

**drawing legend**

- LANDSCAPE AREA
- HEAVY DUTY PAVING
- LIGHT DUTY PAVING
- CONCRETE SIDEWALK
- FLUSH CURB WITH TACTILE INDICATOR
- FIRE ACCESS ROUTE
- PAINTED LINE STRIPPING
- TYPICAL PARKING STALL  
-2.7m x 5.7m (UNLESS NOTED OTHERWISE)
- TYPE A BARRIER-FREE STALL  
-3.9m x 5.7m
- TYPE B BARRIER-FREE STALL  
-2.7m x 5.7m
- PARKING COUNT
- EXISTING PARKING COUNT
- BARRIER FREE CURB RAMP
- PAINTED CROSSWALK
- BICYCLE PARKING WITH CLEARANCE
- PRINCIPAL ENTRANCE
- SECONDARY ACCESS / EXIT
- AT GRADE DRIVE-IN OVERHEAD DOOR
- DOCK LEVEL OVERHEAD DOOR
- PROPOSED GRADES
- EXISTING GRADES
- SINGLE HEAD LIGHT STANDARD ON CONCRETE BASE (REFER TO ELECTRICAL)
- WALL PACK LIGHT FIXTURE (REFER TO ELECTRICAL)

**drawing notes**

- 01 OUTLINE OF BUILDING CANOPY
- 02 OUTLINE OF FACE OF BUILDING ABOVE
- 03 OUTLINE OF MECHANICAL / SPRINKLER ROOM
- 04 OUTLINE OF ELECTRICAL ROOM
- 05 NEW PAD MOUNTED ELECTRICAL TRANSFORMER WITH STEEL BOLLARD PROTECTION - REFER TO ELECTRICAL
- 06 EXISTING ELECTRICAL TRANSFORMER AND PAD
- 07 FIRE DEPARTMENT CONNECTION - REFER TO MECHANICAL
- 08 NEW FIRE HYDRANT - REFER TO CIVIL
- 09 EXISTING FIRE HYDRANT - REFER TO CIVIL
- 10 NEW TRAFFIC LINE PAINTING
- 11 OUTLINE OF EXTENTS OF EXISTING CURB TO BE REMOVED
- 12 DOUBLE BICYCLE RACKS - 1.2m x 3.6m TYPICAL
- 13 OUTLINES TREE PROTECTION ZONE - REFER TO LANDSCAPE

**general notes**

1. ALL DIMENSIONS ARE IN MILLIMETERS UNLESS NOTED OTHERWISE.
2. REFER TO DRAWINGS AND REPORTS PREPARED BY:
  - SITE SURVEY BY:
  - SITE SERVICES AND GRADING BY:
  - LANDSCAPING BY:
  - ELECTRICAL SERVICES BY:
3. UNLESS NOTED OTHERWISE, CURB RADI ARE 1000 MM.
4. REFUSE STORAGE TO BE INTERNAL AND WILL BE PART OF TENANT FIT-UP SCOPE.
5. THERE SHALL BE NO OUTDOOR STORAGE.
6. FIRE ROUTE SHALL BE A MINIMUM OF 6.0M CLEAR WIDTH WITH A CENTERLINE TURNING RADIUS NO LESS THAN 12.0M IN ACCORDANCE W. O.B.C. 3.2.5.6.(1)(a) AND (b).
7. FIRE ROUTE SHALL HAVE A CHANGE OF GRADIENT NOT MORE THAN 1 IN 12.5 OVER A MINIMUM DISTANCE OF 15M IN ACCORDANCE WITH O.B.C. 3.2.5.6.(1)(c).
8. FIRE ROUTE SHALL BE DESIGNED TO SUPPORT FIRE FIGHTING EQUIPMENT IN ACCORDANCE WITH O.B.C. 3.2.5.6.(1)(e).
9. FIRE ROUTE SHALL BE DESIGNED TO SUPPORT FIRE FIGHTING EQUIPMENT.
10. PAVEMENT SHALL BE LIGHT DUTY ASPHALT UNLESS NOTED OTHERWISE.
11. PAVEMENT MARKINGS SHALL BE "WHITE" FOR VEHICULAR STALLS AND "YELLOW" FOR STRIPPED AREAS.
12. BARRIER-FREE PAVEMENT MARKINGS SHALL MEET TOWN OF OAKVILLE STANDARDS.
13. TRAFFIC CONTROL SIGNAGE & PAVEMENT MARKINGS SHALL MEET TOWN OF OAKVILLE STANDARDS.
14. ILLUMINATION SHALL BE DIRECTED DOWN AND AWAY FROM ADJACENT PROPERTIES.
15. SIGNAGE INDICATED SHALL BE USED FOR SITE PLAN PURPOSES ONLY AND IS NOT INTENDED TO INDICATE CONFORMANCE WITH THE SIGN BY-LAW.
16. EXPOSED CONCRETE WALLS AND FOUNDATIONS SHALL BE FREE OF DEFECTS AND PROVIDED WITH A SMOOTH SANDBLAST FINISH.
17. BUILDING PERMIT ISSUANCE SHALL BE SUBJECT TO THE BUILDING PERMIT DRAWINGS NOT BEING IN CONTRAVENTION WITH THESE APPROVED PLANS AND DRAWINGS INCLUDING, BUT NOT LIMITED TO THE EXTERIOR DESIGN OF THE BUILDING AND EXTERIOR BUILDING MATERIALS.

**PARKING CALCULATIONS**

**PARKING REQUIRED**  
TOWN OF OAKVILLE ZONING BY-LAW 2014-14 PART 5

2526 SPEERS RD MINIMUM PARKING SPACES REQUIRED (TABLE 5.2.1. - WAREHOUSING)	= 1 PER 100 S.M. NET FLOOR AREA = 1,856.89 S.M. / 100 S.M. = 18.57 = 19 SPACES
2530 SPEERS RD MINIMUM PARKING SPACES REQUIRED (TABLE 5.2.1. - WAREHOUSING)	= 1 PER 100 S.M. NET FLOOR AREA = 2,930.74 S.M. / 100 S.M. = 29.31 = 30 SPACES
2538 SPEERS RD MINIMUM PARKING SPACES REQUIRED (TABLE 5.2.1. - WAREHOUSING)	= 1 PER 100 S.M. NET FLOOR AREA = 2,930.74 S.M. / 100 S.M. = 29.31 = 30 SPACES
549 BRONTE RD MINIMUM PARKING SPACES REQUIRED (TABLE 5.2.1. - RETAIL STORE)	= 1 PER 18 S.M. NET FLOOR AREA = 717.62 S.M. / 18 S.M. = 39.87 = 40 SPACES
NEW BUILDING A MINIMUM PARKING SPACES REQUIRED (TABLE 5.2.1. - WAREHOUSING)	= 1 PER 100 S.M. NET FLOOR AREA = 2,862.24 S.M. / 100 S.M. = 28.62 = 29 SPACES
NEW BUILDING B MINIMUM PARKING SPACES REQUIRED (TABLE 5.2.1. - WAREHOUSING)	= 1 PER 100 S.M. NET FLOOR AREA = 864.45 S.M. / 100 S.M. = 8.64 = 9 SPACES
<b>TOTAL PARKING REQUIRED</b>	<b>= 157 SPACES</b>

**PARKING PROVIDED**

2526 SPEERS RD	50 SPACES (EXISTING)
2530 SPEERS RD	45 SPACES (EXISTING)
2538 SPEERS RD	35 SPACES (EXISTING)
549 BRONTE RD	23 SPACES (EXISTING)
NEW BUILDING A	35 SPACES (EXISTING)
NEW BUILDING B	14 SPACES
<b>TOTAL PARKING PROVIDED</b>	<b>= 202 SPACES</b>

**BARRIER-FREE PARKING SPACES REQUIRED (TABLE 5.3.1.)**

= 2 +2% OF TOTAL SPACES ON THE LOT	= 6 BARRIER FREE SPACES
<b>TOTAL STANDARD PARKING PROVIDED</b>	<b>= 194 SPACES</b>
<b>TOTAL BARRIER-FREE PARKING PROVIDED</b>	<b>= 8 SPACES</b>



**1 context plan**  
SCALE n.t.s.

**SITE STATISTICS**

ZONING: 2526, 2530, 2538 SPEERS ROAD EMPLOYMENT ZONE E1 - OFFICE EMPLOYMENT  
NEW BUILDINGS A, B EMPLOYMENT ZONE E4 - BUSINESS COMMERCIAL  
549 BRONTE ROAD

EMPLOYMENT ZONE E1 - OFFICE EMPLOYMENT  
EMPLOYMENT ZONE E4 - BUSINESS COMMERCIAL

ZONING BY-LAW NO. 2014-14  
(THE CORPORATION OF THE TOWN OF OAKVILLE)

TOTAL SITE AREA:	31,832.67 S.M. 3.18 HECTARES	342,644.00 S.F. 7.87 ACRES
LOT FRONTAGE: (SPEERS ROAD)	226.07 M / 741.70 FT	

**LOT AND BUILDING SETBACK REQUIREMENTS**  
TOWN OF OAKVILLE ZONING BY-LAW 2014-014

MINIMUM AND MAXIMUM SETBACK REQUIREMENTS	REQUIRED	PROVIDED
MINIMUM LOT FRONTAGE	30 M	226.07 M
MINIMUM FRONT YARD (SPEERS RD)	3.0 M	15.4 M (EXISTING) 16.4 M (BLDG A)
HIGHWAY CORRIDOR	N/A	N/A
MAXIMUM FRONT YARD	17.5 M (ZONE E1)	16.5
MINIMUM INTERIOR SIDE YARD (EAST)	3.0 M	16.1 M
MINIMUM INTERIOR SIDE YARD (WEST)	3.0 M	7.9 M (EXISTING)
MINIMUM FLANKAGE YARD	N/A	N/A
MINIMUM REAR YARD ABUTTING RESIDENTIAL	15.0 M	15.3 M (EXISTING) 15.5 M (BLDG B)
MINIMUM LANDSCAPE BUFFER (FRONT)	3.0 M	3.0 M
MINIMUM LANDSCAPE BUFFER (SIDE YARD)	3.0 M	3.0 M
MINIMUM LANDSCAPE BUFFER (REAR YARD)	7.5 M	7.5 M
MINIMUM LANDSCAPE COVERAGE	10%	15.4%

**BUILDING CLASSIFICATION - NEW BUILDING A**

CLASSIFIED UNDER ONTARIO REGULATION 330/12  
O.B.C. 3.2.2.72; GROUP F, DIVISION 2, UP TO 2 STOREYS, SPRINKLERED  
(PROPOSED BUILDING AREA: 2,862.24)

**EFFECTIVE RESTRICTIONS**

1. A BUILDING CLASSIFIED AS GROUP F IS PERMITTED TO CONFORM TO SENTENCE (2) PROVIDED,
  - a. THE BUILDING IS SPRINKLERED,
  - b. IT IS NOT MORE THAN 2 STOREYS IN BUILDING HEIGHT, AND
  - c. IT HAS A BUILDING AREA NOT MORE THAN (i) 4,500 S.M. IF 1 STOREY IN BUILDING HEIGHT
2. THE BUILDING REFERRED TO IN SENTENCE (1) IS PERMITTED TO BE OF COMBUSTIBLE CONSTRUCTION OR NONCOMBUSTIBLE CONSTRUCTION USED SINGLY OR IN COMBINATION, AND,
  - a. FLOOR ASSEMBLIES SHALL BE FIRE SEPARATIONS AND, IF OF COMBUSTIBLE CONSTRUCTION, SHALL HAVE A FIRE-RESISTANCE RATING NOT LESS THAN 45 MIN.
  - b. LOADBEARING WALLS, COLUMNS AND ARCHES SUPPORTING AN ASSEMBLY REQUIRED TO HAVE A FIRE RESISTANCE RATING SHALL (i) HAVE A FIRE RESISTANCE RATING NOT LESS THAN 45MIN, OR (ii) BE OF NON-COMBUSTIBLE CONSTRUCTION

**BUILDING CLASSIFICATION - NEW BUILDING B**

CLASSIFIED UNDER ONTARIO REGULATION 330/12  
O.B.C. 3.2.2.72; GROUP F, DIVISION 2, UP TO 2 STOREYS, SPRINKLERED  
(PROPOSED BUILDING AREA: 864.45)

**EFFECTIVE RESTRICTIONS**

1. A BUILDING CLASSIFIED AS GROUP F IS PERMITTED TO CONFORM TO SENTENCE (2) PROVIDED,
  - a. THE BUILDING IS SPRINKLERED,
  - b. IT IS NOT MORE THAN 2 STOREYS IN BUILDING HEIGHT, AND
  - c. IT HAS A BUILDING AREA NOT MORE THAN (i) 4,500 S.M. IF 1 STOREY IN BUILDING HEIGHT
2. THE BUILDING REFERRED TO IN SENTENCE (1) IS PERMITTED TO BE OF COMBUSTIBLE CONSTRUCTION OR NONCOMBUSTIBLE CONSTRUCTION USED SINGLY OR IN COMBINATION, AND,
  - a. FLOOR ASSEMBLIES SHALL BE FIRE SEPARATIONS AND, IF OF COMBUSTIBLE CONSTRUCTION, SHALL HAVE A FIRE-RESISTANCE RATING NOT LESS THAN 45 MIN.
  - b. LOADBEARING WALLS, COLUMNS AND ARCHES SUPPORTING AN ASSEMBLY REQUIRED TO HAVE A FIRE RESISTANCE RATING SHALL (i) HAVE A FIRE RESISTANCE RATING NOT LESS THAN 45MIN, OR (ii) BE OF NON-COMBUSTIBLE CONSTRUCTION

**GROSS FLOOR AREAS**

**EXISTING GROSS FLOOR AREAS**

2526 SPEERS ROAD	1,856.89 S.M.	19,987.42 S.F.
2530 SPEERS ROAD	2,930.74 S.M.	31,546.21 S.F.
2538 SPEERS ROAD	2,930.74 S.M.	31,546.21 S.F.
549 BRONTE ROAD	717.62 S.M.	7,724.40 S.F.
<b>TOTAL EXISTING GROSS FLOOR AREA</b>	<b>8,435.99 S.M.</b>	<b>90,804.24 S.F.</b>

**NEW GROSS FLOOR AREAS**

NEW BUILDING A	2,862.24 S.M.	30,808.88 S.F.
NEW BUILDING B	864.45 S.M.	9,304.83 S.F.
<b>TOTAL NEW GROSS FLOOR AREA</b>	<b>3,726.69 S.M.</b>	<b>40,113.76 S.F.</b>

**TOTAL GROSS FLOOR AREA**

EXISTING	8,435.99 S.M.	90,804.24 S.F.
NEW	3,726.69 S.M.	40,113.76 S.F.
<b>TOTAL NEW GROSS FLOOR AREA</b>	<b>12,162.68 S.M.</b>	<b>130,918.00 S.F.</b>

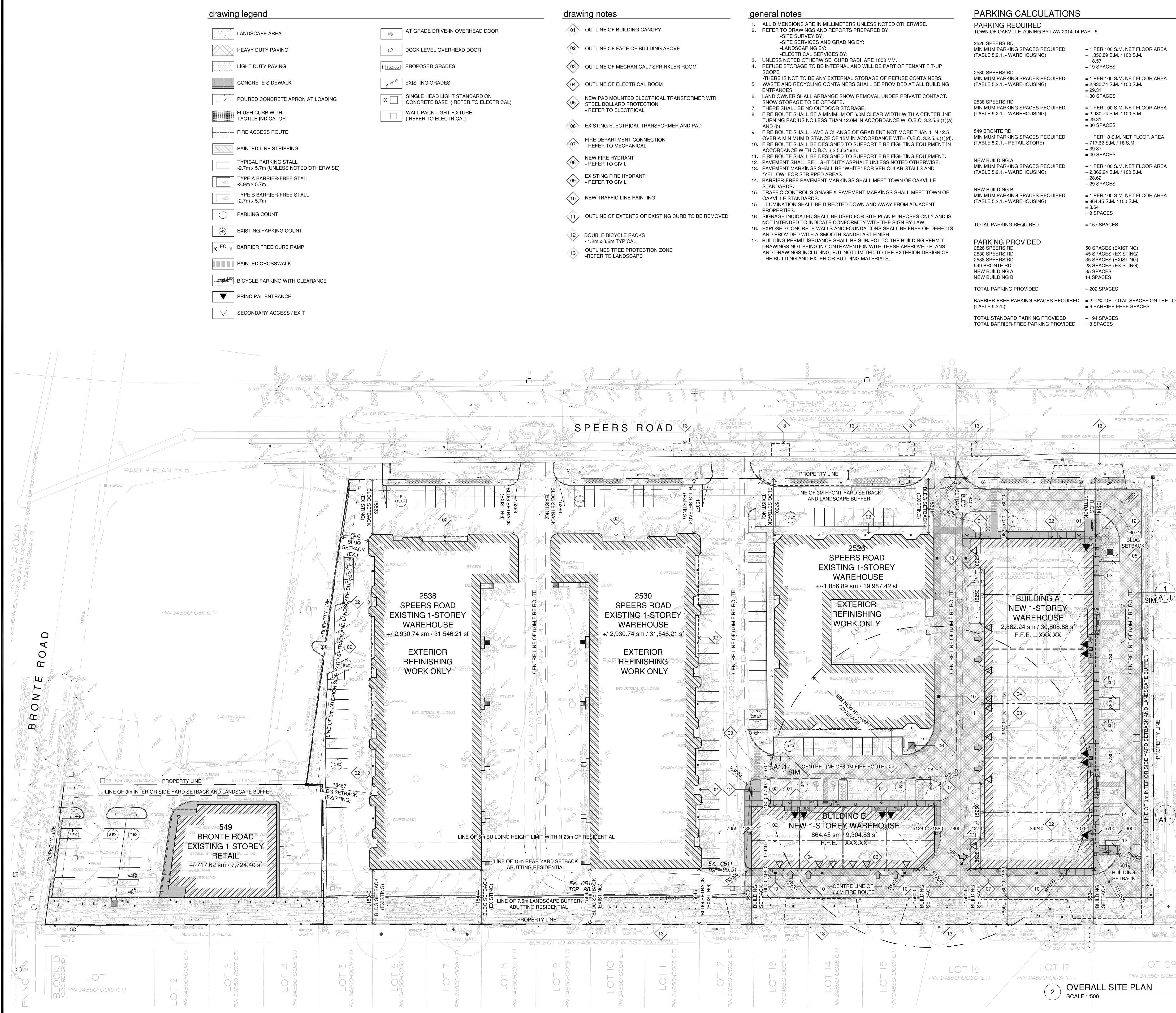
**DENSITY AND COVERAGE CALCULATIONS**

BUILDING AREA / SITE AREA:	12,162.68 S.M. / 31,832.67 S.M.	38.21 %
PAVED AREA / SITE AREA:	14,760.58 S.M. / 31,832.67 S.M.	46.37 %
LANDSCAPED AREA / SITE AREA:	4,900.41 S.M. / 31,832.67 S.M.	15.42 %
<b>TOTAL COVERAGE:</b>	<b>100%</b>	

**BICYCLE PARKING**

TOWN OF OAKVILLE ZONING BY-LAW 2014-14 PART 5

TOTAL NET FLOOR AREA	= 12,162.68 S.M.
<b>BICYCLE PARKING SPACES REQUIRED (TABLE 5.4.1. - EMPLOYMENT USES)</b>	<b>= 2 x 0.25 x 1,000 S.M. NET FLOOR AREA = 2 x 0.25 x 12,162.68 S.M. / 1,000 S.M. = 5.04</b>
<b>TOTAL BICYCLE PARKING PROVIDED:</b>	<b>= 6 SPACES</b>



**2 OVERALL SITE PLAN**  
SCALE 1:500

**Pearce McCluskey Architects**  
2203 Durwin Drive - Mississauga, Ontario • L5L 1X2  
www.pmaarchitects.ca 1.905.607.2444

ONTARIO ASSOCIATION OF ARCHITECTS  
KEY: RAYMOND MCCLUSKEY  
LICENCE 5612

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detail number key to details  
sheet number

**SOUTHDOWN BUILDERS LIMITED**

OWNER: SOUTH DOWN BUILDERS LIMITED  
2341 Avenue Road  
Toronto | Ontario | M5M 4A5

APPLICANT:  
Site Plan Application File No.  
Town of Oakville - SFA-2022-XXXX

Issued for Site Plan Approval 26 July 2022

**Speers Road Redevelopment**

2538, 2530, 2526 Speers Road  
Oakville, Ontario

**OVERALL SITE PLAN**

Project Number:  
**21067**

Drawn By: AK  
Checked By: AK  
Date: MAY 2022  
Scale: 1:500  
Sheet Number:

**A1.0**