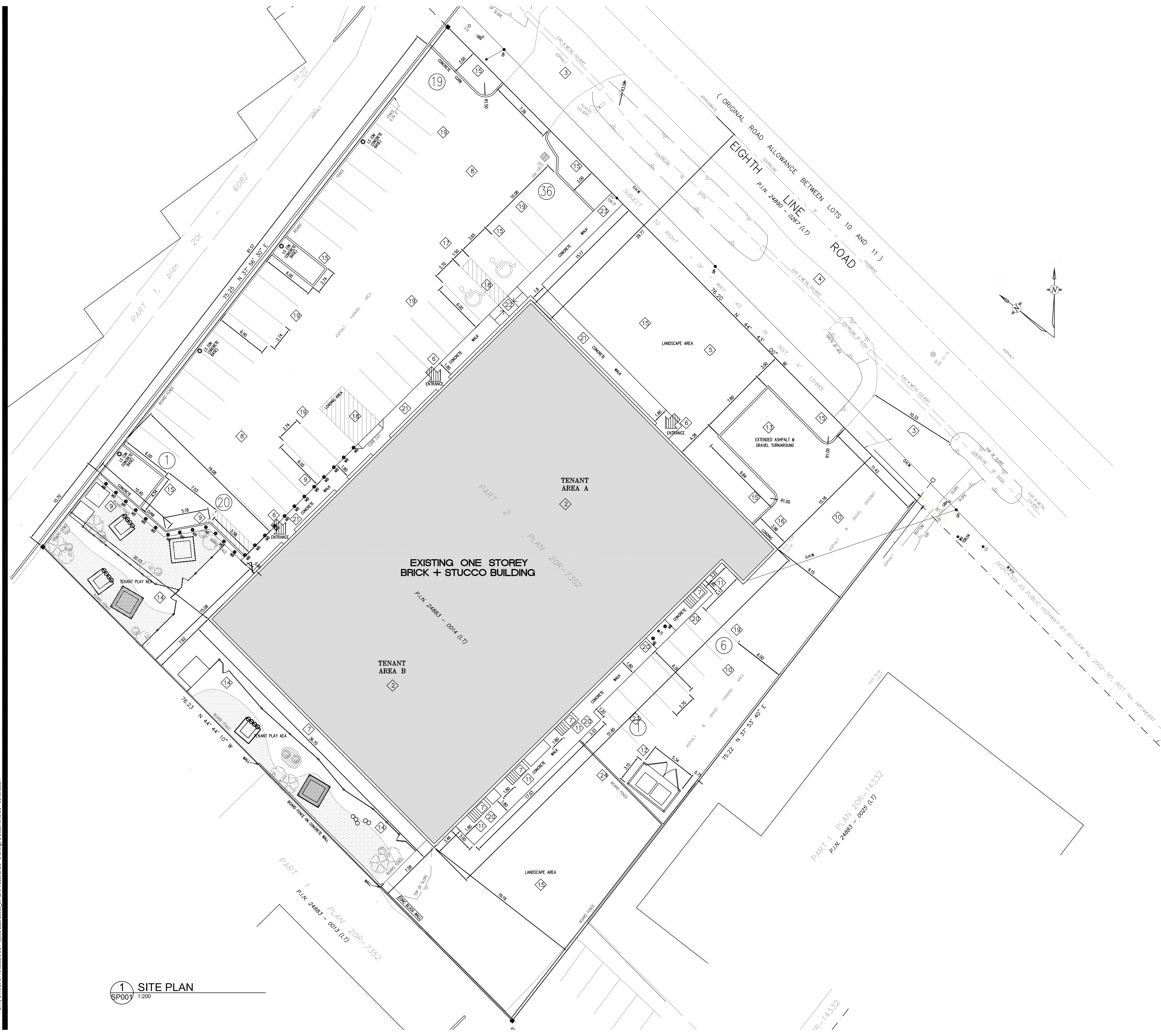


PATH: G:\W Drive\Bind Architecture\03 Projects\2020\2008 - 8th Line Industrial 3.0 - Drawings & Documents\3.3 - Construction



1 SITE PLAN  
SP001 1:200

DEVELOPMENT STATISTICS		
SITE ADDRESS LEGAL DESCRIPTION	1030 EIGHTH LINE, OAKVILLE, ON PART OF LOT 2, CONCESSION 2 PLAN 20R-7352	
ZONING SITE AREA	E2, SP3 5,686.68 SQ.M.	
BUILDING AREA	1,922.33 SQ.M.	
BUILDING COVERAGE PERCENT	33.8%	
HARDSCAPE: PAVING, SIDEWALKS AREA	2,291.27 SQ.M.	
HARDSCAPING PERCENTAGE	40.1%	
LANDSCAPING AREA	974.95 SQ.M.	
LANDSCAPING PERCENTAGE	17.2%	
DAYCARE PLAY AREA	608.13	
DAYCARE PLAY AREA PERCENTAGE	8.9%	
ZONING REQUIREMENTS	REQUIRED	PROVIDED
MINIMUM LOT AREA	2,000 SQ.M.	5,686.68 SQ.M.
MINIMUM LOT FRONTAGE	30.0M	76.2M
FRONT YARD SET BACK	3.0M	15.15M
SIDE YARD SETBACK - NORTH	3.0M	20.03M
SIDE YARD SETBACK - SOUTH	3.0M	9.15M
REAR YARD SETBACK	3.0M	7.58M
HEIGHT OF BUILDING - MAXIMUM	N/A	4.88M
LANDSCAPING AREA	10%	26.1%
PARKING REQUIREMENTS		
PARKING STALLS - WAREHOUSE (1 PER 100.0 SQ.M., 1033.4 SQ.M.)	2	
PARKING STALLS - DAYCARE (1 PER 40.0 SQ.M., 888.93 SQ.M.)	23	42
TOTAL PARKING	25	42
LOADING STALLS	1	1
ACCESSIBLE PARKING STALLS	2	2

- SITE PLAN NOTES**
- THE PROJECT IS LOCATED AT 1030 EIGHTH LINE. AN EXISTING SINGLE TENANT, 1-STORY INDUSTRIAL BUILDING IS BEING RETROFITTED, ALLOWING FOR 2 TENANTS. TENANT A IS A WAREHOUSE USE, AND TENANT B IS A DAYCARE.
  - THE BUILDING IS SEPARATED INTO TWO COMMERCIAL UNITS. CONSTRUCTION OF THE DEMISING WALL, AND INTERIOR CONSTRUCTION TO BE APPLIED FOR UNDER SEPARATE BUILDING PERMITS.
  - TWO EXISTING DRIVEWAY ENTRY POINTS ARE TO BE MAINTAINED
  - THE THIRD DRIVEWAY ENTRY POINT (CENTRAL) TO BE REMOVED.
  - THE FORMER FRONT PARKING AREA TO BE UPDATED TO LANDSCAPING. SEE LANDSCAPE DRAWINGS FOR PLANTING DETAILS.
  - BUILDING ENTRY POINTS ARE EXISTING.
  - BUILDING EGRESS EXIT POINTS ARE EXISTING.
  - THE NORTH PARKING AREA IS EXISTING, AND IS ASPHALT. A PORTION OF THE NORTH PARKING AREA IS REMOVED, FOR A NEW PLAY AREA FOR THE DAYCARE.
  - A SERIES OF CONCRETE FILLED STEEL BOLLARDS PROTECTS THE SIDEWALK AND THE PLAY AREA.
  - THE SOUTH PARKING & DELIVERY ACCESS IS EXISTING. PAVING IS ASPHALT & GRAVEL, AND TO REMAIN AS-IS.
  - SEE 2/SP002 FOR EGRESS STAIR DETAILS
  - NEW GARBAGE ENCLOSURE. SEE DETAIL 3/SP002 FOR PLAN, ELEVATIONS AND DETAILS FOR CONSTRUCTION.
  - EXISTING SOUTH DRIVEWAY EXTENDED, TO ALLOW FOR DELIVERY TRUCK AND GARBAGE TRUCK TURN-AROUND. SEE GRADING DRAWING FOR UPDATED GRADES AROUND TURN-AROUND.
  - PLAY AREA FOR DAYCARE. SEE DAYCARE PERMIT DRAWINGS FOR CONSTRUCTION DETAILS AND CONFIGURATION.
  - NEW LANDSCAPING AND TREES. SEE LANDSCAPE DRAWINGS FOR SPECIFICATIONS.
  - EXISTING LOADING DOCK. SEE TRANSPORTATION DRAWINGS FOR TRUCK TYPES AND TURNING DIAGRAMS.
  - WHEELCHAIR ACCESSIBLE PARKING SPACES, 2 IN TOTAL.
  - PAINTED HATCHED AREAS TO BE MARKED ON ASPHALT PAVEMENT, NO PARKING ZONES.
  - EXISTING PARKING SPACES IN NORTH PARKING AREA, 2.74m x 5.23m. PARKING SPACES TO BE EXTENDED, TO 6.0m.
  - NEW 1.8m SIDEWALK ALONG SOUTH SIDE OF BUILDING.
  - EXISTING 1.5m SIDEWALK ALONG EAST AND NORTH SIDE OF BUILDING TO BE WIDENED TO 1.8m.
  - NEW SIDEWALK WHEELCHAIR ACCESSIBLE DEPRESSION AND RAMP. SEE LANDSCAPE DRAWINGS.
  - EXTEND 1.8M CONCRETE SIDEWALK ALONG EDGE OF NORTH PARKING AREA, TO PROPERTY LINE (FUTURE CONNECTION TO REDEVELOPED EIGHTH LINE).
  - EXTEND BOARD FENCE ALONG LANDSCAPE EDGE / GARBAGE ENCLOSURE. SEE LANDSCAPE PLAN.



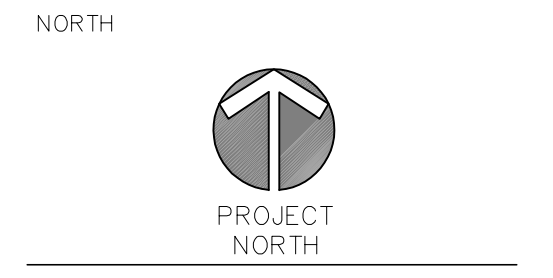
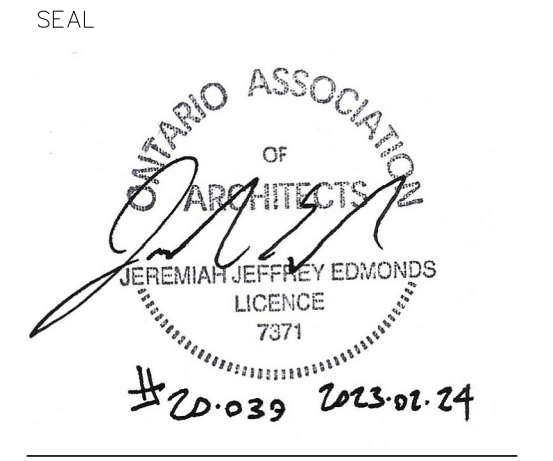
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NO.	ISSUED	DATE
1	ISSUED FOR PERMIT - SHELL	21-10-05
2	SITE PLAN APPLICATION REVIEW	22-05-04
3	SITE PLAN APPLICATION	22-09-21
4	SPA - ADDITIONAL INFORMATION	22-10-04
5	SPA - ADDITIONAL INFORMATION	22-10-24
6	SITE PLAN APPLICATION REVISIONS	23-02-24

NO.	REVISIONS	DATE

DO NOT SCALE DRAWINGS. USE ONLY DRAWINGS MARKED "ISSUED FOR CONSTRUCTION". VERIFY CONFIGURATIONS & DIMENSIONS ON SITE BEFORE BEGINNING WORK. NOTIFY ARCHITECT IMMEDIATELY OF ANY ERRORS, OMISSIONS OR DISCREPANCIES.



EIGHTH LINE INDUSTRIAL RENOVATION  
SITE PLAN APPLICATION  
1030 EIGHTH LINE  
OAKVILLE, ONTARIO

SHEET NAME  
**SITE PLAN**  
DRAWN BY **JJE**  
CHECKED BY **JJE**  
PLOT DATE **2023-02-24**  
SCALE **1:150**  
PROJECT NO. **20-039**

DRAWING

**SP 001**