M ²
FOURTH FLOOR	= 17,974.11 SQ FT ; 1,669.85 M ²
FIFTH FLOOR	= 17,974.11 SQ FT ; 1,669.85 M ²
SIXTH FLOOR	= 17,974.11 SQ FT ; 1,669.85 M ²
TOTAL GROSS FLOOR AREA	= 105,189.85 SQ FT ; 9,772.47 M ²

HOTEL & RESTAURANT SETBACKS	REQUIRED	PROVIDED
FRONT YARD	3.00 M (MIN) 17.50 M (MAX)	27.7 M
SIDE YARD	3.00 M 17.50 M (MAX)	16.2 M
REAR YARD	15.00 M (MIN)	37.2 M

PARKING CALCULATION: (AS PER THE TOWN OF OAKVILLE ZONING BY-LAW 2014-014 PARKING REQUIREMENTS)

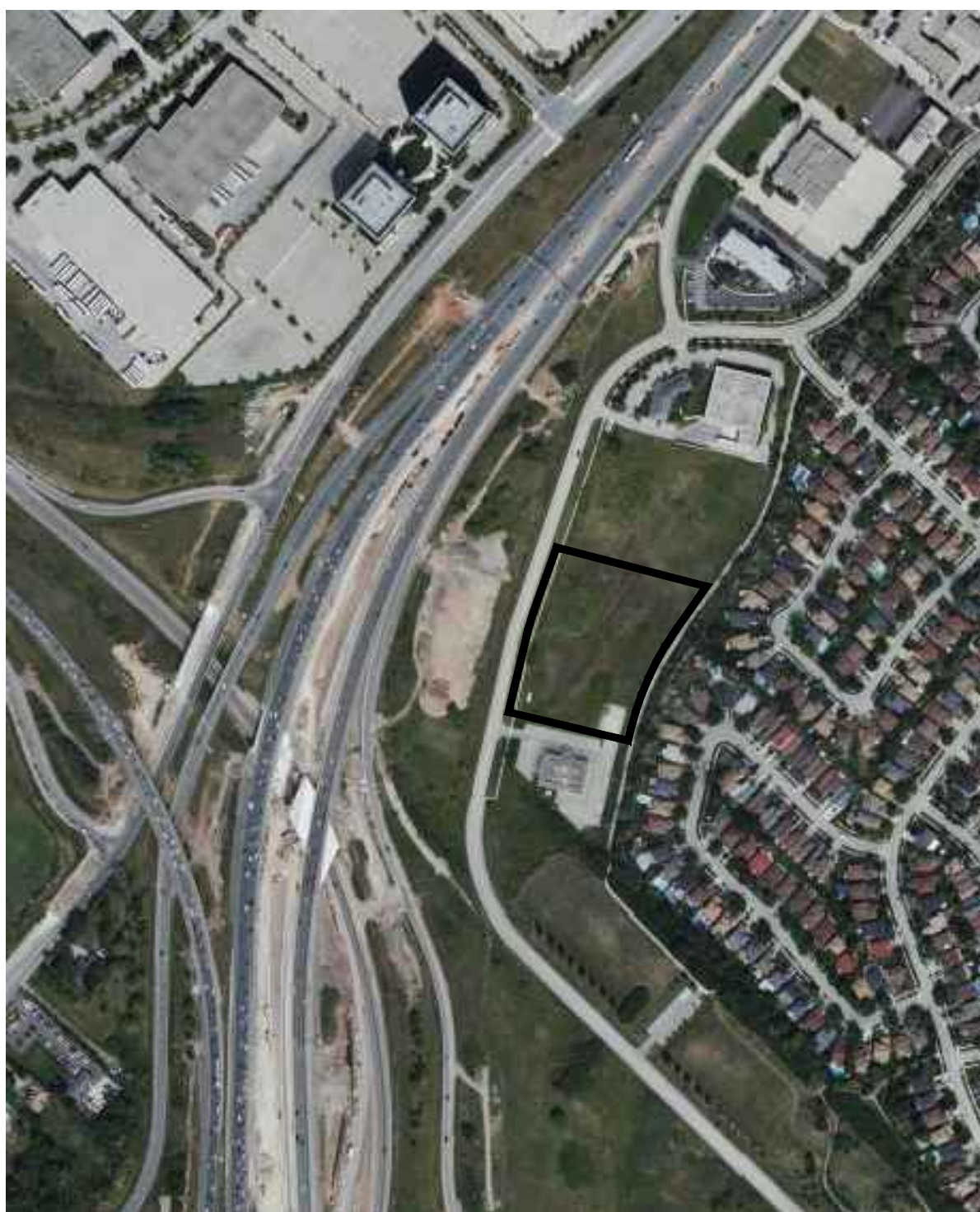
		REQUIRED	PROVIDED
NEW HOTEL	GROUND FLOOR = 3 ROOMS SECOND FLOOR = 23 ROOMS THIRD FLOOR = 39 ROOMS FOURTH FLOOR = 41 ROOMS FIFTH FLOOR = 41 ROOMS SIXTH FLOOR = 41 ROOMS TOTAL = 188 ROOMS x 1.0 STALLS PER ROOM	188 STALLS	
NEW RESTAURANT	1 STALLS PER 10 SQM NET FLOOR AREA 749.63 SQ M / 10 SQM NET FLOOR AREA	75 STALLS	
GYM, POOL, OFFICES, STAFF ROOMS, CORPORATE LOUNGE	ADDITIONAL OCCUPIED AREAS 448.46 SQ M / 30	15 STALLS	
		278 STALLS	198 STALLS excl. Loading & Bus Parking Stall -80 STALLS

ACCESSIBLE PARKING, BICYCLE AND LOADING SPACE CALCULATION: (AS PER THE TOWN OF OAKVILLE ZONING BY-LAW 2014-014 PARKING REQUIREMENTS)

		REQUIRED	PROVIDED
REQUIRED BARRIER FREE PARKING	PER TABLE 5.3.1 - MIN. NO. OF BARRIER-FREE PARKING SPACES FOR 201 TO 1000 TOTAL NO. OF PARKING SPACES ON THE LOT: 2 STALLS, PLUS 2% OF THE TOTAL NO. OF PARKING SPACES IN THE PARKING AREA	7 STALLS	7 STALLS
BICYCLE STALL CALCULATION	PER TABLE 5.4.1 - RATIOS OF MIN. NO. BICYCLE PARKING SPACES 2 STALLS, PLUS 0.25 PER 1,000 SQM OF NET FLOOR AREA	5 STALLS	7 STALLS
LOADING BAY	PER 5.6 - LOADING BAY THERE IS NO MINIMUM OF LOADING SPACES REQUIREMENT APPLIED IN NORTH OAKVILLE BY ZONING BY-LAW 2014-014, M		1 STALL

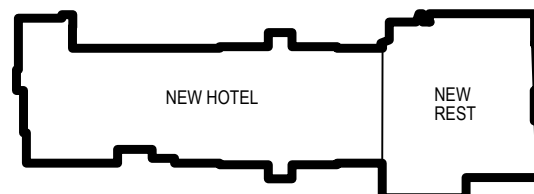
SITE NOTES

- DEPRESSED CONCRETE CURB AND MAX. 8% SLOPED RAMP (LETDOWN) C/W TACTILE WARNING STRIPS AND EXPANSION JOINTS TO MEET AODA STANDARDS
- PROPOSED BROOM FINISH CONCRETE WALKWAY
- EXISTING CONCRETE WALKWAY
- PAD MOUNT TRANSFORMER COMPLETE WITH PROTECTIVE BARRIERS
- PLYON SIGN - SEPARATE SIGN PERMIT REQUIRED
SEE SIGNAGE DETAILS ON DP-2.04
- ACCESSIBLE PARKING SPACE AND SIGN (TYP.)
- 1.5M (5'-0") SHARED ACCESS AISLE (TYP.)
- STOP BAR
- STOP SIGN
- LANDSCAPED ISLAND
- LANDSCAPE AREA
- 90° PARKING STRIPING (TYP.) AS SHOWN
PARKING STRIPING PAINTED WHITE 4" THICK (TYP.)
- PARALLEL PARKING STRIPING AS SHOWN
PARKING STRIPING PAINTED WHITE 4" THICK (TYP.)
- SIAMESE FIRE DEPARTMENT CONNECTION
- ASPHALT PAVING AS PER THE GEOTECH REPORT
- FIRE HYDRANT
- LONG TERM BICYCLE ENCLOSURE
- "HEAVY DUTY ASPHALT" CONCRETE LOADING ZONE
- ELECTRIC VEHICLE CHARGING LOCATION C/W PAINTED SIGN
- NEW FENCE POST TO SECURE EXISTING FENCE
- CONCRETE WHEEL STOP
- FIRE AND CONSTRUCTION ACCESS ROUTE
PAVED IN CONFORMANCE WITH THE GEOTECH REPORT
- MOLOK GARBAGE BINS / EARTH BINS
"GARBAGE WILL BE COLLECTED DURING OFF-PEAK HOURS"
- GREASE BIN
- EXISTING FENCE TO BE REMOVED AND REPLACED WITH NEW
1.2 METER FENCE ONCE RETAINING WALL AND GRADING ARE COMPLETED
- PEDESTRIAN WALKWAY
- EXISTING 1.2 M CHAIN LINK FENCE TO REMAIN UNCHANGED
- NEW 3'-6" (1067mm) HIGH GUARD RAIL AFFIXED TO RETAINING WALL.
- BOLLARD MOUNTED EV CHARGER
- PROPOSED RETAINING WALL
- PROPOSED STORM MANHOLE & SEWER
- PROPOSED STORM CATCHBASIN AND SEWER
- PROPOSED SANITARY MANHOLE AND SEWER
- OIL/ GRIT SEPARATOR
- GAS METER ENCLOSURE C/W BOLLARDS
- SET NEW 4'-0" (1.2 M) HIGH DECORATIVE FENCE TO REPLACE EXISTING
CITY FENCE. SET NEW FENCE 6'-12" (0.15-0.30 M) AWAY FROM
RETAINING WALL.
- LIGHT POST STANDARD
- WAYFINDING SIGNAGE
- CONCRETE WHEEL STOP

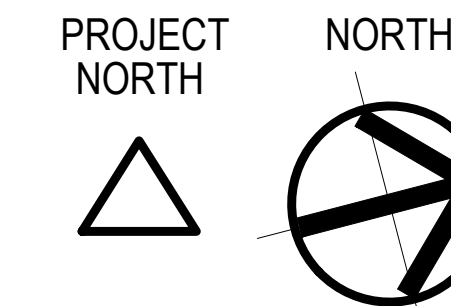


KEY PLAN 1:5000

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KEY PLAN



No.	Revision/Issue	Date
1	RESUBMISSION AS PER SUBMISSION 3	6.27.2025
2	COMMENTS	
3	REVISED PER PARKS & OPEN SPACE	12.05.2025
4	COMMENTS	
5	REVISED PER CITY COMMENTS	28.03.2025
6	ISSUED FOR SITE PLAN PREAPPLICATION	-
7	ISSUED FOR PRE-CONSULTATION	08.23.2023
8	Date	mm.dd.yyyy

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PROPOSED SIGNATURE HOTEL
SHERWOOD HEIGHTS DRIVE
OAKVILLE EAST ONTARIO

SITE PLAN

Scale	1:250
Date	Feb 06, 2025
Drawn	J.M. K.S.
Checked	S.H.

DP-1.00
R2