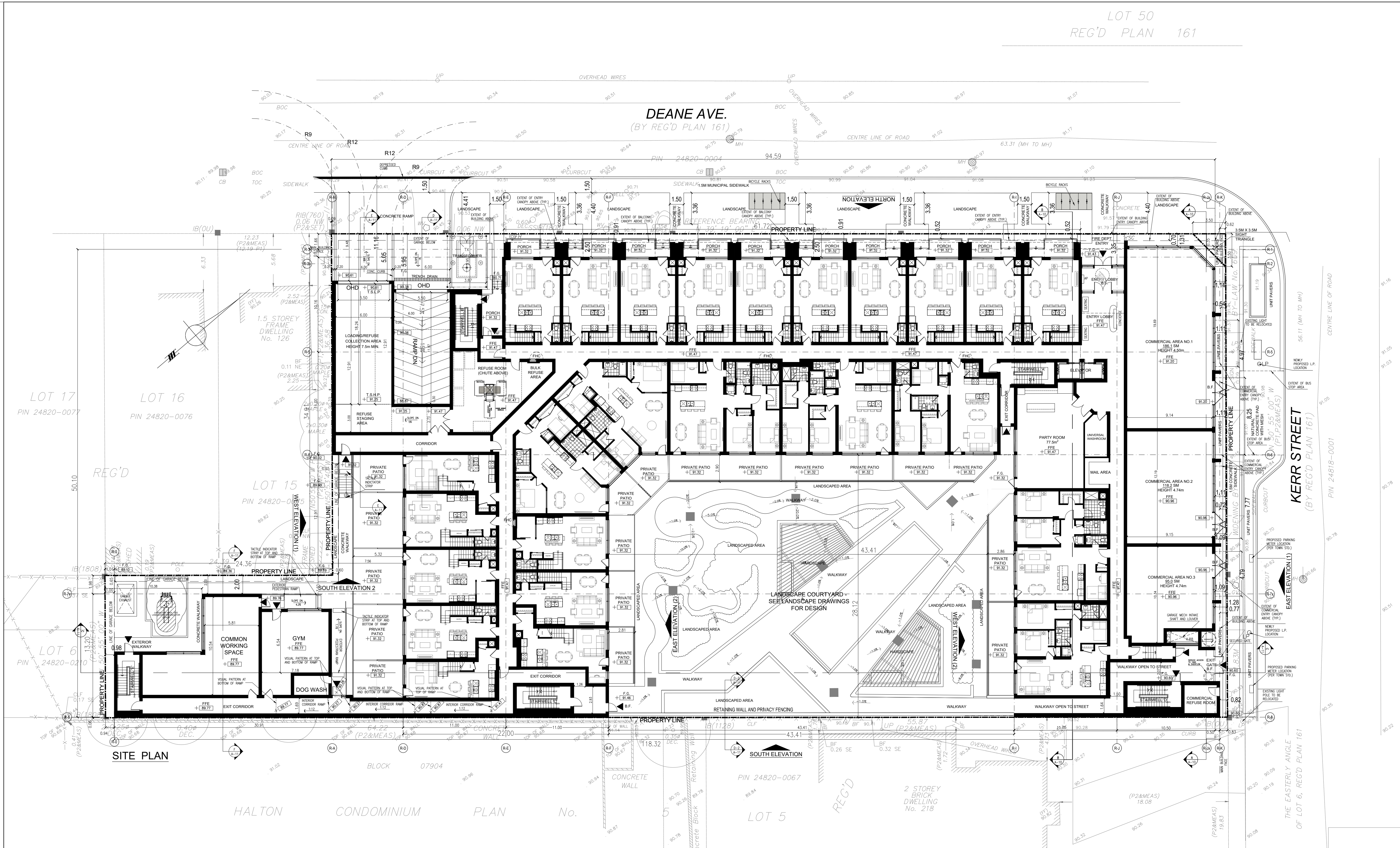
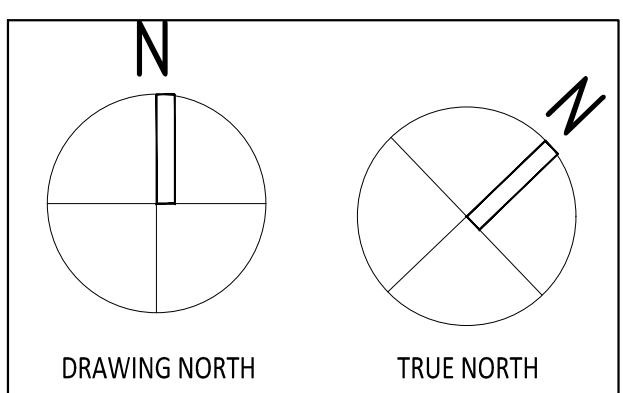


All drawings are the property of the Architect and must be returned upon request.
Contractor shall check all dimensions and report any discrepancies to the Architect before proceeding with the work.
The contractor and/or engineer shall verify all footing elevations and soil bearing capacity prior to excavation and the commencement of work.
DO NOT SCALE DRAWINGS



SITE PLAN

HALTON CONDOMINIUM PLAN No.

LEGEND

- PROPERTY LINE
- B.F. BARRIER-FREE ENTRY
- ENTRY
- DIRECT RES. OR COM. SUITE ENTRY
- FFE FINISH FLOOR ELEVATION
- GS GARAGE SLAB
- FFG FINISHED GRADE
- FH [X] EXISTING FIRE HYDRANT
- FH (X) PROPOSED FIRE HYDRANT LOCATION
- [SC] PROPOSED LOCATION FOR BAMESE CONNECTION
- [A] ANNUNCIATOR PANEL
- [80] SUITE NUMBER

PARKING STATS

PARKING REQUIRED			
Resident	Unit	Ratio	Qty Req'd
Suites under 75m ²	84	0.8	68
Suites greater 75m ²	42	1.00	42
Visitors	126	0.20	26
Commercial (399.3sm/40)			10
TOTAL PARKING REQ'D 146			
PARKING PROVIDED			
Basement Garage	Res.	Vis.	Total
Regular	76		76
Tandem	4		4
Stacked	90		90
Visitor and Comm (combined)		7	7
Barrier Free		3	3
TOTAL PARKING PROVIDED 180			
BICYCLE PARKING			
	ratio	no. of Bikes	
TOTAL BICYCLE PARKING PROVIDED	126	0.75	32

no.	date	revision
5	DEC 8, 2021	RE-ISSUED FOR SPA PER CITY COMMENTS
4	SEP 8, 2021	ISSUED FOR MINOR VARIANCE
3	JUL 14, 2021	RE-ISSUED FOR SPA PER CITY COMMENTS
2	JAN 28, 2021	RE-ISSUED FOR SPA PER CITY COMMENTS
1	SEP 02, 2020	ISSUED FOR SPA



GUTHRIE MUSCOVITCH ARCHITECTS

Tel: (416) 252-5679 Fax: (416) 252-9637
770 Brown's Line, Toronto, Ontario M5W 3W2

owner
RISE KERR PARTNERSHIP LIMITED
RAM.DINARY@GMAIL.COM

project
224 KERR STREET
OAKVILLE, ONTARIO

drawing
SITE PLAN

scale 1:200
date APR 2020
drawn GS
ch'd BB
project number **19.138**

SP-1