

**REGISTERED PLAN No. M-2
PART OF BLOCK 7
PLAN 20M-492, PART 1
TOWN OF OAKVILLE
REGIONAL MUNICIPALITY OF HALTON**

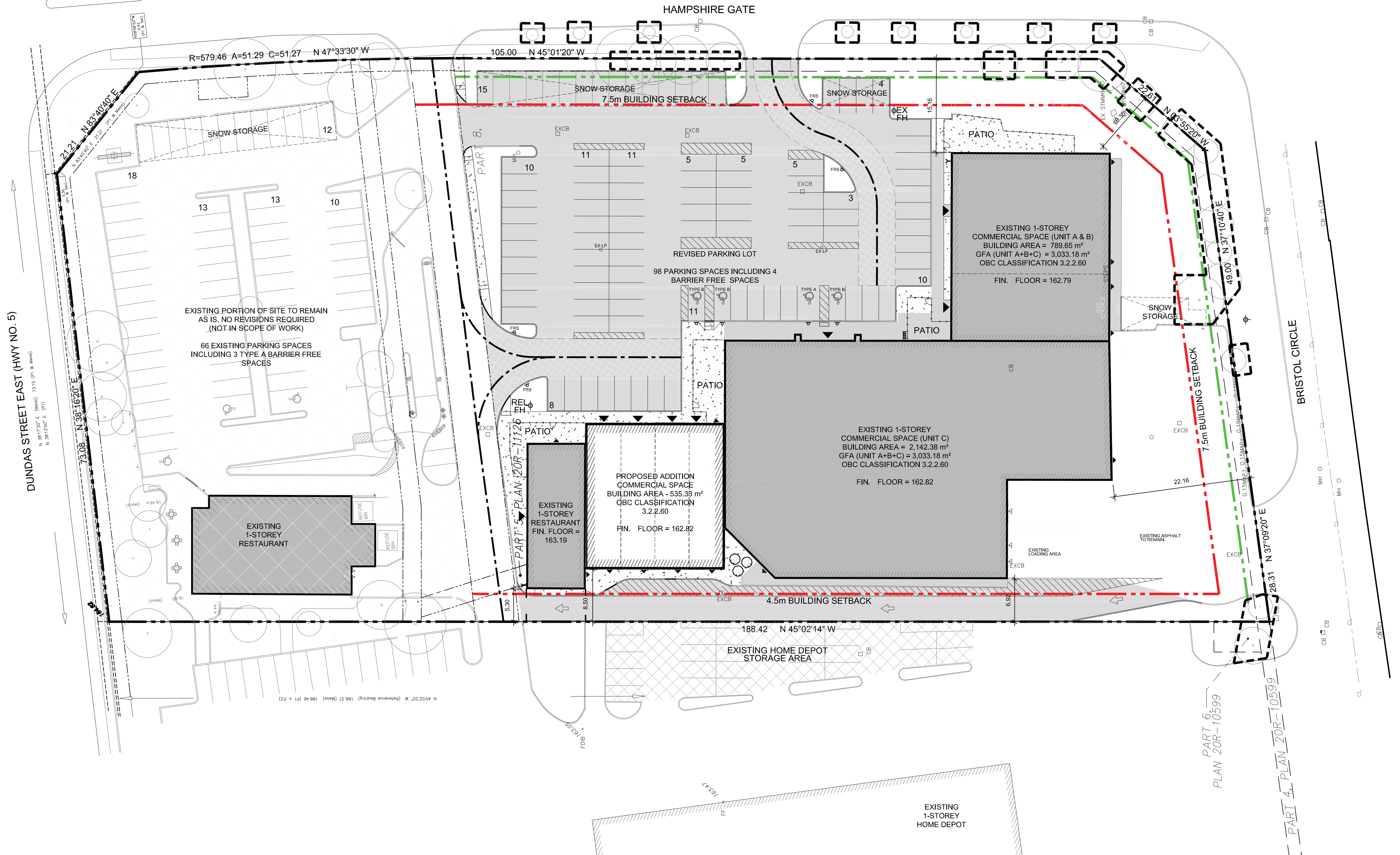
OWNERS	APPLICANT
DELAMERE ENTERPRISES INC. 2285 DUNWIN DRIVE, UNIT 3, MISSISSAUGA ON L5L 3S3	REINDERS + LAW LTD. 64 ONTARIO STREET NORTH, MILTON ON L9T 2T1
P (416)305-4217 F (905)812-7367	P (905)457-1618

LEGEND:

	PROPERTY LINE
	BUILDING SETBACK LINE
	LANDSCAPE SETBACK LINE
	PROPOSED TREE PROTECTION HOARDING
	PROPOSED SILT FENCE
	PROPOSED FIRE ROUTE (USING HEAVY DUTY PAVING)
	HEAVY DUTY PAVING
	LIGHT DUTY PAVING
	CONCRETE PAD OR SIDEWALK
	PROPOSED CONCRETE CURB
	PROPOSED CONCRETE CURB WITH CURB CUT OR DEPRESSED CURB
	C/C OR D/C
	NEW BUILDING AREA (FOOTPRINT)
	EXISTING BUILDING AREA (FOOTPRINT)
	EXISTING CHAIN LINK FENCE
	PROPOSED CHAIN LINK FENCE
	EXISTING POST AND WIRE FENCE
	PROPOSED POST AND WIRE FENCE
	EXISTING BOARD FENCE
	PROPOSED BOARD FENCE
	PRINCIPAL ENTRANCE TO THE BUILDING
	SECONDARY ENTRANCES TO, OR EGRESS FROM THE BUILDING
	FIRE ROUTE SIGNS
	BARRIER FREE SIGNS (RB93)
	BARRIER FREE LOGO (PAVED ON ASPHALT)
	TACTILE STRIPS ON CONCRETE OR ASPHALT SURFACES (AODD COMPLIANT)
	STOP SIGNS
	EXISTING CATCHBASIN AND STRUCTURE
	PROPOSED CATCHBASIN AND STRUCTURE
	PROPOSED DOUBLE CATCHBASIN AND STRUCTURE
	EXISTING MANHOLE
	PROPOSED MANHOLE
	EXISTING CATCHBASIN AND MANHOLE
	PROPOSED CATCHBASIN AND MANHOLE
	PROPOSED SIAMESE CONNECTION TO SPRINKLER SYSTEM
	PROPOSED HIGH POINT
	PROPOSED LOW POINT
	PROPOSED DRAINAGE FLOW
	DAYLIGHTING TRIANGLE (SHADED)
	DEPRESSED CURB
	FIRE HYDRANT (EXISTING)
	(REL = RELOCATED)

ZONING STATISTICS

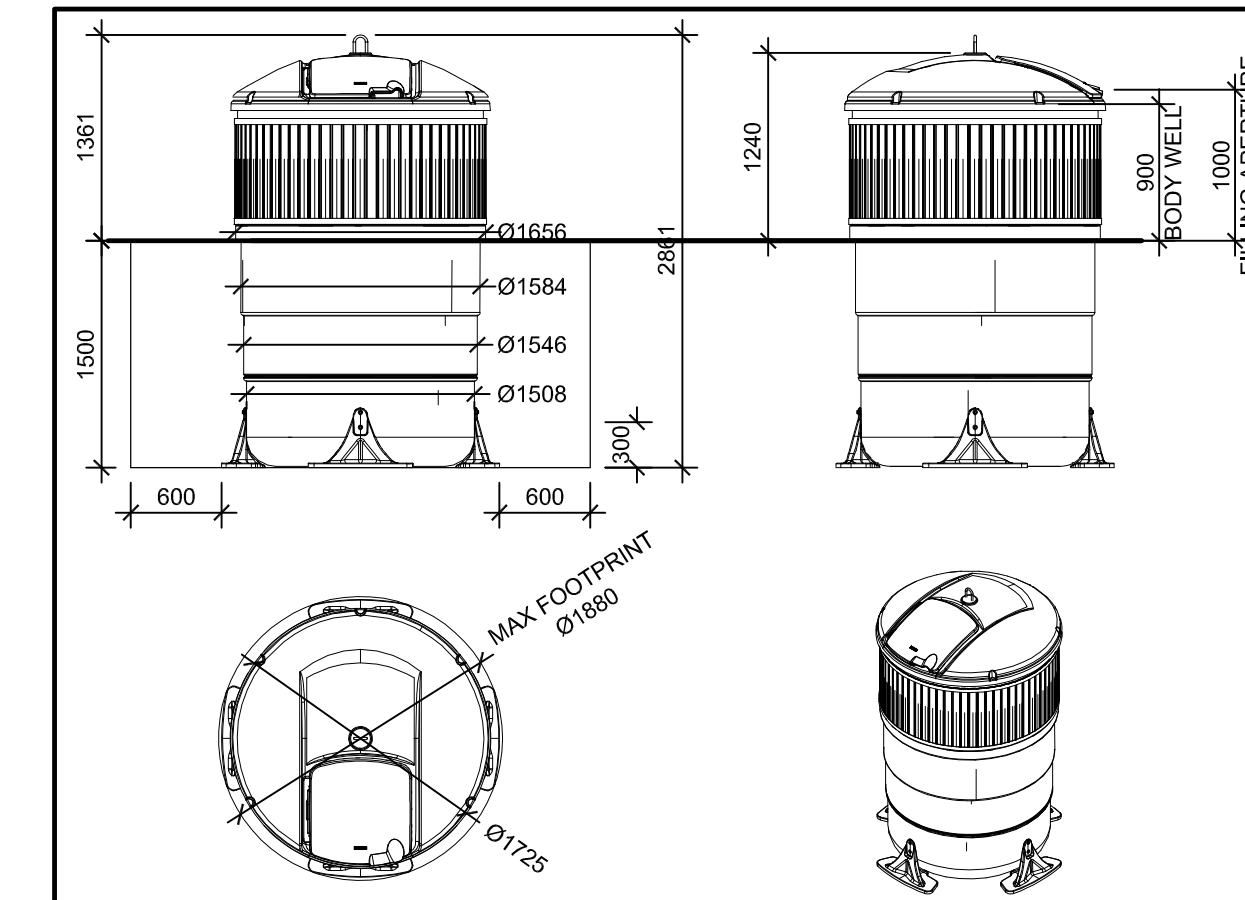
ITEM	EXISTING ZONING BY-LAW REQUIREMENTS	PROPOSAL
ZONING CATEGORY	C3, SP-44	C3, SP-44
LOT AREA (sqm)	3,000	16,819.14
LOT WIDTH (sqm)	N/A	N/A
GROUND FLOOR AREA (sqm)	4,122.85	4,122.85
LOT COVERAGE (AREA)	14.0%	24.5%
ASPHALT AREA		8,531.63 (50.7%)
WALKWAYS & CURBS AREA		1,227.11 (7.3%)
LANDSCAPE AREA		2,937.55 (17.5%)
FRONT YD. (m) - BRISTOL CIRCLE	7.5m	10.35m (EX)
REAR YARD (m) - DUNDAS ST. E.	7.5m	15m (EX)
EXT. SIDE YARD (m) -	7.5m	15.16m (EX)
SIDE YARD (m) -	4.5m	4.5m (EX)
NUMBER OF PARKING SPACES	132	164
NUMBER OF TYPE A ACCESSIBLE PARKING SPACES	3	4 (3-EXISTING)
NUMBER OF TYPE B ACCESSIBLE PARKING SPACES	3	3 (PROPOSED)
PARKING STALL DIMENSIONS (m)	2.7 x 5.7	2.7 x 5.7
TYPE A ACCESSIBLE PARKING SPACE (m)	3.65 x 5.7	3.65 x 5.7
TYPE B ACCESSIBLE PARKING SPACE (m)	2.7 x 5.7	2.7 x 5.7
ACCESSIBLE PARKING AISLE (m)	1.5	1.5
LOADING SPACE DIMENSIONS (m)	3.5 x 12.0	3.5 x 12.0
SNOW STORAGE (sqm)	15% HARD SURFACE	534.2
GFA - EXISTING (sqm)		3,695.51
GFA - ADDITION (sqm)		535.33



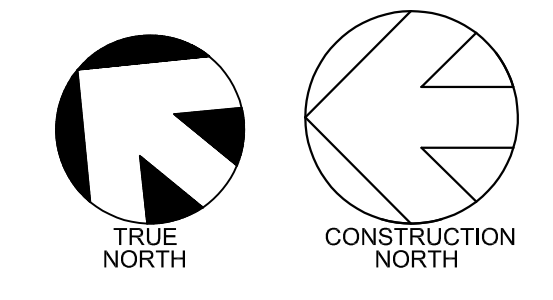
DUNDAS STREET EAST (HWY NO. 5)

BRISTOL CIRCLE

HAMPSHIRE GATE



MOLOK M-5000 DEEP COLLECTION SYSTEM
N.T.S. NOTE: STRICTLY FOLLOW MANUFACTURER MOST CURRENT INSTALLATION INSTRUCTION



no.	revisions	date	init.
2	ISSUED FOR SPA	2023/11/23	KR
1	ISSUED FOR CLIENT REVIEW	2023/08/01	KR
0	ISSUED FOR PRE CONSULTATION	2023/04/28	KR

GENERAL NOTE:
THESE DRAWINGS ARE COPYRIGHT AND THE PROPERTY OF REINDERS + LAW LTD. THE DRAWINGS MAY NOT BE USED FOR CONSTRUCTION WITHOUT THE PERMISSION OF REINDERS + LAW LTD. AND UNLESS SEALED AND SIGNED BY THE ARCHITECT/ENGINEER REPRODUCTION OF THESE DRAWINGS WITHOUT THE CONSENT OF REINDERS + LAW LTD. IS STRICTLY PROHIBITED.
DO NOT SCALE THESE DRAWINGS. ANY ERROR OR DISCREPANCY IS TO BE REPORTED IMMEDIATELY TO: REINDERS + LAW LTD.

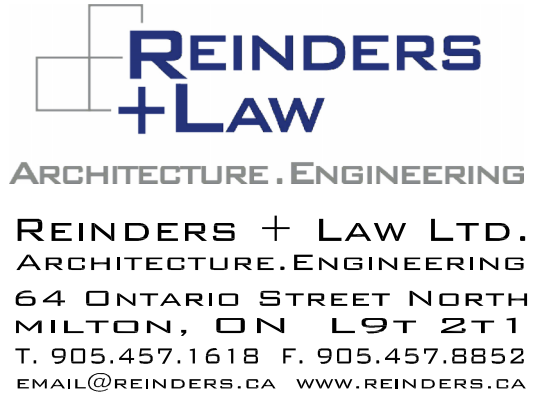
cad file	23006_SP1-SP3
date plotted	2023/11/23
plot scale	1:1



drawn **JY**
designed **JBH**
reviewed **KR**
date **2023/11/23**

scale **1:350**
project **COMMERCIAL ADDITION**
2500 HAMPSHIRE GATE OAKVILLE, ONTARIO

drawing **OVERALL SITE PLAN**



drawing no. **23006_SP1** rev. no. **2**