

SITE STATS

18-Oct-23

18-Oct-23

	SQ.M.	PERCENTAGE	(APPROX. EXTRAPOLATED)
SITE AREA	5320.1	100	
BUILDING COVERAGE	3989.81	75.0%	
LANDSCAPED AREA	1263.79	23.8%	
PAVED AREA	66.5	1.2%	

UNIT STATS

1 BEDROOM SUITES	69
2 BEDROOM SUITES	47
3 BEDROOM SUITES	6
TOTAL	122

	GFA (SQ.M.)			
	RESIDENTIAL SUITES	COMMON AREAS	COMMERCIAL SUITES	TOTAL
P1 GARAGE	0	5096.4	0	0
GROUND FLOOR	1814.6	1224.1	392.3	3431
SECOND FLOOR	2721.3	441.9	0	3163.2
THIRD FLOOR	2795.2	368	0	3163.2
FOURTH FLOOR	2760.5	368	0	3128.5
MECH PENTHOUSE	0	119.41	0	0
TOTAL	10091.6	2402	392.3	12885.9
(GARAGE AND MECH. PENTHOUSE EXCLUDED FROM TOTAL)				

COMMON AMENITY

OUTDOOR AMENITY	1016.2 SQ.M.
INDOOR AMENITY	249.8 SQ.M.

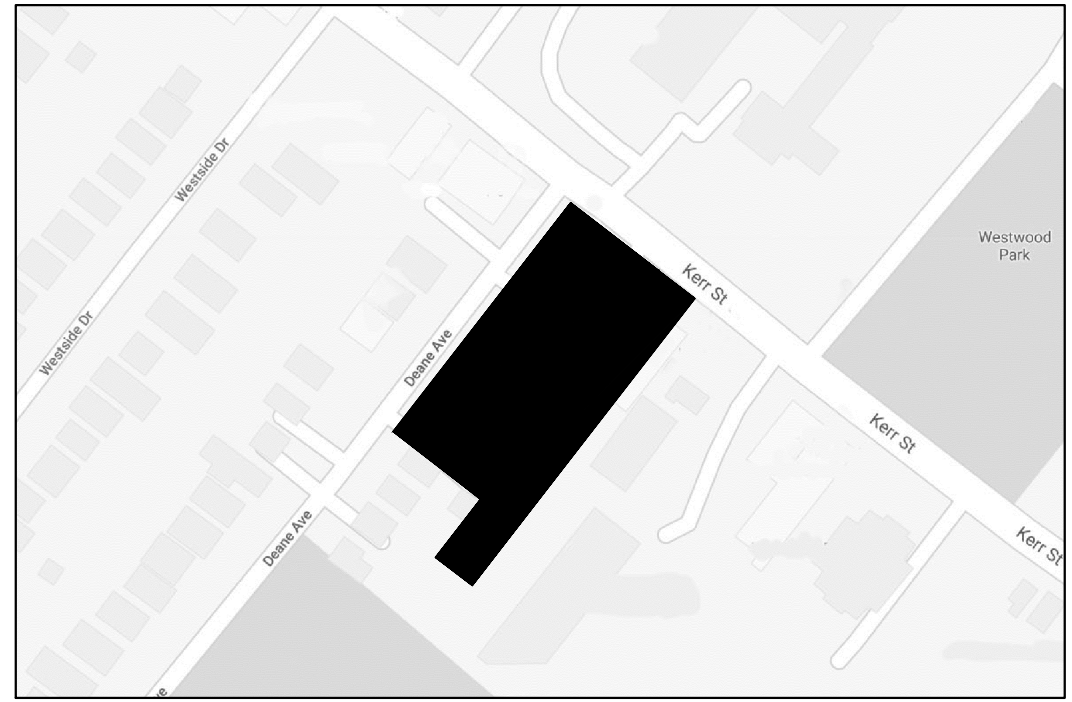
PARKING STATS

PARKING REQUIRED			
Resident	Unit	Ratio	Qty Req'd
Suites under 75m ²	69	1.0	69
Suites greater 75m ²	53	1.25	66.25
Total Required			135.25 (135)
Visitor (122 units x 0.2)			25
Dwellings (134 - 24)			110
Commercial (399.3sm/40)			10
TOTAL PARKING REQUIRED			140

TOTAL PARKING REQUIRED				195
PARKING PROVIDED				
Basement Garage	Res	Vis	Total	
Regular	51		51	
Handic	4		4	
Stacked	4		4	
Stacked	90		90	
Visitor and Comm (Combined)		32	32	
Barrier Free		3	3	
TOTAL PARKING PROVIDED				180

BICYCLE PARKING			
		ratio	no. of Bikes
TOTAL BICYCLE PARKING PROVIDED	122	0.25	32

DRAWING LIST	SHEET NAME
COVER SHEET/ STATS	CS
OBC BUILDING MATRIX	BM-1
SITE PLAN	SP-1
TREE PRESERVATION PLAN	SP-1B
U/G GARAGE PLAN	A-1
GROUND FLOOR PLAN	A-2
SECOND FLOOR PLAN	A-3
THIRD FLOOR PLAN	A-4
FOURTH FLOOR PLAN	A-5
ROOF PLAN	A-6
BUILDING ELEVATIONS	A-7
BUILDING ELEVATIONS	A-8
BUILDING ELEVATIONS	A-9
BUILDING SECTIONS	A-10
BUILDING SECTIONS	A-11
COLOURED ELEVATIONS	A-12
COLOURED ELEVATIONS	A-12a
COLOURED ELEVATIONS	A-12b
COLOURED ELEVATIONS	A-12c
COLOURED ELEVATIONS	A-12d
COLOURED ELEVATIONS	A-12e




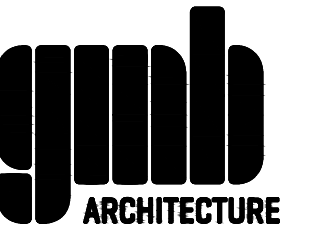
KEY PLAN



PROPOSED MIXED USE RESIDENTIAL
224, 234 KERR STREET AND 110, 118, 120 AND 124 DEANE AVE.,
OAKVILLE, ONTARIO

- All drawings are the property of the Architect and must be returned upon request.
- Contractor shall check all dimensions and report any discrepancies to the Architect before proceeding with the work.
- The contractor and/or engineer shall verify u/s footing elevations and soil bearing capacity prior to excavation and the commencement of work.
- **DO NOT SCALE DRAWINGS**

<input type="checkbox"/>			
<input type="checkbox"/>		OCT 27, 2023	SPA RESUBMISSION
<input type="checkbox"/>	6	JUN 23, 2022	REISSUED FOR SPA PER CITY COMMENTS
<input type="checkbox"/>	5	DEC 8, 2021	REISSUED FOR SPA PER CITY COMMENTS
<input type="checkbox"/>	4	SEP 9, 2021	ISSUED FOR MINOR VARIANCE
<input checked="" type="checkbox"/>	no.	<input checked="" type="checkbox"/>	date
<input checked="" type="checkbox"/>		<input checked="" type="checkbox"/>	revision



770 BROWN'S LINE, TORONTO, ON M8W 3W2 • T(416) 252-5679 F(416) 252-9637

owner

RISE KERR PARTNERSHIP
LIMITED

RAM.DINARY@GMAIL.COM

project
100 DEANE AVENUE
OAKVILLE, ONTARIO


☐ drawing

scale	N.T.S.	+	+	+
date	APR 2020	-	CS	-
drawn	GS	-		-
ch'kd	BB	+		+
project number	19.138	+		



Certificate of Practice Number: 1961

FORM	ONTARIO'S 2012 BUILDING CODE DATA MATRIX PARTS 3 & 9										OBC REFERENCE									
1	PROJECT DESCRIPTION:				<input checked="" type="checkbox"/> NEW <input type="checkbox"/> ADDITION <input type="checkbox"/> CHANGE OF USE <input type="checkbox"/> ALTERATION			<input type="checkbox"/> PART 11 11.1 TO 11.4		<input checked="" type="checkbox"/> PART 3 1.1.2[A]		<input type="checkbox"/> PART 9 9.10.1, 9.10.3								
2	MAJOR OCCUPANCY(S):				GROUP C - RESIDENTIAL GROUP E - COMMERCIAL GROUND FLOOR			STORAGE GARAGE - GROUP F STOREY - AMENITY GROUND FLOOR		3.1.2.1.(1)		9.10.2								
3	BUILDING AREA (m2)		EXISTING: N/A		NEW: BELOW GRADE 5067.6 M2		TOTAL: BELOW GRADE 5067.6 M2													
4	GROSS AREA (m2)		EXISTING: N/A		NEW: BELOW GRADE 5067.6 M2		TOTAL: ABOVE GRADE 5071.6 M2													
5	NUMBER OF STOREYS		ABOVE GRADE: 4		BELOW GRADE: 1				1.4.1.2.[A] & 3.2.1.1		1.4.1.2.[A] & 9.10.4									
6	NUMBER OF STREETS/ACCESS ROUTES		1						3.2.2.10. & 3.2.5.1		9.10.20.									
7	BUILDING CLASSIFICATION				OBC 3.2.2.43 GROUP C: UP TO 6-STOREYS, SPRINKLERED OBC 3.2.2.37 GROUP C: ANY HEIGHT, ANY AREA, SPRINKLERED OBC 3.2.2.15, STOREYS BELOW GROUND				3.2.2.20. - .83 3.2.1.4.		9.10.2.									
8	SPRINKLER SYSTEM PROPOSED				<input checked="" type="checkbox"/> ENTIRE BUILDING <input type="checkbox"/> SELECTED COMPARTMENTS <input type="checkbox"/> SELECTED FLOOR AREAS <input type="checkbox"/> BASEMENT <input type="checkbox"/> IN LIEU OF ROOF RATING <input type="checkbox"/> NOT REQUIRED				3.2.2.20. - .83 3.2.1.5. 3.2.1.7.		9.10.8.2.									
9	STANDPIPE REQUIRED				<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO				3.2.9.		N/A									
10	FIRE ALARM REQUIRED				<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO				3.2.4.		9.10.18.									
11	WATER SERVICE/SUPPLY IS ADEQUATE				<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO				3.2.5.7.		N/A									
12	HIGH BUILDING				<input checked="" type="checkbox"/> YES <input checked="" type="checkbox"/> NO				3.2.6.		N/A									
13	PERMITTED CONSTRUCTION		<input type="checkbox"/> COMBUSTIBLE		<input type="checkbox"/> NON-COMBUSTIBLE		<input type="checkbox"/> BOTH		3.2.2.20. - .83		9.10.6.									
14	ACTUAL CONSTRUCTION		<input type="checkbox"/> COMBUSTIBLE		<input checked="" type="checkbox"/> NON-COMBUSTIBLE		<input type="checkbox"/> BOTH													
15	MEZZANINE(S) AREA (m2)		<input type="checkbox"/> YES <input type="checkbox"/> NO		<input checked="" type="checkbox"/> PERSON		<input checked="" type="checkbox"/> DESIGN OF BUILDING		3.2.1.1.(3)-(8)		9.10.4.1.									
16	OCCUPANT LOAD BASED ON BASEMENT (PARKING GARAGE)/OCCUPANCY 548				LOAD 100 PERSONS				3.1.17.		9.9.1.3.									
17	1ST FLOOR (RES./COMM.1/2/3)				OCCUPANCY 858(60/60/60) LOAD 229/23/30/47 PERSONS/SUITE															
18	2ND FLOOR				OCCUPANCY 411 LOAD 100 PERSONS/SUITE															
19	3RD FLOOR				OCCUPANCY 548 LOAD 100 PERSONS/SUITE															
20	4TH FLOOR				OCCUPANCY 548 LOAD 100 PERSONS/SUITE															
21	2 PERSONS / SLEEPING ROOM OR SLEEPING AREA																			
22	BARRIER-FREE DESIGN				<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO (EXPLAIN)				3.8.		9.5.2.									
23	HAZARDOUS SUBSTANCES				<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO				3.3.1.2 & 3.3.1.19.		9.10.13.(4)									
24	REQUIRED FIRE RESISTANCE RATING (FRR)		HORIZONTAL ASSEMBLIES FRR (HOURS)			LISTED DESIGN NO. OR DESCRIPTION (SB-2)			3.2.2.7. 3.2.2.57.		9.10.8. 9.10.9.									
25	1ST FLOOR		2 HOURS			SEE CONSTRUCTION ASSEMBLIES1														
26	2ND FLOOR		2 HOURS																	
27	3RD FLOOR		1 HOURS																	
28	4TH FLOOR		1 HOURS																	
29	ROOF		N/A HOURS			SEE CONSTRUCTION ASSEMBLIES1														
30	MEZZANINE		N/A HOURS																	
31	FRR OF SUPPORTING MEMBERS					LISTED DESIGN NO. OR DESCRIPTION (SB-2)														
32	FLOORS		2 HOURS			SEE CONSTRUCTION ASSEMBLIES1														
33	ROOF		1 HOURS			SEE CONSTRUCTION ASSEMBLIES1														
34	MEZZANINE		N/A HOURS																	
35	SPATIAL SEPARATION - CONSTRUCTION OF EXTERIOR WALLS								3.2.3.		9.10.14.									
36	WALL		AREA OF EBF (m2)		L.D. (m)		OR HL		PERMITTED MAX. % OF OPENINGS		FRR (HRS)		LISTED DESIGN OR DESRIPTN (OBC SB-2)		COMBUST. CONSTR. CLADDING		COMBUST. CONSTR. NON-COMB. CLADDING		NON-COMB. CONSTR.	
37	NORTH		COMM 1		45.01		12.4		N/A		100		54.3		SEE CONSTRUCTION ASSEMBLIES		A801-A803			
38	AT DEANE AVE		MDL 1C		19.76		12.4		N/A		100		53.7							
39			MDL 2A		45.86		12.4		N/A		100		47.6							
40			MDL 2A1		55.41		12.4		N/A		100		47.2							
41			MDL 2C2		20.92		12.4		N/A		100		49.4							
42			MDL 2F		19.29		12.4		N/A		100		47.6							
43																				

<input type="checkbox"/>		
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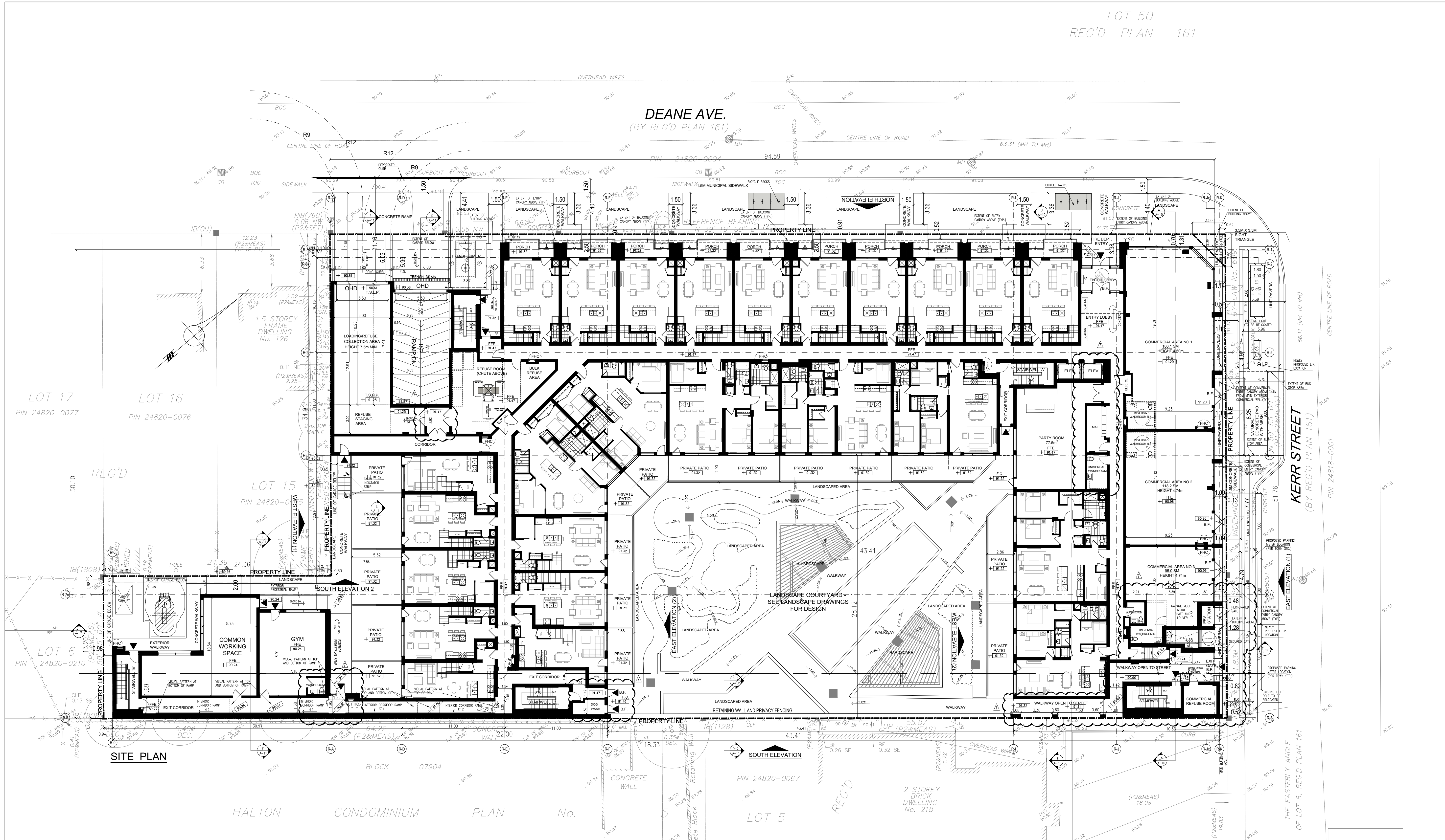
owner


RISE KERR PARTNERSHIP
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☐ drawing OBC MATRIX

scale 1:200
 date APR 2022
 drawn BB
 chk'd GMA

project number + 19.138



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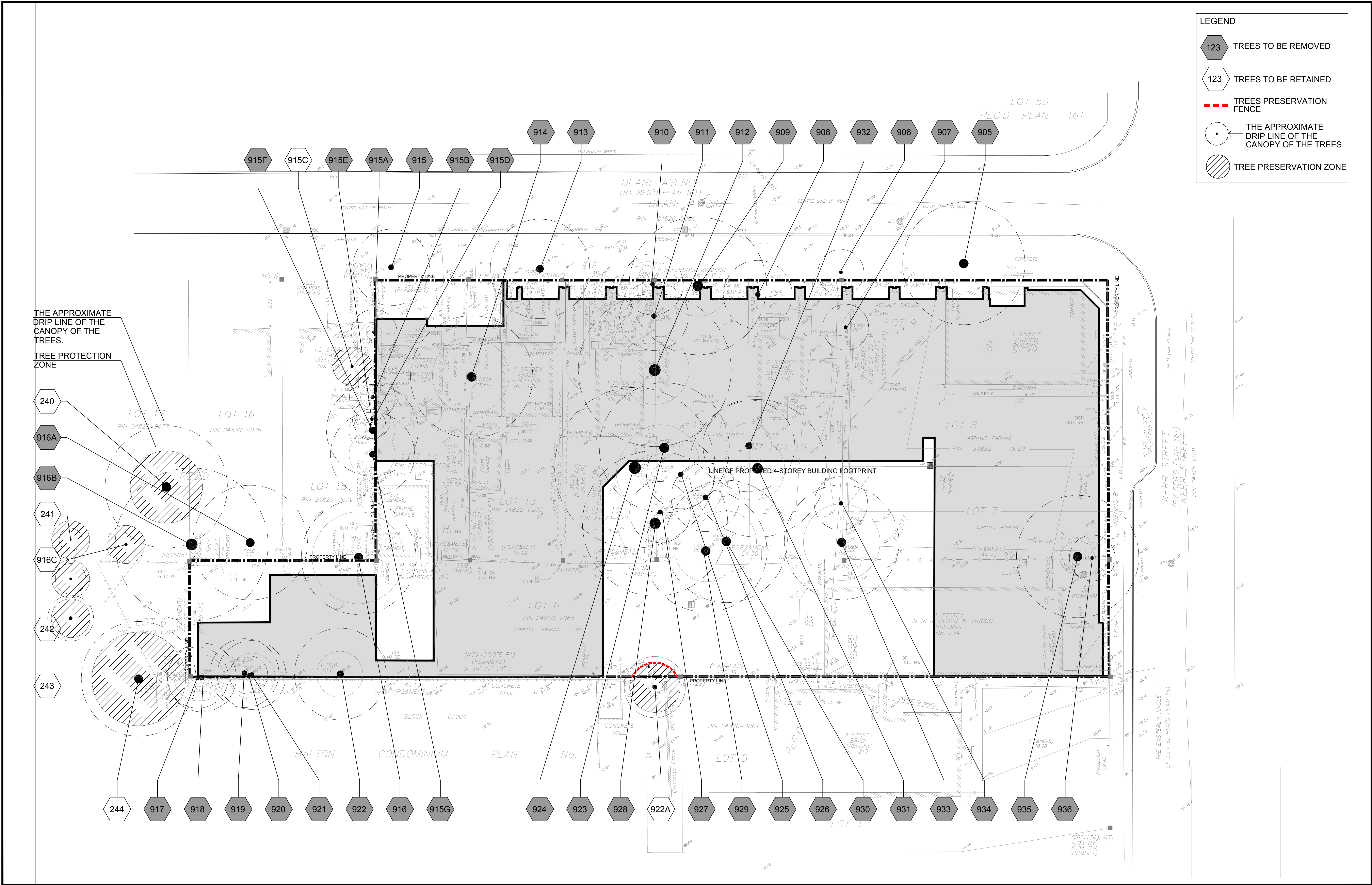
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project
100 DEANE AVENUE
OAKVILLE, ONTARIO

☐ drawing

scale	1: 200	+	-	-	+
date	APR 2020	SP-1			
drawn	GS	+	-	-	+
chk'd	BB				
project number		+	19.138		

PARKING STATS				
PARKING REQUIRED				
		Unit	Ratio	Qty. Req'd
Resident	Suites under 75m2	69	1.0	69
	Suites greater 75m2	53	1.25	66.25
	Total Required			135.25 (135)
	Visitor (122 units x 0.2)			25
	Dwellings (134 - 24)			110
	Commercial (399.3sm/40)			10
TOTAL PARKING REQ'D				145
PARKING PROVIDED				
Base Rent	Guests	Res.	Vis.	Total
Regular		51		51
Tandem		4		4
Stacked		90		90
Visitor and Comm (combined)			32	32
Barrier Free			3	3
TOTAL PARKING PROVIDED				180
BICYCLE PARKING				
			ratio	no. of Bikes
TOTAL BICYCLE PARKING PROVIDED		122	0.25	32



LEGEND

- TREES TO BE REMOVED
- TREES TO BE RETAINED
- TREES PRESERVATION FENCE
- THE APPROXIMATE DRIP LINE OF THE CANOPY OF THE TREES
- TREE PRESERVATION ZONE

THE APPROXIMATE DRIP LINE OF THE CANOPY OF THE TREES.

TREE PROTECTION ZONE

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DO NOT SCALE DRAWINGS

1 TREE PRESERVATION PLAN
SP-1B SCALE: 1:250

1	JULY 19, 2022	ISSUED FOR SPA RESUB.	
no.	date	revision	

GUTHRIE MUSCOVITCH
ARCHITECTS
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project
100 DEANE AVENUE
OAKVILLE, ONTARIO

drawing
SITE PLAN
TREE PRESERVATION PLAN

scale 1:75
date APR 2022
drawn BB
chk'd GMA
project number 19.138

SP-1B

- | <input type="checkbox"/> | | | |
|--------------------------|---|--------------|------------------------------------|
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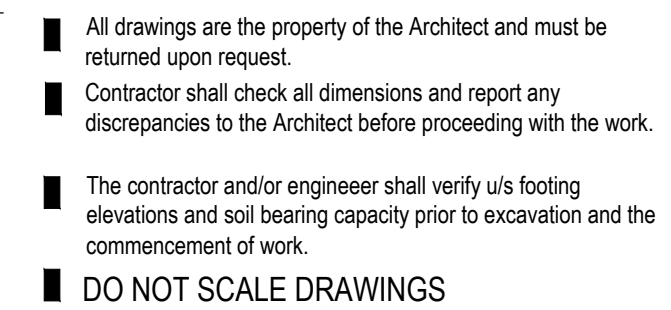
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drawing

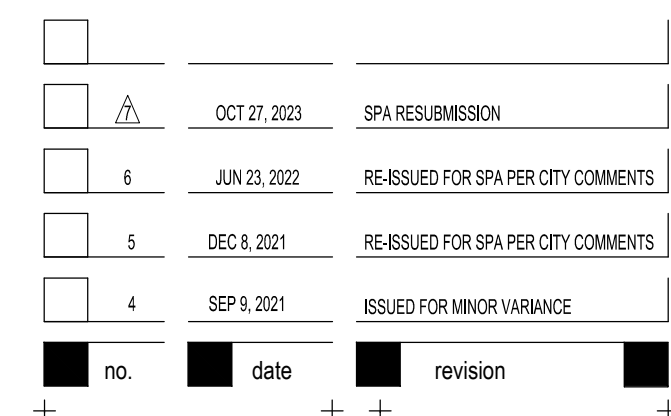
PLANS
U/G GARAGE PLAN

A-1





GROUND FLOOR PART PLAN



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drawing


scale 1:150

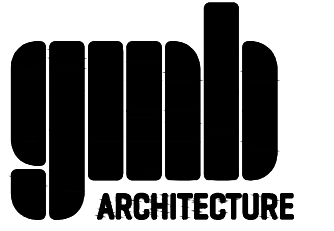
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drawing

PLANS
SECOND FLOOR PLAN

A-3



- | | <u>A</u> | <u>OCT 27, 2023</u> |
|------------|-------------|-------------------------------------|
| | | SPA RESUBMISSION |
| | <u>6</u> | <u>JUN 23, 2022</u> |
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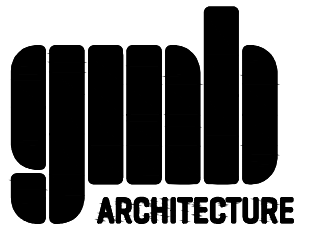
drawing

PLANS
THIRD FLOOR PLAN

A-4



- | |  | OCT 27, 2023 | SPA RESUBMISSION |
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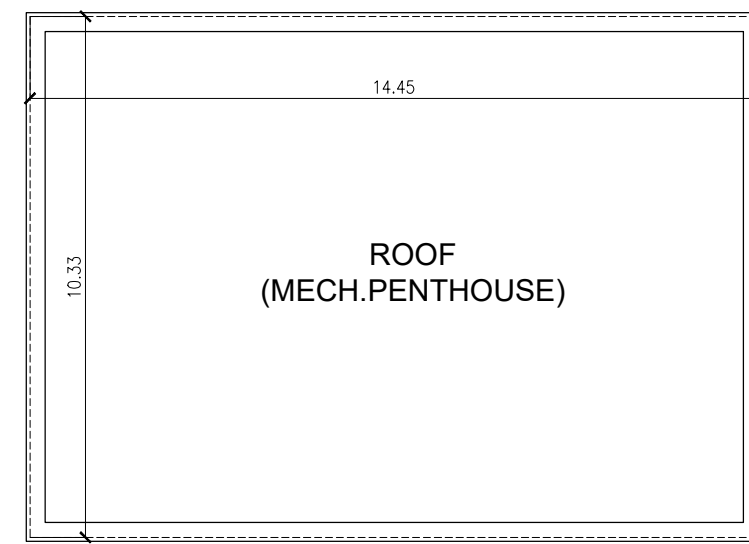
drawing

PLANS
FOURTH FLOOR PLAN

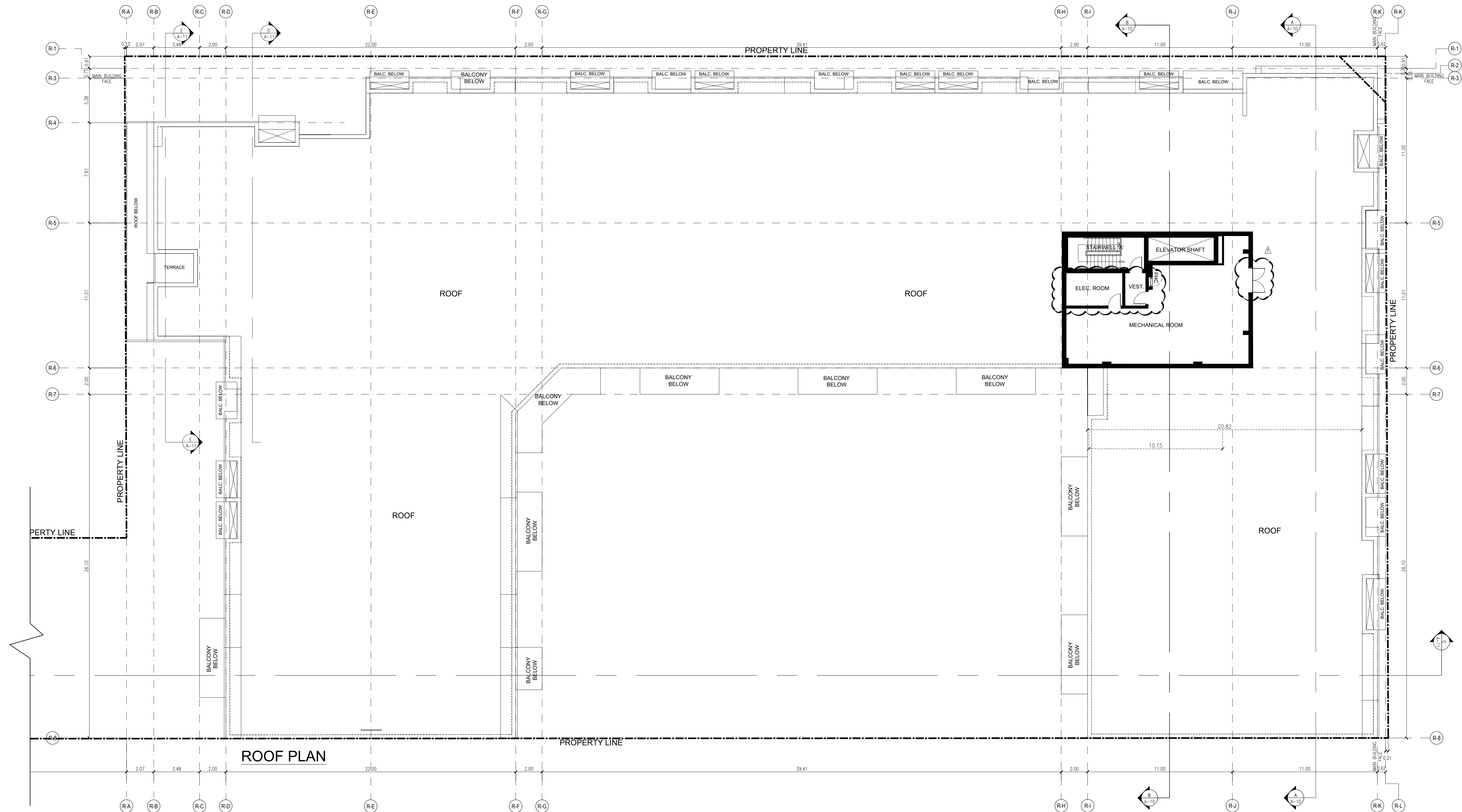
A5




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MECH. PENTHOUSE ROOF PLAN



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project
100 DEANE AVENUE
OAKVILLE, ONTARIO

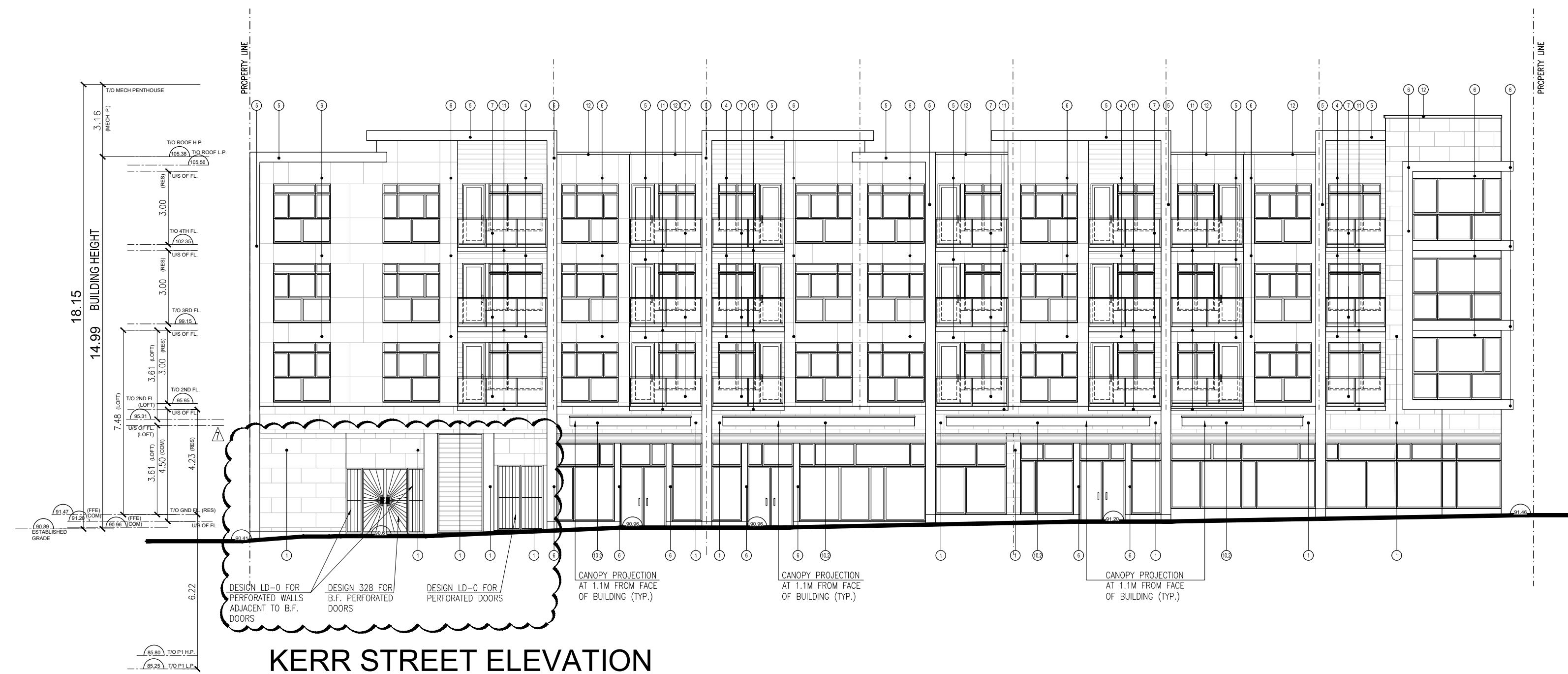
drawing

scale	1:150	+	+
date	APR 2020	-	-
drawn	GS	-	-
chk'd	BB	+	+
project number		+	+

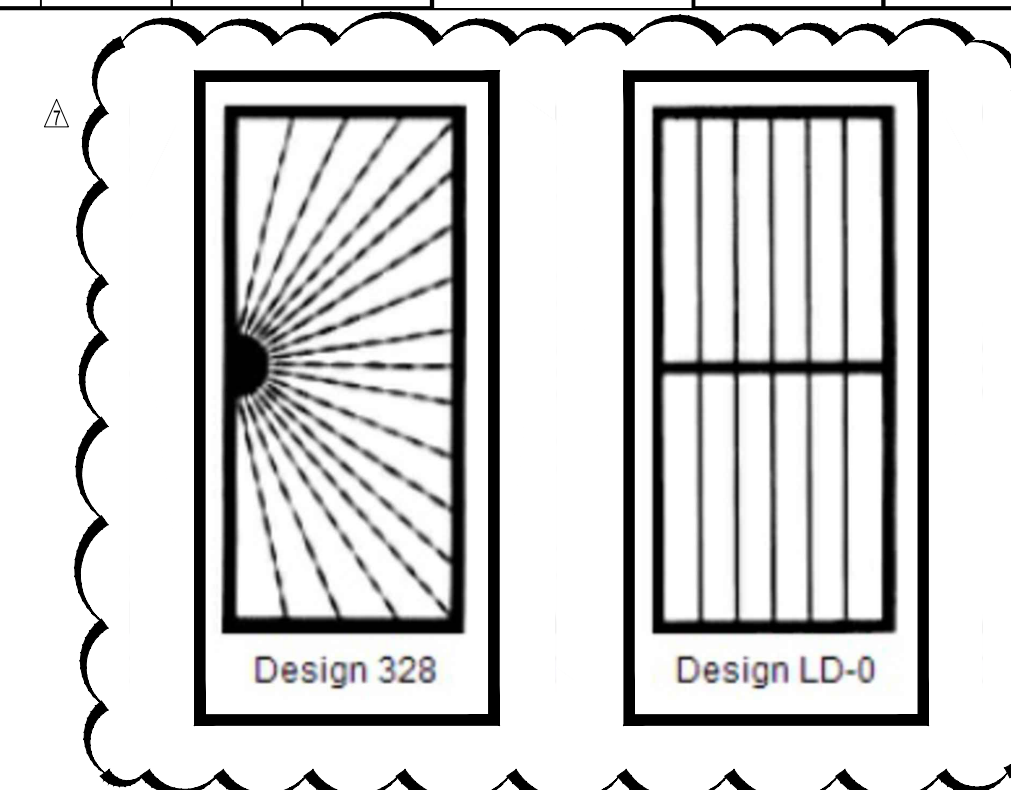
A-6


19.138

- ## EXTERIOR MATERIALS & LEGEND
- 1 BRASSING - STONE FINESER
COLOUR: BROWN
MANUFACTURER: ADARSH / ADAR
 - 2 MODURITE - STONE FINESER
COLOUR: LIGHT P.D.
MODURITE, BROOK
MANUFACTURER: T.B.D.
 - 3 MODURITE - BROOK VENEER
COLOUR: BROWN
MANUFACTURER: T.B.D.
 - 4 STONE METALISING
COLOUR: BROWN
MANUFACTURER: BELLARA
 - 5 METAL - PANEL 1
COLOUR: WOOD CLEAR
MANUFACTURER: T.S.D.
 - 6 METAL - PANEL 2
COLOUR: DARK BRONZE
MANUFACTURER: T.S.D.
 - 7 PREPARED ALUMINIUM AND GLASS
GLASS COLOUR: DARK GREY
FRAME COLOUR: DARK GREY
GLASS DENSITY: 0.549
MANUFACTURER: T.S.D.
 - 8 PREPARED ALUMINIUM AND GLASS
GLASS COLOUR: DARK GREY
FRAME COLOUR: DARK GREY
GLASS DENSITY: 1.39%
MANUFACTURER: T.S.D.
 - 9 GARDEN METAL - PANEL 2
COLOUR: BROWN
MANUFACTURER: T.S.D.



Main Wall Proportions Deanne Avenue					Main Wall Proportions Kerr Street				
SETBACK (m)	LEVEL				SETBACK (m)	LEVEL			
	GND	2ND	3RD	4TH		GND	2ND	3RD	4TH
0.9	14.45%	21.42%	0.00%	0.00%	0.9	0.00%	8.89%	8.89%	8.89%
1.3	8.32%	11.02%	14.64%	11.25%	1.3	0.00%	45.21%	45.21%	45.21%
1.66	0.00%	0.00%	27.23%	37.39%	1.66	100.00%	0.00%	0.00%	0.00%
2.5	54.65%	48.61%	36.77%	36.47%	2.5	0.00%	45.90%	45.90%	45.90%
5.05	8.35%	7.01%	14.00%	9.22%					
5.95	14.23%	5.54%	7.36%	5.66%					
6.95	0.00%	6.40%	0.00%	0.00%					



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RISE KERR PARTNERSHIP
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project
100 DEANE AVENUE
OAKVILLE, ONTARIO

 drawing

**BUILDING
ELEVATIONS**

scale	1:150	+	+	+
date	APR 2020	-	-	-
drawn	GS	A-7		
chk'd	BB			
		+	+	+
project number		+	19.138	

The contractor and/or engineer shall verify u/s footing elevations and soil bearing capacity prior to excavation and the commencement of work.

EXTERIOR MATERIALS & LEGEND

1	MINORITY, STONE, GREYER COLOR: LESTIGONE MANUFACTURER: ARREPARAT - ADOUR
2	MINORITY, STONE, PINKLE COLOR: LESTIGONE MANUFACTURER: A.D. MONTAR: MONTAR
3	MINORITY, STONE, GREYER COLOR: LESTIGONE MANUFACTURER: T.B.D.
4	MAJORITY, METAL, GREEN COLOR: WILSON MANUFACTURER: BELLADA
5	METAL, PANEL_1 COLOR: ANVIL, CLEAR MANUFACTURER: T.B.D.
6	METAL, PANEL_2 COLOR: GREEN, BROWN MANUFACTURER: T.B.D.
7	PERIPHERALS, ALUMINUM AND GLASS GLASS DENSITY: 1.30% FRAME COLOR: DARK GREY GLASS FINISH: CLEAR MANUFACTURER: T.B.D.
8	PERIPHERALS, ALUMINUM AND GLASS GLASS DENSITY: 1.30% FRAME COLOR: DARK GREY GLASS FINISH: 1.30% MANUFACTURER: T.B.D.
9	CANOPY, METAL, PANEL_2 COLOR: DARK GREY MANUFACTURER: T.B.D.



gmb
ARCHITECTURE

770 BROWN'S LINE, TORONTO, ON M8W 3W2 - T(416) 252-5679 F(416) 252-9637

owner

RISE KERR PARTNERSHIP
LIMITED
RAM.DINARY@GMAIL.COM

project
100 DEANE AVENUE
OAKVILLE, ONTARIO

☐ drawing

scale	1:150
date	APR 2020
drawn	GS
chk'd	BB

A-8

project number 19.138

- EXTERIOR MATERIALS LEGEND

- ① MAGNETIC - STONE LINED
COLOR: LIMESTONE
MANUFACTURER: ARCSOFT - ADAR
- ② MAGNETIC - STONE PANELS
COLOR: LIMESTONE
MANUFACTURER: T.B.D.
- ③ MAGNETIC - BRICK LINED
COLOR: LIMESTONE
MANUFACTURER: T.B.D.
- ④ HOPE METAL SHEET
COLOR: VIOLET
MANUFACTURER: BELLARA
- ⑤ METAL - PANEL - 1
COLOR: ANODIZED ALUMINUM
MANUFACTURER: T.B.D.
- ⑥ METAL - PANEL - 2
COLOR: DARK BRONZE
MANUFACTURER: T.B.D.
- ⑦ PREFORMED ALUMINUM AND GLASS
COLOR: PINK
GLASS OPTICITY: CLEAR
MANUFACTURER: T.B.D.
- ⑧ PREFORMED ALUMINUM AND GLASS
GLASS OPTICITY:
FRAGE COLOR: DARK GRAY
GLASS OPTICITY: + 80%
MANUFACTURER: T.B.D.
- ⑨ CARBON METAL - PANEL - 2
COLOR: DARK GRAY



SCALE = 1:100




SCALE = 1:100



SCALE = 1:100



SCALE = 1:100

<input type="checkbox"/>		
<input type="checkbox"/>		OCT 27, 2023
		SPA RESUBMISSION
<input type="checkbox"/>	6	JUN 23, 2022
		RE-ASSUED FOR SPA PER CITY COMMENTS
<input type="checkbox"/>	5	DEC 8, 2021
		RE-ASSUED FOR SPA PER CITY COMMENTS
<input type="checkbox"/>	4	SEP 9, 2021
		ISSUED FOR MINOR VARIANCE
<input type="checkbox"/>	no.	date
		revision



gmb
ARCHITECTURE

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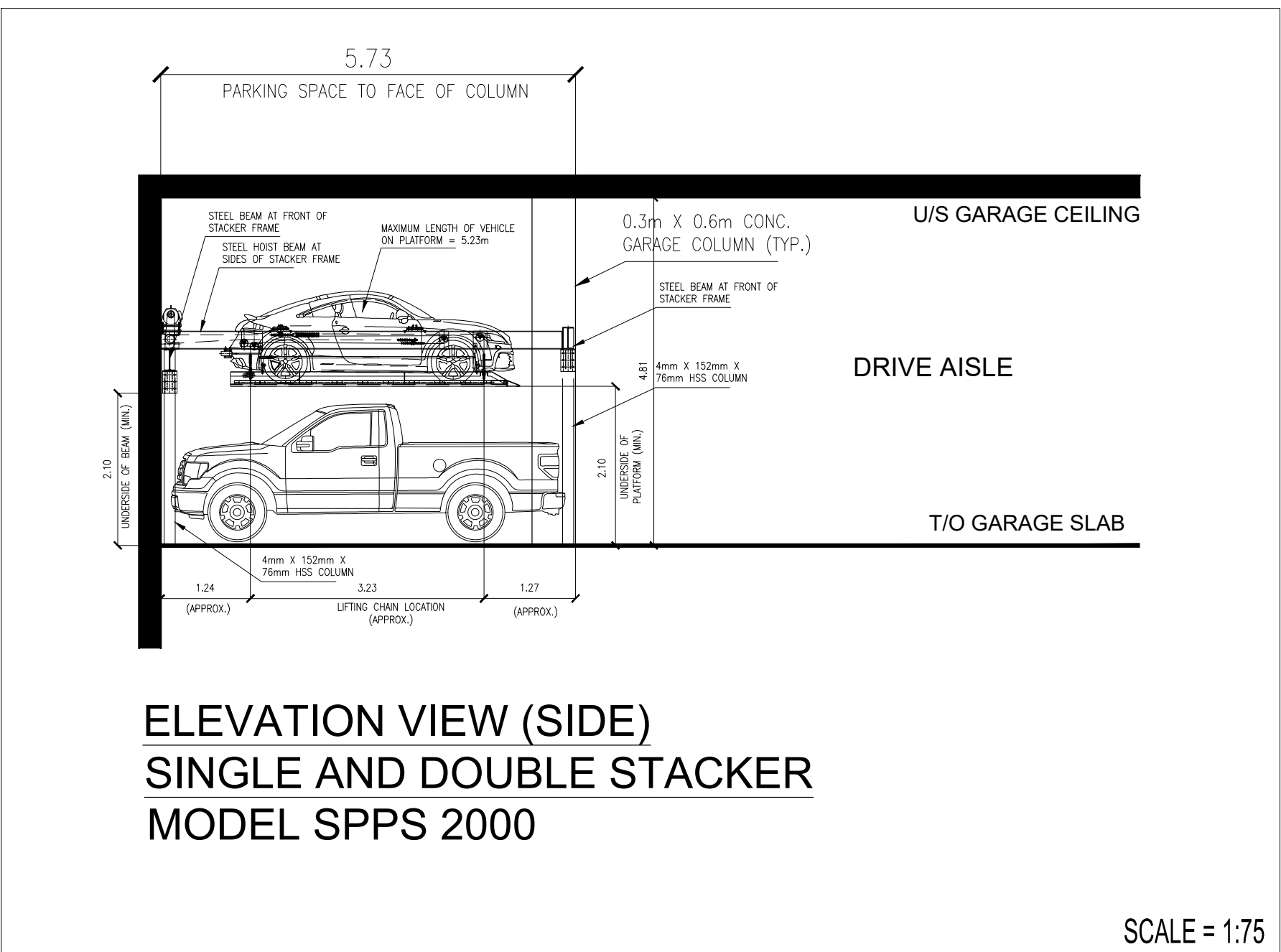
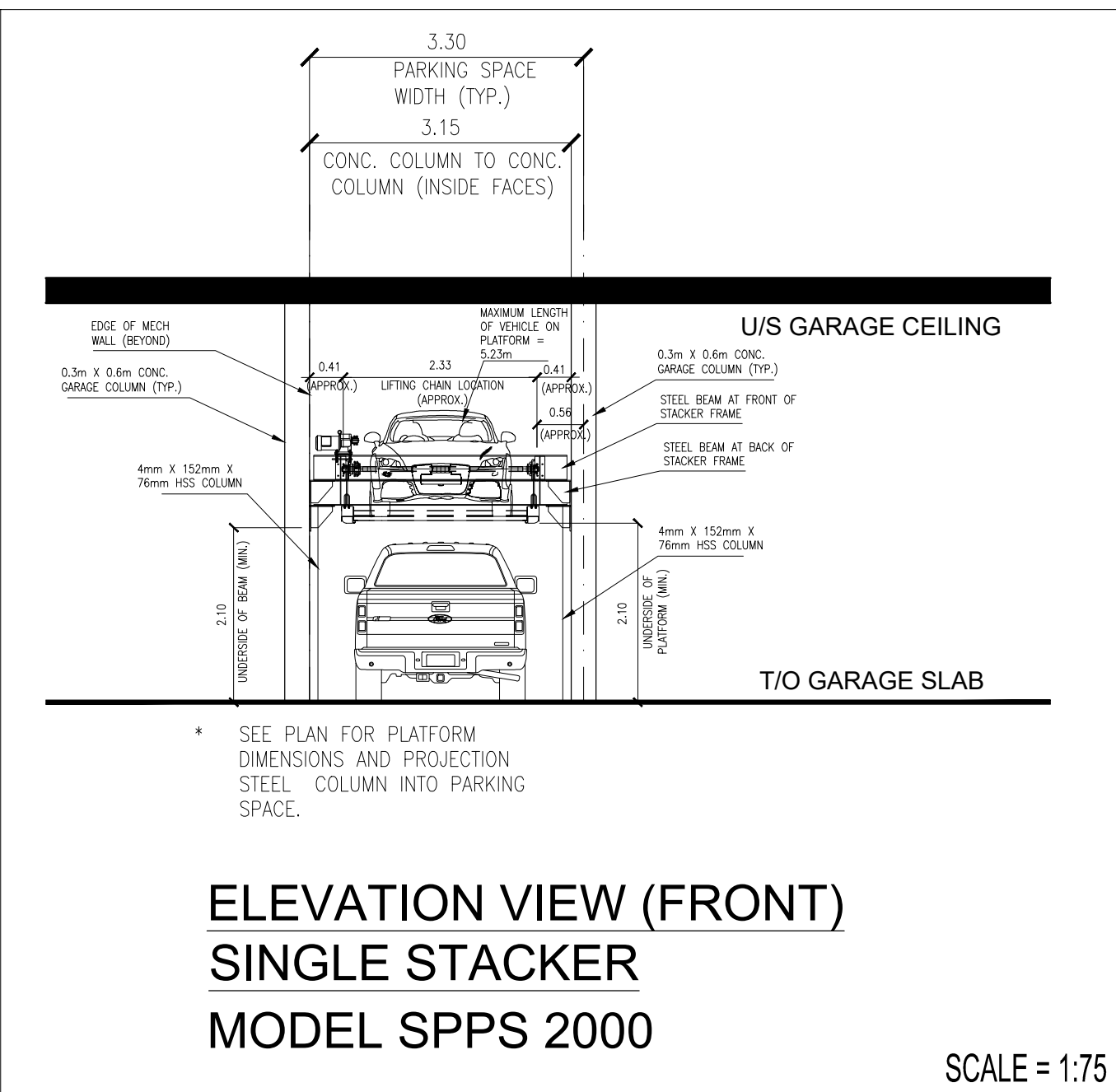
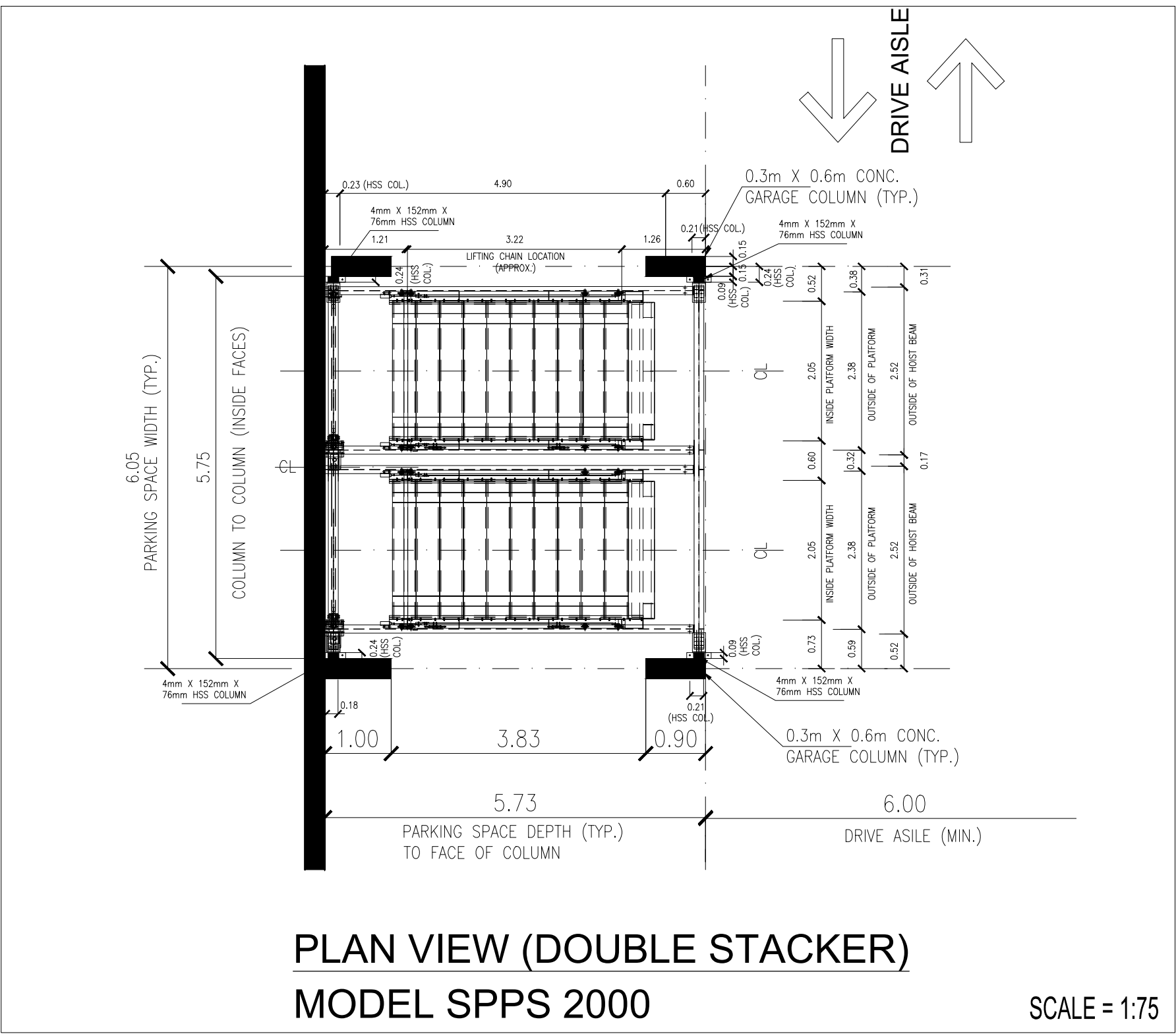
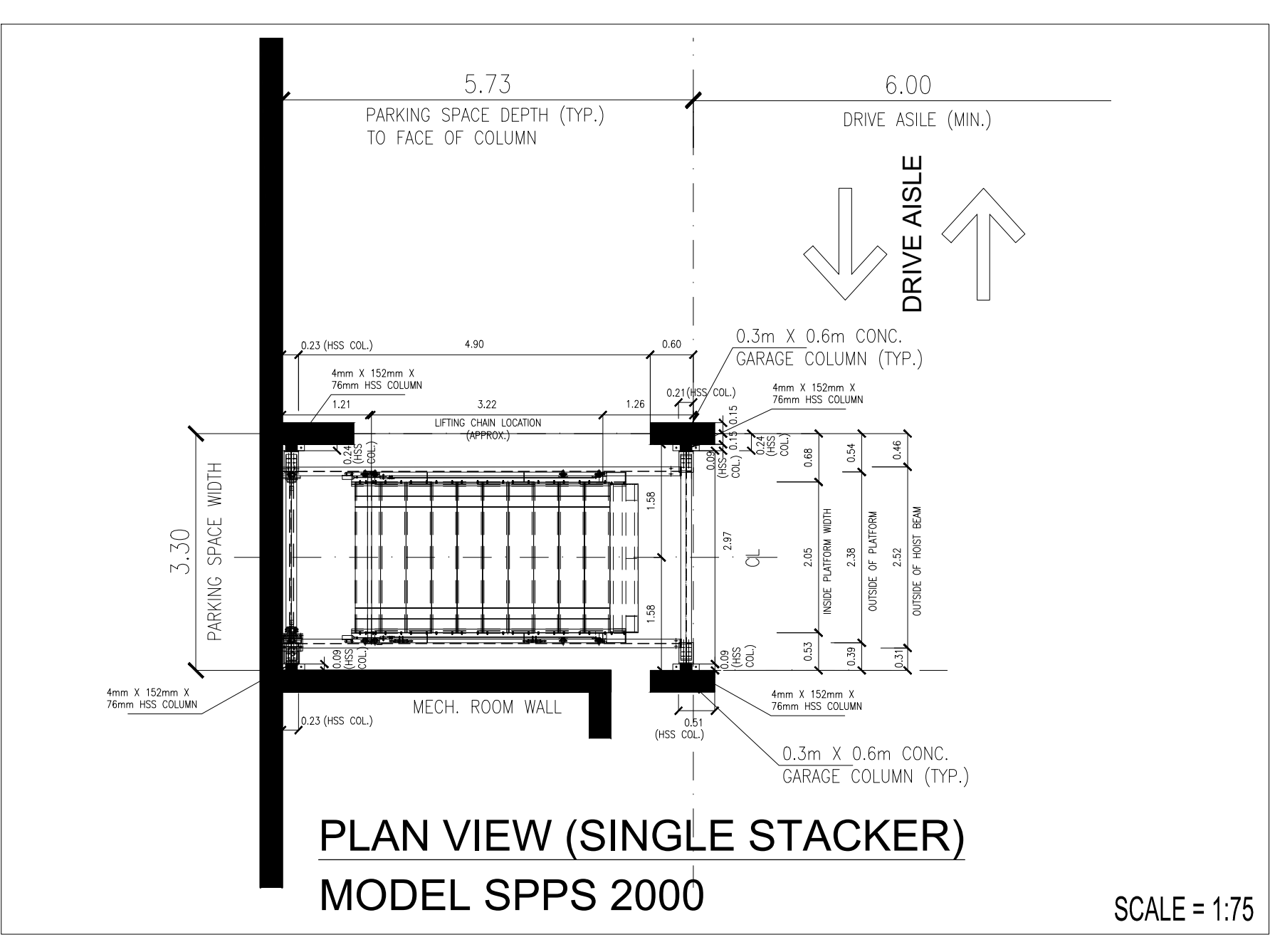
owner


RISE KERR PARTNERSHIP
LIMITED
RAM.DINARY@GMAIL.COM

project
100 DEANE AVENUE
OAKVILLE, ONTARIO

☐ drawing

scale	1:150	+	+	+
date	APR 2020	-	-	-
drawn	GS			
chk'd	BB	+	+	+
project number		+	19.138	



- | |  | OCT 27, 2023 |
|-----|---|------------------------------------|
| | | SPA RESUBMISSION |
| 6 | | JUN 23, 2022 |
| | | REASSUED FOR SPA PER CITY COMMENTS |
| 5 | | DEC 8, 2021 |
| | | REASSUED FOR SPA PER CITY COMMENTS |
| 4 | | SEP 9, 2021 |
| | | ISSUED FOR MINOR VARIANCE |
| no. | date | revision |



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owner

RISE KERR PARTNERSHIP
LIMITED
RAM.DINARY@GMAIL.COM

project
100 DEANE AVENUE
OAKVILLE, ONTARIO

drawing

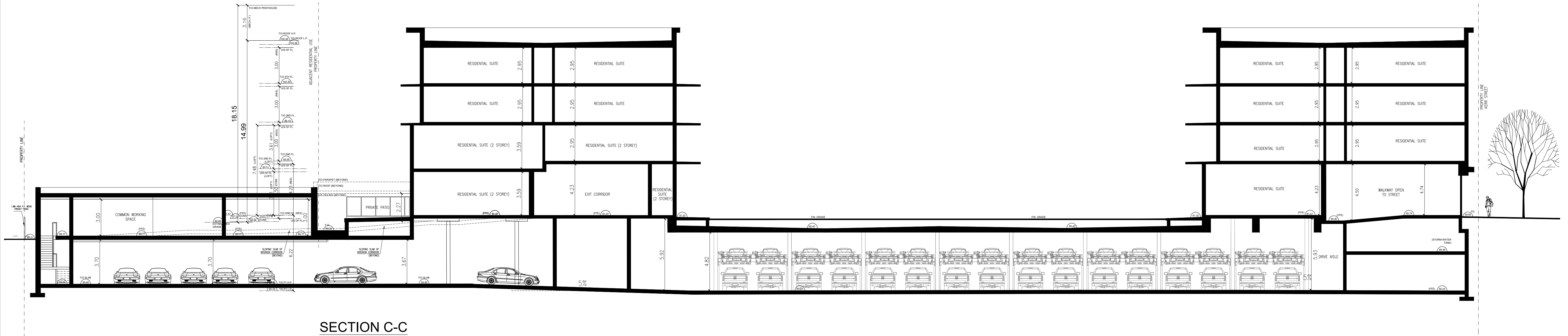
BUILDING SECTIONS
A-A & B-B
PARKING STACKER DETAILS

scale	1:150
date	APR 2020
drawn	GS
chk'd	BB

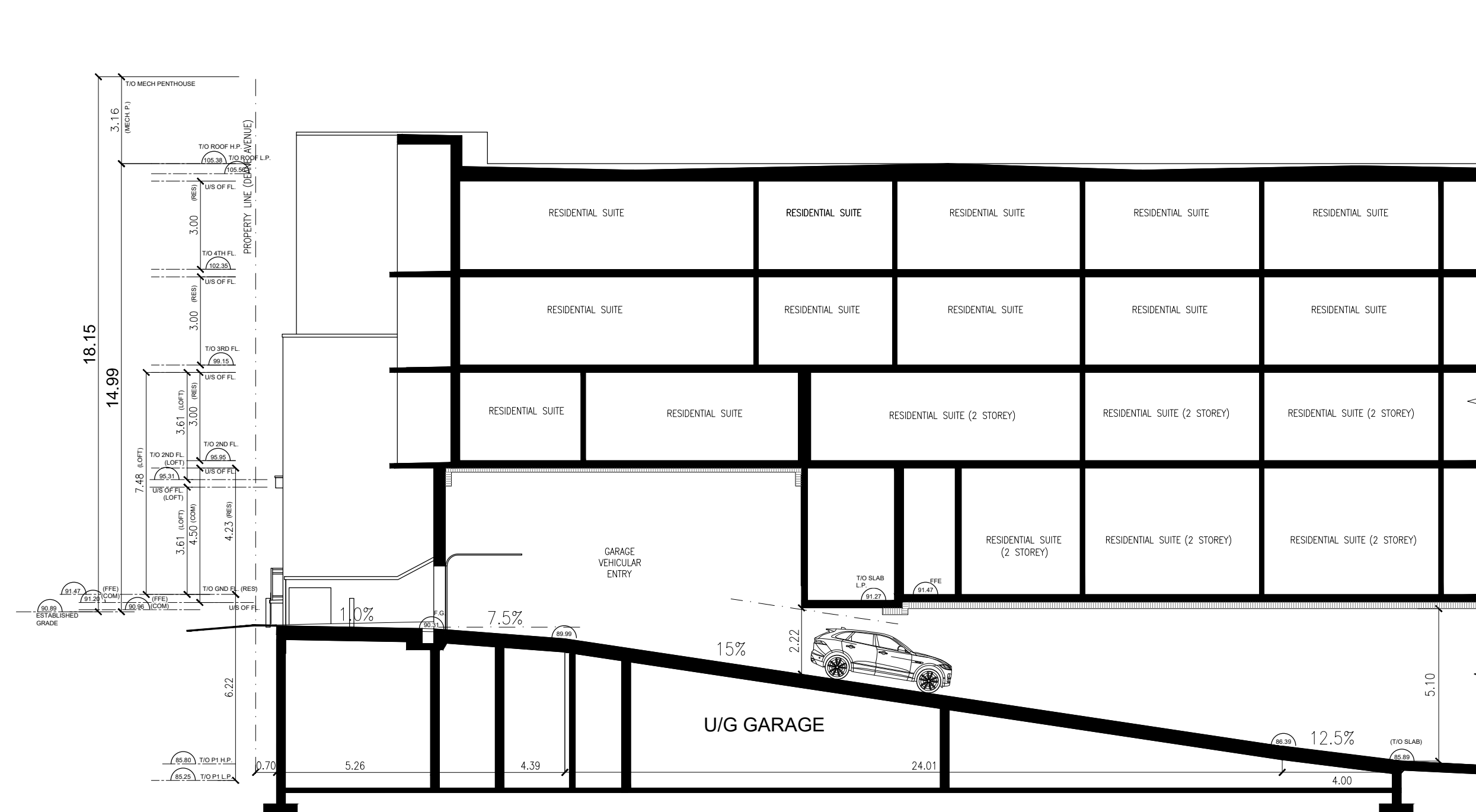
project number

19.138

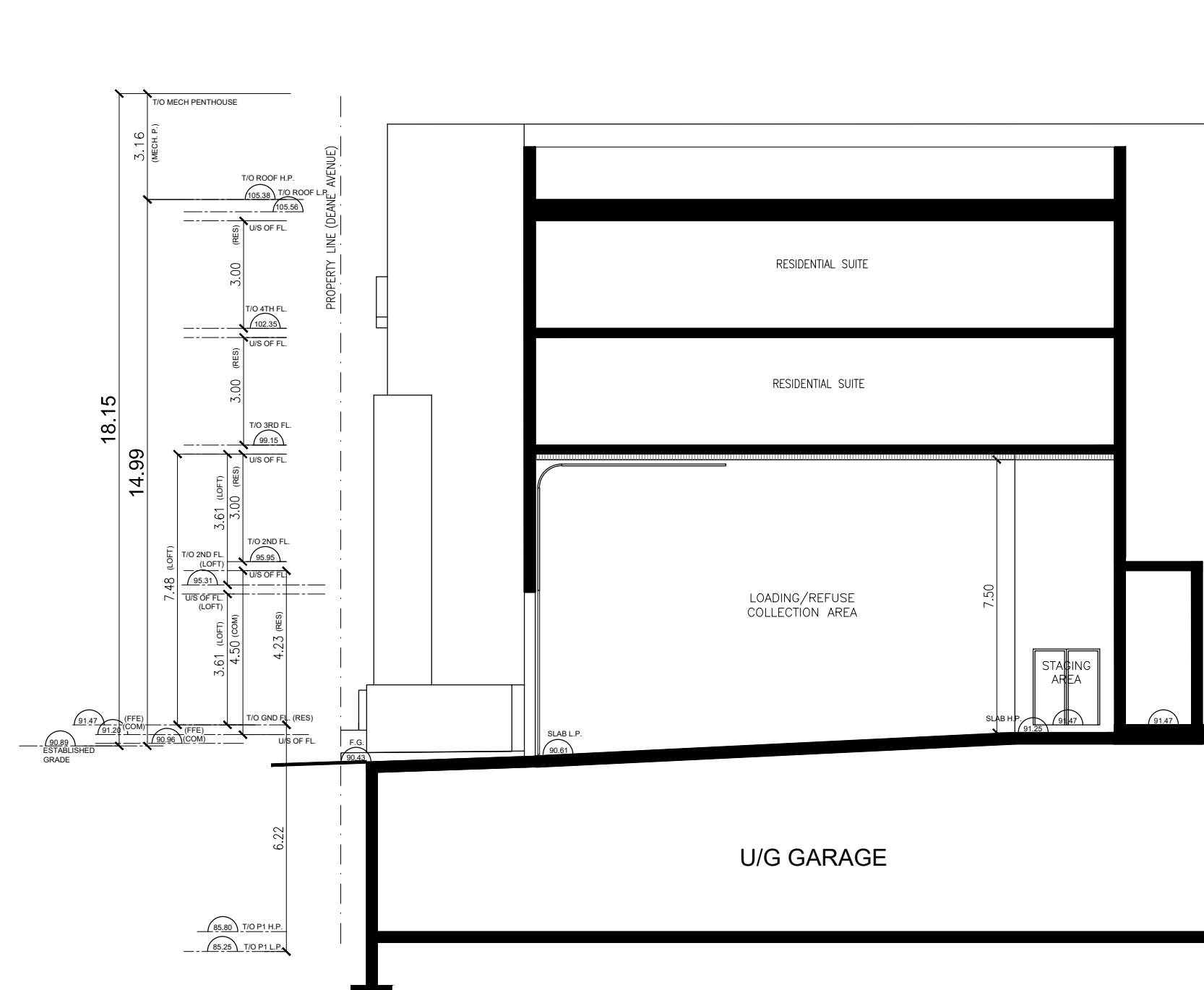
- All drawings are the property of the Architect and must be returned upon request.
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- **DO NOT SCALE DRAWINGS**



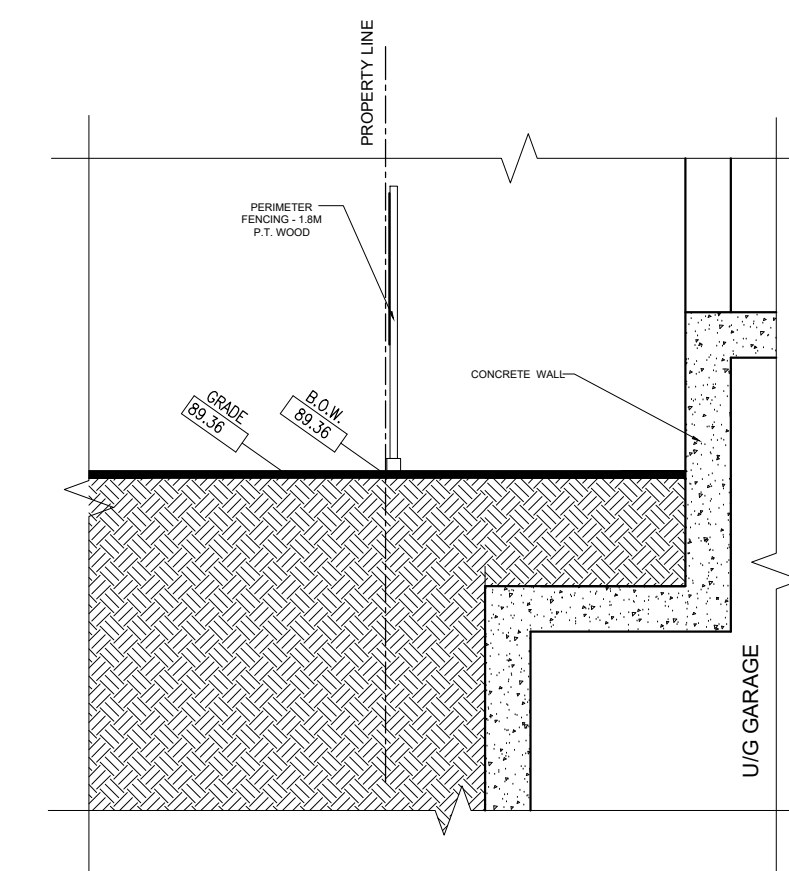
SECTION C-C



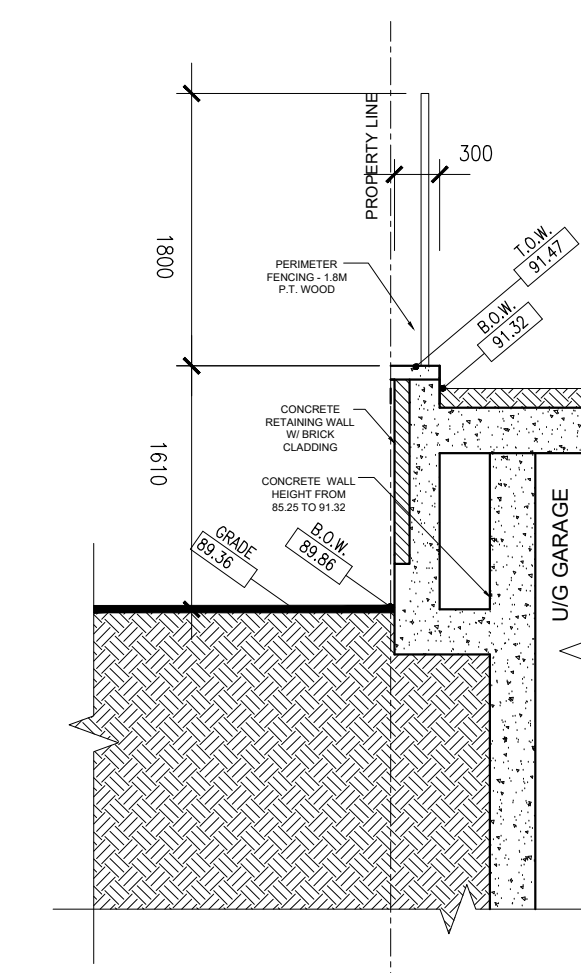
RAMP TO UNDER GROUND GARAGE
SECTION D-D



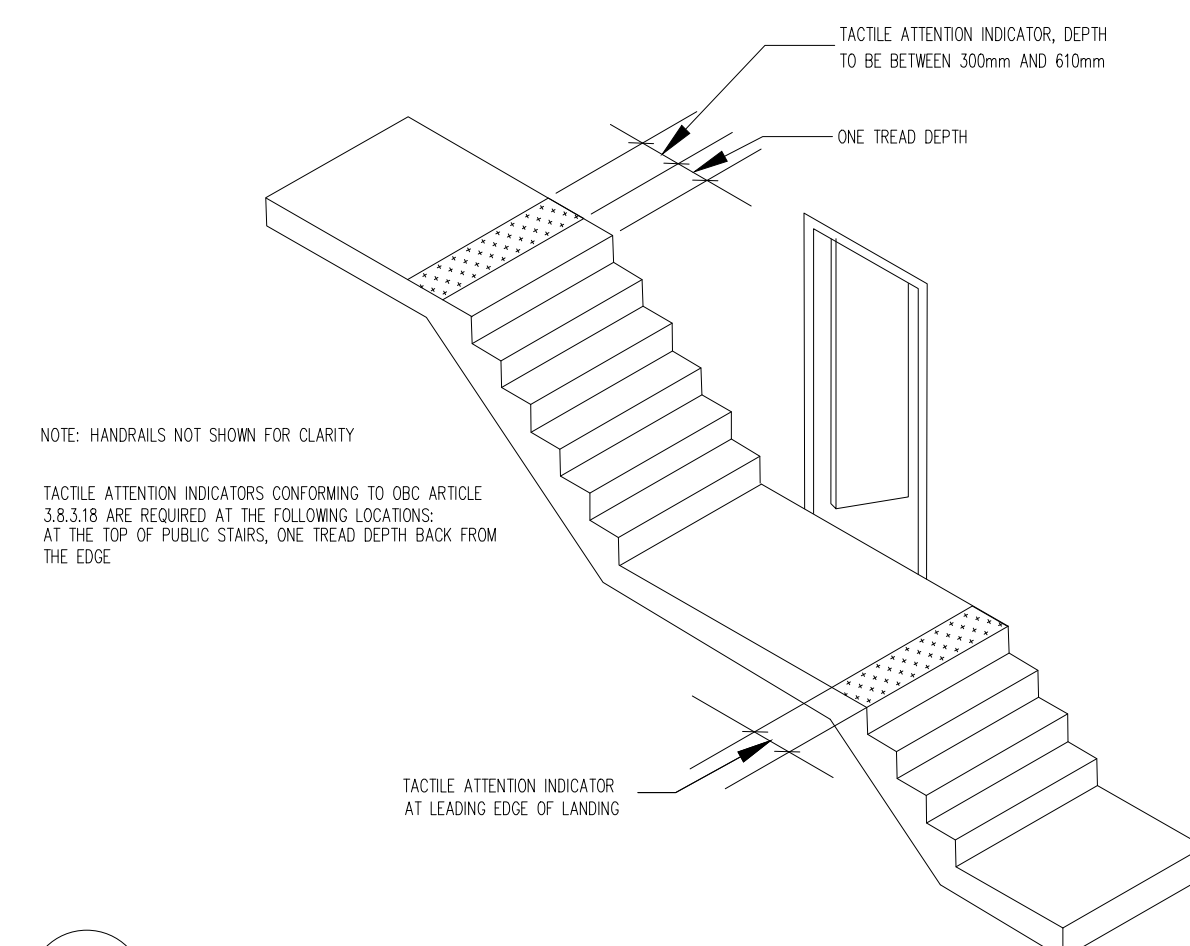
LOADING/REFUSE COLLECTION AREA
SECTION E-E



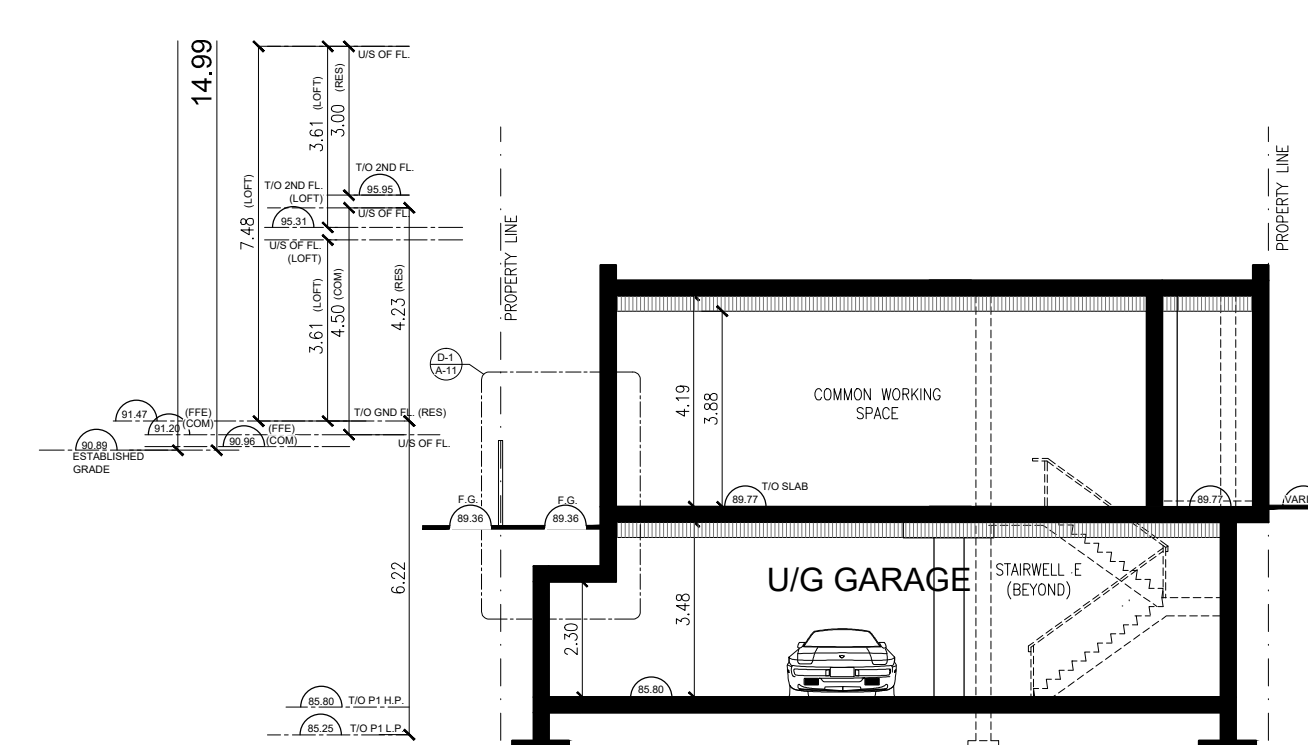
DETAIL D-1
SCALE 1:50



DETAIL D-2
SCALE 1:50



3	TACTILE ATTENTION INDICATOR
A-11	AT TOP OF EVERY PUBLIC STAIR



SECTION F-F

	no.	date	revision
<input type="checkbox"/>			
<input type="checkbox"/>		OCT 27, 2023	SPA RESUBMISSION
<input type="checkbox"/>	6	JUN 23, 2022	RE-ISSUED FOR SPA PER CITY COMMENTS
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<input type="checkbox"/>	4	SEP 9, 2021	ISSUED FOR MINOR VARIANCE



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owner

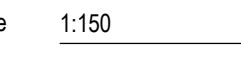
RISE KERR PARTNERSHIP
LIMITED

RAM.DINARY@GMAIL.COM

project
100 DEANE AVENUE
OAKVILLE, ONTARIO

☐ drawing

BUILDING SECTIONS
C-C, D-D, E-E & F-F.
DETAILS



scale 1:150

date APR 2020

drawn GS

chk'd BB

A-11

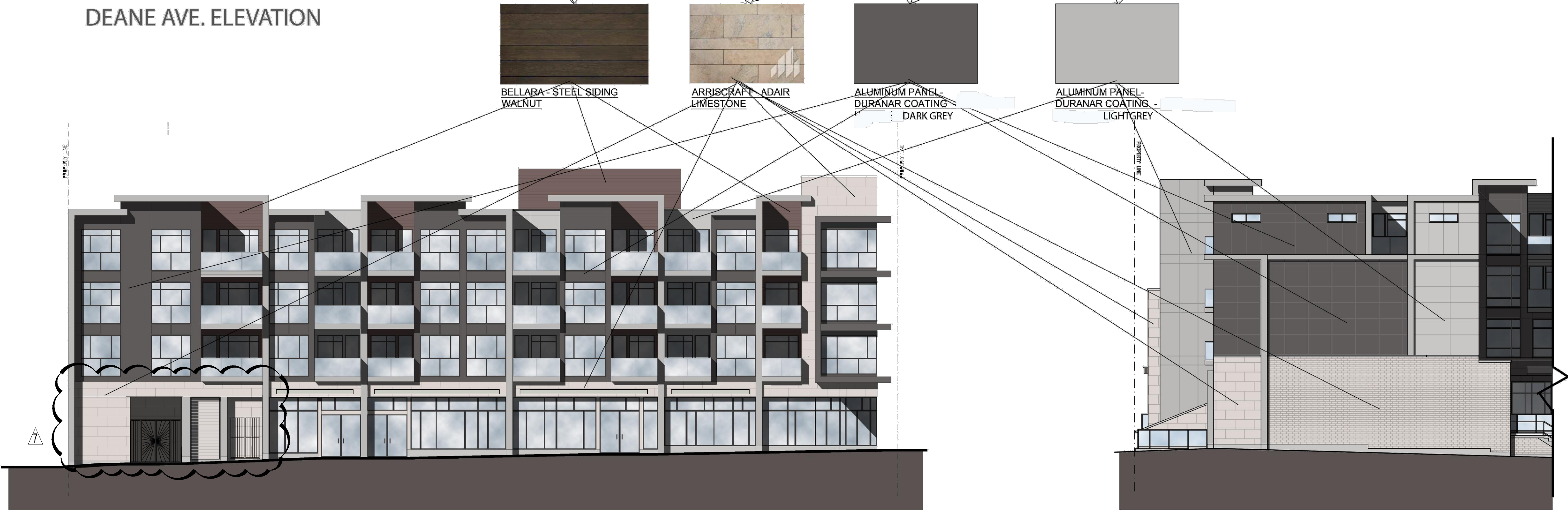
19.138

project number

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 The contractor and/or engineer shall verify u/s footing elevations and soil bearing capacity prior to excavation and the commencement of work.
 DO NOT SCALE DRAWINGS



DEANE AVE. ELEVATION



KERR ST. ELEVATION

WEST SIDE PART ELEVATION

		OCT 27, 2023	SPA RESUBMISSION
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no.		date	revision



770 BROWNS LINE, TORONTO, ON M9W 3N2 • T416) 252-5679 • F416) 252-9637

owner
 RAM DINARY
 RAM.DINARY@GMAIL.COM

project
 224 KERR STREET
 OAKVILLE, ONTARIO

drawing
 COLOURED ELEVATIONS

scale	1:150	A-12
date	APR 2020	
drawn	BB	
chk'd		
project number	19.138	

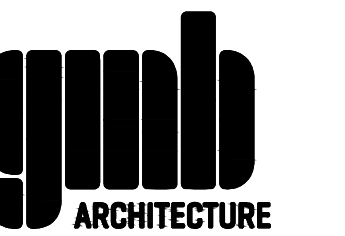
PROPERTY LINE

7

KERR ST. ELEVATION

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	no.	date	revision
	A	OCT 27, 2023	SPA RESUBMISSION
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RAM.DINARY@GMAIL.COM

project
224 KERR STREET
OAKVILLE, ONTARIO

☐ drawing

COLOURED ELEVATIONS
KERR ST. SOUTH PART

scale

1:50

date

APR 2020

drawn

BB

chk'd

A-12a

project number

19.138



PROPERTY LINE

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- DO NOT SCALE DRAWINGS

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no.	date	revision



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owner
RAM DINARY
RAM.DINARY@GMAIL.COM

project
224 KERR STREET
OAKVILLE, ONTARIO

drawing
COLOURED ELEVATIONS
KERR ST. NORTH PART


scale 1:50
date APR 2020
drawn BB
chk'd
project number 19.138


A-12b

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- **DO NOT SCALE DRAWINGS**



DEANE AVE. ELEVATION

<input type="checkbox"/>		
<input type="checkbox"/>		OCT 27, 2023 SPA RESUBMISSION
<input type="checkbox"/>	6	JUN 23, 2022 REISSUED FOR SPA PER CITY COMMENTS
<input type="checkbox"/>	5	DEC 8, 2021 RE-ASSUED FOR SPA PER CITY COMMENTS
<input type="checkbox"/>	4	SEP 9, 2021 ISSUED FOR MINOR VARIANCE
<input type="checkbox"/>	no.	date revision



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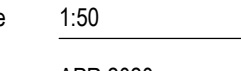
☐ owner

RAM DINARY
RAM.DINARY@GMAIL.COM

project
224 KERR STREET
OAKVILLE, ONTARIO

drawing

COLOURED ELEVATIONS
DEANE AVE. EAST PART

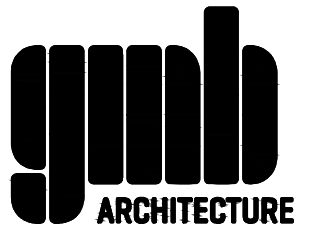


A screenshot of a terminal window. On the left, there is a vertical list of labels: 'scale', 'date', 'drawn', and 'chk'd'. Each label is followed by a horizontal input field. The 'scale' field contains '1:50', the 'date' field contains 'APR 2020', the 'drawn' field contains 'BB', and the 'chk'd' field is empty. To the right of these fields, the large alphanumeric string 'A-12c' is displayed. Above and below this string are three sets of small symbols: a plus sign, a vertical bar, and a minus sign. At the bottom of the terminal, the text 'project number' is followed by the number '19.138'.

All drawings are the property of the Architect and must be returned upon request.
Contractor shall check all dimensions and report any discrepancies to the Architect before proceeding with the work.
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DO NOT SCALE DRAWINGS



<input type="checkbox"/>			
<input type="checkbox"/>		OCT 27, 2023	SPA RESUBMISSION
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<input type="checkbox"/>	no.	date	revision



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<input type="checkbox"/>	owner
	RAM DINARY RAM.DINARY@GMAIL.COM

<input checked="" type="checkbox"/>	project
	224 KERR STREET OAKVILLE, ONTARIO


<input type="checkbox"/>	drawing
	COLOURED ELEVATIONS DEANE AVE. MID PART

<input checked="" type="checkbox"/>	scale	1:50	
<input type="checkbox"/>	date	APR 2020	
<input type="checkbox"/>	drawn	BB	
<input type="checkbox"/>	chk'd		
<input checked="" type="checkbox"/>	project number	19.138	

A-12d

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 DO NOT SCALE DRAWINGS

PROPERTY LINE

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no.	date	revision



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owner
 RAM DINARY
 RAM.DINARY@GMAIL.COM

project
 224 KERR STREET
 OAKVILLE, ONTARIO

drawing
 COLOURED ELEVATIONS
 DEANE AVE. EAST PART

scale	1:50	A-12e
date	APR 2020	
drawn	BB	
chk'd		
project number	19.138	