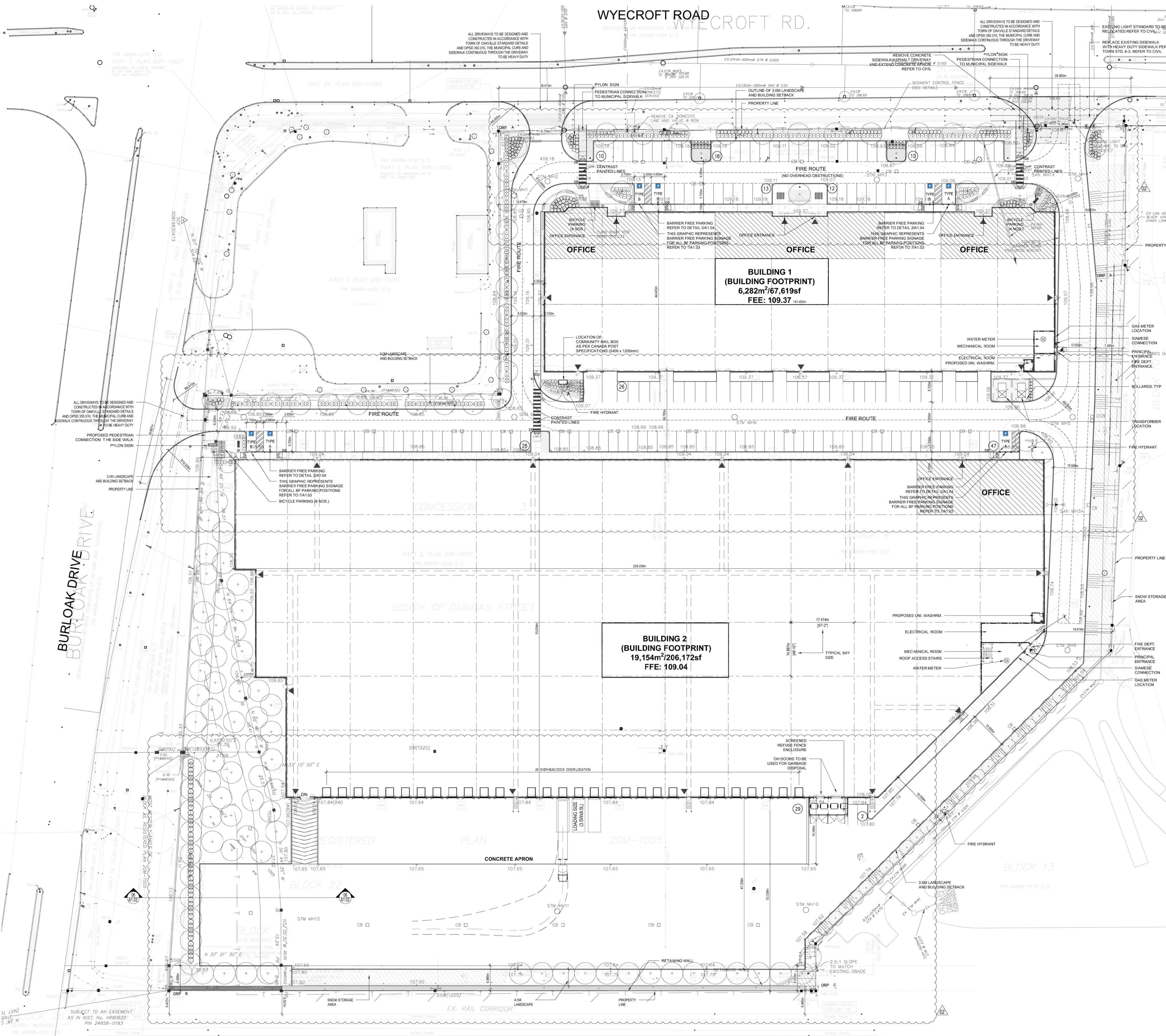


WYECROFT ROAD



LEGAL DESCRIPTION

PART OF LOT 35 CONCESSION 3  
BLOCK 4 AND 22  
REGISTERED PLAN 20M-1005  
TOWN OF OAKVILLE  
REGIONAL MUNICIPALITY OF HALTON

OVERALL SITE STATISTICS

	IMPERIAL	METRIC
PROJECT SITE AREA -	12,497 Ac	50,575.27 m²
LOT COVERAGE PROVIDED	50.3%	50.3%
MIN LOT FRONTAGE (30m REQUIRED)	173.78m	173.78m
TOTAL BUILDING AREA	273,790 sf	25,436 m²
LANDSCAPE COVERAGE	79,922 sf	7,425 m²

OVERALL BUILDING STATISTICS

BUILDING # 1		
WAREHOUSE GFA	52,151	4845
OFFICE GFA	15,468	1437
BUILDING TOTAL GFA	67,619sf	6,282m2
MAX. BUILDING HEIGHT	E4 - 18.5m/ E2 - NA	E4 - 18.5m/ E2 - NA
BUILDING # 2		
WAREHOUSE GFA	195,839	18,194
OFFICE GFA	10,333	960
BUILDING TOTAL GFA	206,172sf	19,154
MAX. BUILDING HEIGHT	E4 - 18.5m/ E2 - NA	E4 - 18.5m/ E2 - NA

ZONING & OTHER GENERAL INFORMATION

ZONING BY LAW 2014-014; 2021-121  
PROPOSED USE - E2 BUSINESS EMPLOYMENT ZONE  
E4 BUSINESS COMMERCIAL ZONE

BUILDING SETBACKS (TOWN OF OAKVILLE)  
- FRONT YARD SETBACK -3m  
- SIDE YARD SETBACK -3m  
- FLANKAGE YARD -3m  
- REAR YARD (ABUTTING RAILWAY CORRIDOR) -7.5m

LANDSCAPE BUFFER REQUIREMENTS  
- 4M LANDSCAPE SETBACK -3.0m  
- MIN. LANDSCAPE (AT PARKING AREA) -3.0m  
- LANDSCAPE SETBACK ABUTTING RAILWAY CORRIDOR -4.5m  
- LANDSCAPE COVERAGE REQUIRED -10%  
- LANDSCAPE COVERAGE PROVIDED (appr. 4,050m2) -8.0%

EASEMENT AREA ON SITE ALONG BURLOAK DR - 2,828.6m2 -5.6%

OVERALL PARKING STATISTICS

	Bldg Area (m²)	Stalls required	Stalls provided
Parking Rate: Based on the Town of Oakville by-law 1 PER 100 m² FOR THE FIRST 7500m2 + 1 PER 200 m² FOR ADDITIONAL AREA			
BUILDING 1 WAREHOUSE GFA	6,282 m²		
BUILDING 2 WAREHOUSE GFA	19,154 m²		
<b>TOTAL WAREHOUSE GFA</b>	<b>25,436 m²</b>	<b>165</b>	<b>166</b>

ACCESSIBLE PARKING SPACES REQ'TS

Per number of parking required for 100-200 spaces Rate of 1 spaces + 3% of total required parking.  
TOTAL NO. OF PARKING SPOTS 165  
Type A: 3.65m X 5.7m & Type B: 2.7m X 5.7m

	Stalls required	Stalls provided
4 Type A & 3 Type B	7	7
4 A & 3 B	7	7

BICYCLE PARKING REQUIREMENTS

Minimum number of long term parking spaces to be calculated at 2 + 0.25 per 1000m2 of net floor area.

	Stalls required	Stalls provided
TOTAL	8	16

LOADING POSITION STATISTICS

No Minimum required Loading space not allowed along flanking lot line

	Stalls required	Stalls provided
Building 1 (Cube van loading space provided: 6m X 9m)	NA	23
Building 2 (Min 12m x 3.5m x 4.2m vertical clearance)	NA	29

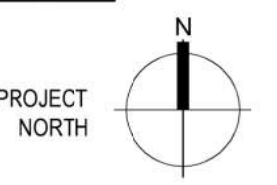
SITE PLAN LEGEND

● FH	FIRE HYDRANT	○ HP	SIEMSE CONNECTION
● MH	SANITARY MANHOLE	□	PROPOSED HYDRO TRANSFORMER
● SMH	STORM MANHOLE	○	HYDRO POLE
○ DM	DOM. WATER METER & BACK FLOW PREVENTER	□	LIGHT STANDARDS
○ CB	CATCH BASIN	○	LIGHT FIXTURE (REF. TO ELEC.)
○ CBMH	CATCH BASIN MANHOLE	○	DOUBLE CATCH BASIN
○ DCB	DOUBLE CATCH BASIN	○	CURB CUT & RIVERSTONE ROCK SPILLWAY
○	BARRIER FREE PARKING SIGN	○	BARRIER FREE CURB RAMP
○	PAINTED ACCESSIBILITY BARRIER FREE SYMBOL	○	ROAD CROSSING STRIPPING
○	MAIN BUILDING ENTRANCE	○	PROPERTY LINE
○	BARRIER FREE ENTRANCE	○	HEAVY DUTY ASPHALT
○	ACCESSIBLE DOOR	○	MARKED PEDESTRIAN CROSSING, AS PER CITY'S GUIDELINES
○	PRINCIPAL ENTRANCE	○	LIGHT DUTY ASPHALT
○	FIRE ROUTE SIGN, MAX. 0.50m AS PER TOWN STANDARDS, 1.5m FROM THE EDGE OF THE CURB	○	CURB DEPRESSION (CD)
○	FIRE ROUTE	○	BARRIER FREE RAMP (C) WITH CURB DEPRESSION IN COMPLIANCE WITH CBC 3.8.3.2 AND REFER TO TOWN STANDARDS

REV DATE DESCRIPTION

01	APR. 29, 2022	ISSUED FOR SPA
02	AUG. 24, 2022	ISSUED FOR SPA RESUBMISSION-01

- UPDATED THE BUILDING ADDRESS
- UPDATED SHEET NUMBER
- REVISED THE ELEVATION OF BUILDING 1 ALONG WYECROFT ROAD TO SHOW ATTENUATION
- INDICATED BY CURB, PEDESTRIAN CROSSING
- REVISED PARKING COUNT
- INDICATED OUTDOOR GARAGE ENCLOSURE
- TIGHTENED UP THE TRUCK TURNAROUND FRONTING BURLOAK
- EXTENDED THE CURB IN THE LANDSCAPE AREA
- UPDATED THE STATISTICS
- INDICATED SNOW STORAGE AREAS



Glenn Piotrowski Architect

GLENN PIOTROWSKI ARCHITECT LTD.  
167 NAVY STREET  
OAKVILLE, ON  
L6J 2Z6  
905.338.8855



OWNER INFORMATION

BURLOAK-WYECROFT ROAD GP INC. MA  
20 ADELAIDE STREET EAST, SUITE 800.  
TORONTO, ON M5C 2T6, Canada

PROJECT

677 BURLOAK DRIVE  
OAKVILLE, ONTARIO CANADA

PROJECT

677 BURLOAK DRIVE  
OAKVILLE, ONTARIO CANADA

(SPECULATIVE INDUSTRIAL DEVELOPMENT)

SHEET TITLE

FINAL SITE PLAN

DRAWN BY

VD/ RAJ/ MK

DATE

DEC 16, 2021

SCALE

1:500

PROJECT NO.

2021 - 12

SHEET NO.

A1.02