

May 29, 2020

Town of Oakville  
Planning Services Department  
1225 Trafalgar Road  
Oakville, ON L6H 0H3

Attention: Robert Thun, MCIP, RPP  
Senior Planner – Planning Services - West District

**Re: Planning Justification Report - Addendum  
Application for Official Plan Amendment and Proposed Revisions to Zoning By-law  
Amendment and Plan of Subdivision Applications  
ARGO (West Morrison Creek) Limited  
Part of Lot 16, Concession 1, NDS  
Related File Nos.: Z.1316.07 & 24T-20001/1316**

Mr. Thun,

Please accept this Addendum to our Planning Justification Report, submitted (December 2019) in support of an Official Plan Amendment (OPA) application and revised Zoning By-law Amendment and Plan of Subdivision applications on the above noted lands.

The development concept discussed at the pre-consultation meeting on November 13, 2019 contemplated a mixed-use building at the northwest corner of Sixth Line and Marvin Ave in the range of 4 to 8-storeys which necessitated the requirement for an OPA to permit the additional height and density. At the time of submission, ARGO (West Morrison Creek) Limited (hereinafter 'ARGO') did not pursue the OPA and submitted rezoning and draft plan of subdivision applications that met the as-of-right Neighbourhood Centre Area policies in the North Oakville East Secondary Plan (NOESP). Upon reflection, ARGO has decided to proceed with a revised concept that proposes an 8-storey mixed-use building, achieving a floor space index (FSI) of 4.2 (*Figure 1- Conceptual Site Plan*) necessitating an application for an OPA together with revisions to the rezoning and draft plan of subdivision applications.

This Addendum is intended to supplement, and be read in conjunction with, the original report (December 2019) prepared for the subject lands. The following studies have also been updated and are enclosed under a separate cover:

- Traffic Impact Study and Parking Justification Report
- Urban Design Brief
- Draft Plan of Subdivision
- Area Design Plan
- Parking Management Plan
- Conceptual Architectural Plans
- Shadow Impact Study
- CGH Transportation
- NAK Design Strategies
- Korsiak Urban Planning
- Korsiak Urban Planning
- Korsiak Urban Planning
- Q4 Architects Inc.
- Q4 Architects Inc.

**1.0 Proposed Development**

The original Draft Plan of Subdivision proposed 89 single detached dwellings, 36 rear lane townhouses, 42 street townhouses, 40 back-to-back townhouses, a mixed-use block, Natural Heritage System (NHS) blocks and a stormwater management (SWM) pond. The mixed-use block contemplated a 6-storey mixed-use building with an FSI of 2.0, which is consistent with the prescribed permissions of the Neighbourhood Centre Area.

The revised proposal for the mixed-use block contemplates an 8-storey mixed use building with approximately 103 dwelling units and 222.5 square metres of ground floor commercial space, achieving an FSI of 4.2. An OPA is required to permit the increased height and density. The mixed-use block will function as part of the proposed relocated Neighbourhood 8 *Activity Node* within the Neighbourhood Centre Area to serve the surrounding community, which is consistent with the NOESP. This will be further discussed in Section 3.0 below.

The revised draft plan (*Figure 2- Draft Plan of Subdivision*) is largely consistent with the original submitted in December 2019, save for minor adjustments east of Street ‘D’ required to facilitate a 22.0 metre right-of-way (ROW) of Street ‘A’ (Marvin Ave) between Street ‘D’ and Sixth Line. Whereas the original draft plan provided a 19.0 metre ROW for this section of Street ‘A’, preliminary comments provided by Town staff requested to increase the ROW to 22.0 metre to better align with the Marvin Avenue east of Sixth Line. To accommodate the widening, the additional 3.0 metres was taken from lands to the north and the south of street. As a result, the mixed-use block (107) to the north has slightly decreased in area and the townhouse blocks and Lane ‘A’ have been shifted south. Although the number of rear lane townhouse blocks remains the same, the unit count has increased by four as a result of interchanging 4.6 metre and 6.1 metre (frontage) products to provide enhanced streetscaping elements in the public laneway while

also introducing a new townhouse product type to North Oakville. This has been captured in the revised draft amending Zoning By-law. Finally, the single detached unit south of Street 'E' has been removed and replaced with a residential reserve block. The revisions to the draft plan have resulted in a net increase of three units.

### ***Mixed-Use Block – Built Form***

Block 107 is located at the northwest corner of Sixth Line (31.0 metre ROW) and Marvin Ave (22.0 metre ROW). Access to the site is gained by Street 'D' (17.0 metre ROW), which also separates it from street townhouses to the west.

As shown on the conceptual architectural plans (*Appendix I*), the proposed 8-storey mixed-use building is 'L' shaped, fronting/flanking onto Sixth Line and Marvin Avenue. The building 'steps' back above the 5<sup>th</sup> storey, along the eastern leg of the building, to provide an appropriate transition to the proposed 3-storey townhouse dwellings on the west side of Street 'D'. The step back also serves to provide communal rooftop amenity space at the 6<sup>th</sup> storey. Additional communal outdoor amenity space is provided on top of the 8<sup>th</sup> storey. Details regarding the design of the amenity spaces will be further refined through the Site Plan Approval (SPA) process.

The reduced massing (floorplates) of the upper storeys minimizes shadow impact as well as contributes to an interesting building articulation. A Shadow Impact Study has been prepared as part of this resubmission. The Shadow Impact Study illustrates that the shadow impact of the proposed development on adjacent properties is minor, and satisfies most of the Town's criteria. The minor impacts on some of the future townhouse blocks can be mitigated by a number of design solutions such as different floor plate shapes, landscape features and building materials. These items can be further addressed through the SPA process.

The lands immediately north of the site (3380 Sixth Line) are subject to current development applications (Z.1316.08, OPA 1316.08 & 24T-20003/1316). Specifically, the future development block dashed-in on *Figure 2- Draft Plan of Subdivision* is the subject of an OPA to permit three 6-storey apartment buildings, achieving a net residential density of 260 units per hectare. Therefore, the proposed 8-storey building is contextually appropriate, contributing to the envisioned urban Sixth Line corridor.

### ***Mixed Use Block – Parking***

Residential parking is provided in accordance with apartment dwelling provisions of North Oakville Zoning By-law (2009-189). As prescribed in Table 5.1A, *up to* 1.25 residential spaces per dwelling unit are required for apartment buildings, plus 0.2 spaces visitor spaces per dwelling unit. The proposal mixed-use building provides residential parking spaces at a rate of 1.0 spaces per dwelling plus 0.2 visitor parking spaces per dwelling unit, which is consistent with Zoning By-law 2009-189.

Regarding non-residential parking requirements, Section 5.3 – Shared Parking (2009-189) requires a minimum of 1.0 parking spaces per 30 square metres leasable floor area and a maximum of 1.0 parking space per 20 square metres leasable floor area in mixed-use buildings. Therefore, the proposed 222.5 square metres of commercial space requires a minimum of eight parking spaces. It is proposed that non-residential parking spaces be provided within the on-street parking spaces, directly abutting the site, in accordance with the provisions of the Neighborhood Centre Performance (NC-2) Zone. As shown on *Figure 3 – Parking Management Plan*, the non-residential parking spaces will be provided within two lay-by spaces along Sixth Line and six on-street parking spaces along Street 'A' (Marvin Avenue). The on-street/lay-by parking spaces have been provided in accordance with the North Oakville Parking Strategy. There are an additional four on-street spaces on the south side of Marvin Avenue that can be used to accommodate surplus parking. Furthermore, the northwest quadrant of the Sixth Line and Marvin Avenue intersection will be serviced by two bus pads, providing convenient public transit access.

### **2.0 New Provincial Policy Statement 2020**

On February 28, 2020, the Government of Ontario released the Provincial Policy Statement (PPS) 2020, which is part of the government's plan to build healthier, safer and more affordable communities. The PPS 2020 contains new policies across five themes: Increasing Housing Supply and Mix; Protecting the Environment and Public Safety; Reducing Barriers and Costs; Supporting Rural, Northern and Indigenous Communities; and, Supporting Certainty and Economic Growth. The PPS 2020 came into full force and effect on May 1, 2020.

New PPS policies applicable to the proposal are described in *Appendix II*, including Section 1.1.1 for 'Settlement Areas' and Section 1.4 for 'Housing'.

### **3.0 North Oakville East Secondary Plan**

As described in the Planning Justification Report prepared in support of the original submission (December 2019), the site is located within the NOESP area and is designated ‘Neighbourhood Area’ and ‘Natural Heritage System Area’. The North Oakville Master Plan (*Figure 4*) provides general locations for uses within the designated ‘Neighbourhood Area’. The subject lands are identified as ‘Neighbourhood Centre Area’, ‘General Urban Area’ and ‘Suburban Area’. Specifically, the mixed-use block subject to the proposed OPA is identified as ‘Neighbourhood Centre Area’.

The following text evaluates the proposed OPA in the context of the Neighbourhood Centre policies, demonstrating conformance to the intent of the NOESP.

#### **7.5.12 Neighbourhoods**

- a) Each neighbourhood will include at its centre, approximately a five-minute walk from most areas of the neighbourhood, a neighbourhood activity node which would include a transit stop and other public facilities which serve the neighbourhood such as central mail boxes or mail pickup facilities. In addition, convenience commercial facilities or similar uses will be encouraged to locate at the neighbourhood activity node;*
- b) Neighbourhoods shall be primarily residential in character, but will include mixed use development including commercial, institutional, live-work and civic facilities; and,*
- c) Within neighbourhoods, a range of lot sizes, building types, architectural styles and price levels shall be provided to accommodate diverse ages and incomes.*

The proposed development is designed to be consistent with the ‘Community Design Strategies’ of the NOESP as it follows the approximate configuration of Figure NOE1-Community Structure (Figure 5). As illustrated on the Area Design Plan (Figure 6), the proposed relocation of the Neighbourhood 8 *Activity Node* from the intersection of Sixth Line and Carnegie Drive to the intersection of Sixth Line and Marvin Avenue (‘Street A’) is logical as it intersects a designated minor arterial road and connector road, and is sited at transit corridors with a future bus stop. Additionally, the proposed mix-use building at the *Activity Node* will offer local amenities and commercial uses that complements the future live/work units in the node as well as the proposed mid rise buildings to the north. By providing a compact built form, transit supportive densities, community gathering spaces, and variety in architectural design, the proposal offers safe and pedestrian-friendly environments with a unique sense of place.

### **7.6.7 Neighbourhood Area**

#### *b) Land Use Policies*

*Each neighbourhood will be developed with a mix of development based on the following land use categories. The land use categories, Neighbourhood Centre, General Urban and Sub-urban, shall be represented in each neighbourhood, with the exception of Neighbourhood 14, generally in accordance with the percentages in Table 1 to this Secondary Plan.*

The Neighbourhood Area portion of the subject lands are identified as Neighbourhood Centre, Urban Area and Sub-Urban on the NOE Master Plan. The proposed development provides a mix of permitted building types and is in general conformance with the percentages prescribed in Table 1.

#### **7.6.7.1 Neighbourhood Centre Area**

##### *a) Purpose*

*The Neighbourhood Centre Area land use category on Appendix 7.3 will generally be used for areas located central to each neighbourhood. It is intended to accommodate a range of medium density residential, mixed use and limited commercial and civic uses focused at a central neighbourhood activity node to serve neighbourhood residents.*

##### *b) Permitted Uses, Buildings and Structures*

- *The permitted uses shall be medium density residential, mixed use and small scale convenience retail, personal service, restaurants and business activity, as well as public and institutional uses including village squares. Business activity may include a range or small scale uses including offices, medical clinic, workshops for artisans and artists studios.*
- *Permitted uses shall be primarily located in mixed use or medium density residential buildings. Both mixed use, single use buildings shall be permitted and this may include convenience commercial buildings in accordance with the provisions in Subsection c) below.*
- *Notwithstanding the above, a minimum of one mixed use or non-residential building, in accordance with the provisions in Section 7.6.7.1.c) is required at the intersection of each neighbourhood activity node identified on Figure NOE 1.*

##### *c) Land Use Policies*

- *Mixed-use development will be focused at neighbourhood activity nodes, identified on Figure NOE 1, which will include a transit stop and other public facilities which serve the*

*neighbourhood such as central mail boxes, or mail pickup facilities. In addition, convenience commercial facilities or similar uses will be encouraged to locate in these areas.*

- *A mix of uses shall be permitted at the following heights and densities:
 
  - *Minimum density - FSI of 0.5 for mixed use;*
  - *Maximum density - FSI of 2 for mixed use;*
  - *Minimum density - 35 units per net hectare for residential;*
  - *Maximum density - 150 units per net hectare for residential;*
  - *Minimum height - 2 storeys; and*
  - *Maximum height - 6 storeys.**
  
- *The zoning by-law shall establish minimum and maximum setbacks and implement densities and other standards to ensure that development achieves the minimum standards required as a basis for the creation of this centre area. In particular, on-street parking will be permitted and may be utilized to meet parking standards for commercial and other non-residential development, and in such circumstances, live/work buildings may require no additional parking for the “work” component.*

The mixed-use block (Block 107) at the northwest quadrant of the relocated Neighbourhood 8 Activity Node will feature grade level commercial uses and potential transit stops. The mixed-use building will consist of approximately 103 dwelling units and 222.5 square metres of ground floor commercial space, resulting in a density of 4.2 FSI. The proposal exceeds the maximum height and density permissions in the Neighbourhood Centre Area, necessitating an OPA. Notwithstanding, the proposed mixed-use building is a required building type at the Neighbourhood 8 Activity Node and proposes a height and density that is supportive of public transit, the future live-work mixed use buildings on the east side of Sixth Line and is compatible with the future planned neighbourhood. Further, it ensures that more residents are in close proximity to commercial services, amenities and transit to help meet their daily needs.

The revised proposal continues to conform to the aforementioned policies of the NOESP for the following reasons:

- The revised proposal continues to meet the intent of the policies of the Neighbourhood Area;
- The proposed relocation of the Neighbourhood 8 Activity Node is logical as it intersects two Transit Corridors, features grade level commercial uses at three quadrants, complementing

densities supportive of transit and commercial uses achieving the objectives of the Neighbourhood Centre Area category;

- The objectives of the Neighbourhood Centre Area category are achieved by providing a mixed-use building at the northwest corner of the Neighbourhood 8 *Activity Node*;
- The proposed height and density of the mixed-use block is appropriate at the Neighbourhood 8 *Activity Node* and will have minimal impact to adjacent residential uses;
- The revised proposal will add to the range and mix of unit types within Neighbourhood 8 to suit families of different ages, sizes and incomes.

#### **4.0 Official Plan Amendment**

In order to permit the proposed development, it is requested that the North Oakville East Secondary Plan be amended as follows:

7.6.18.XXX. *Notwithstanding section 7.6.7.1.c), a mixed-use building with a maximum height of 8-storeys and a floor-space index (FSI) of 4.2, is permitted on Block 107 (24T-20001/1316), Part of Lot 16, Concession 1, NDS.*

The draft Official Plan Amendment is appended to this report as *Appendix III*.

#### **5.0 Zoning**

The revised proposal increases the height and density of the mixed-use building within the site specific Neighbourhood Centre Performance 2 (NC-2 sp:\*\*) zone and therefore a revision to the requested amending Zoning By-law is required. The revision would amend the proposed site specific NC-2 sp:\*\* zone to increase the maximum building height to 8-storeys and maximum density to an FSI of 4.2.

The draft amending Zoning By-law is appended to this report as *Appendix IV*.

#### **6.0 Planning Opinion**

The proposed Official Plan Amendment and revisions to the Plan of Subdivision and Zoning By-law Amendment applications are justified and represent good planning for the following reasons:

- The proposal continues to be consistent with the Provincial Policy Statement and conforms to Growth Plan for the Greater Golden Horseshoe, Region of Halton Official Plan, Livable Oakville Plan, and North Oakville East Secondary Plan;
- The revised proposal further contributes to the achievement of minimum density numbers identified by the Province, Region, and Town and remains consistent with those required in the North Oakville East Secondary Plan;
- The proposed relocation of the Neighbourhood 8 *Activity Node* is logical as it intersects two Transit Corridors, features grade level commercial uses at three quadrants, complementing densities supportive of transit and commercial uses achieving the objectives of the Neighbourhood Centre Area category;
- The proposed Amendment to the North Oakville East Secondary Plan to permit an 8-storey building with an FSI of 4.2, is consistent with Provincial directives to make efficient use of land, planned infrastructure and public service facilities;
- The revised proposal continues to be consistent with the land use categories of the North Oakville East Master Plan;
- The proposed increase in height and density associated with the mixed-use building in the Neighbourhood Centre Area is appropriate for the relocated Neighbourhood 8 *Activity Node* and conforms to the intent of the North Oakville East Secondary Plan;
- The revised proposal continues to provide a mix and range of unit types and sizes to support households of different sizes, ages and incomes; and
- The revised proposal increases the number of residents in proximity to the relocated Neighbourhood 8 *Activity Node*, providing increased live-work opportunities.

Respectfully submitted,

**KORSIAK URBAN PLANNING**



Jacob Kaven, MES, RPP  
Encl.

Copy: Kevin Singh, ARGO (West Morrison Creek) Limited, Encl.

## **LIST OF FIGURES**

FIGURE 1: CONCEPTUAL SITE PLAN

FIGURE 2: DRAFT PLAN OF SUBDIVISION

FIGURE 3: PARKING MANAGEMENT PLAN

FIGURE 4: NORTH OAKVILLE EAST MASTER PLAN

FIGURE 5: NOE FIGURE 1 – COMMUNITY STRUCTURE

FIGURE 6: NEIGHBOURHOOD 8 AREA DESIGN PLAN

## **LIST OF ATTACHMENTS**

APPENDIX I: CONCEPTUAL ARCHITECTURAL PLANS

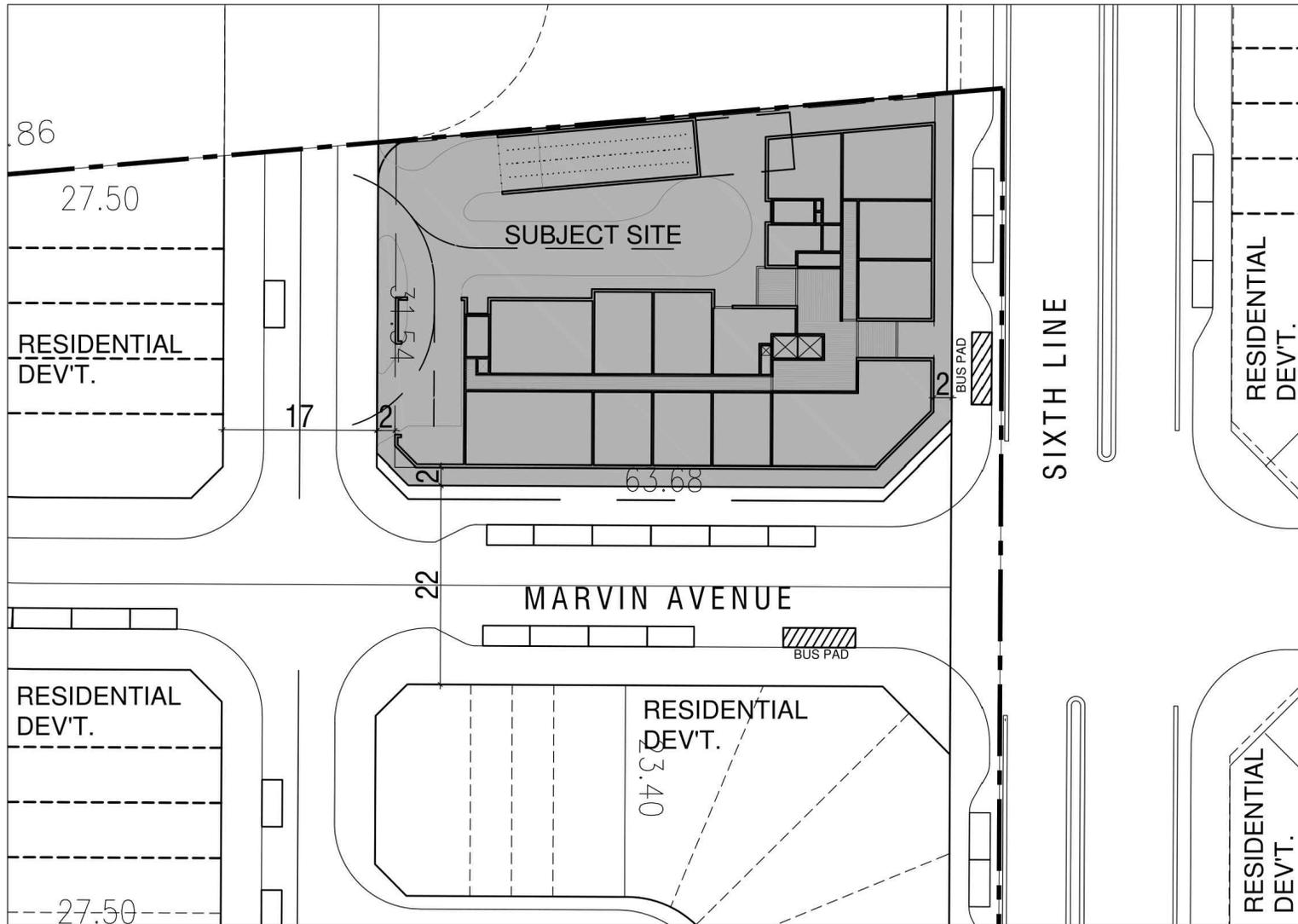
APPENDIX II: NEW APPLICABLE PROVINCIAL POLICY STATEMENT 2020 POLICIES

APPENDIX III: DRAFT OFFICIAL PLAN AMENDMENT

APPENDIX IV: DRAFT ZONING BY-LAW AMENDMENT

# Figure 1

## CONCEPTUAL SITE PLAN



WEST MORRISON STATISTICS (2020-04-03)

HEIGHT	8-STOUREYS	FSI	4.18
SITE AREA	2,658.58sm		28,616.72sf

NO. OF UNITS		
	OPTION 4	SELLABLE AREA SQ.M.
GROUND FLOOR	10	882.75
2nd FLOOR	15	1125.70
3rd FLOOR	17	1265.80
4th FLOOR	17	1265.80
5th FLOOR	17	1265.80
6th FLOOR	9	1108.70
7th FLOOR	9	1108.70
8th FLOOR	9	1108.70
<b>TOTAL</b>	<b>103</b>	<b>9,131.95sm</b>

PARKING		
REQUIRED		
RESIDENTIAL (x1.0)	103	
VISITORS (x0.20)	21	
<b>TOTAL</b>	<b>124</b>	
PROVIDED @ U/G PARKING		
P1		57
P2		67
<b>TOTAL</b>		<b>124</b>



**Q4 ARCHITECTS INC.**  
 2771 Avenue Road  
 Suite 302, Toronto ON,  
 M5M 4B4  
 T: 416.322.6334  
 F: 416.322.7294  
 E: info@q4architects.com

**Mid-Rise Building Site - SITE PLAN AND BUILDING STATS**  
 WEST MORRISON FEASIBILITY STUDY



May 20, 2020 Scale N.T.S.



# Figure 2

## DRAFT PLAN OF SUBDIVISION

### DRAFT PLAN OF SUBDIVISION 24T- Argo (West Morrison Creek) Limited

PART OF LOT 16  
CONCESSION 1, NORTH OF DUNDAS STREET

GEOGRAPHIC TOWNSHIP OF TRAFALGAR  
NOW IN THE  
TOWN OF OAKVILLE  
REGIONAL MUNICIPALITY OF HALTON

#### OWNER'S AUTHORIZATION

I HEREBY AUTHORIZE KORSIAK URBAN PLANNING TO PREPARE AND SUBMIT THIS DRAFT PLAN OF SUBDIVISION TO THE TOWN OF OAKVILLE FOR APPROVAL.

SIGNED:  DATE: December 19, 2019

Pablo L. Muzozcos  
Argo (West Morrison Creek) Limited  
4900 Palladium Way, Suite 105  
Burlington, Ontario L7M 0W7

#### SURVEYOR'S CERTIFICATE

I HEREBY CERTIFY THAT THE BOUNDARIES OF THE LANDS TO BE SUBDIVIDED AS SHOWN ON THIS PLAN AND THEIR RELATIONSHIP TO ADJACENT LANDS ARE CORRECTLY AND ACCURATELY SHOWN.

SIGNED:  DATE: November 25, 2019

Ron Quenelin, OLS, OLP  
**J.D. BARNES** SURVEYOR  
LAND INFORMATION SPECIALISTS  
1000 EASTERN AVENUE, SUITE 100, OAKVILLE, ONTARIO L6H 5K7  
(905) 846-8888

#### ADDITIONAL INFORMATION (UNDER SECTION 51 (17) OF THE PLANNING ACT)

- A) SHOWN ON PLAN
- B) SHOWN ON PLAN
- C) SHOWN ON PLAN
- D) SHOWN ON PLAN
- E) SHOWN ON PLAN
- F) SHOWN ON PLAN
- G) SHOWN ON PLAN
- H) MUNICIPAL AND PIPED WATER TO BE PROVIDED
- I) CLAY LOAM
- J) SHOWN ON PLAN
- K) SANITARY AND STORM SEWERS TO BE PROVIDED
- L) SHOWN ON PLAN

#### LAND USE SCHEDULE

Land Use	Lots/Blocks	Lot/Block Total	Area (ha)	Units
□ Single Detached (12.2m)	1, 2, 4-12, 25, 26, 28-31, 33-41, 43-47, 49-51, 53-55, 58-63, 72-76	49	1.45	49
○ Single Detached (10.4m)	3, 24, 27, 48, 77, 78	6	0.17	6
△ Single Detached (13.4m)	13-16, 32, 42, 52, 57, 64, 69-71, 79-88	22	0.92	22
○ Single Detached (15.24m)	17-23, 65-68	11	0.40	11
Rear Lane Townhouses (4.6m)	89-96	8	0.70	40
Street Townhouses (6.1m)	97-103	7	0.78	42
Back-to-Back Townhouses (6.4m)	104-106	3	0.39	40
Mixed Use	107	1	0.26	TBD
Natural Heritage System (NHS)	108-112	5	2.28	
SWM Pond	113	1	2.13	
Residential Reserve	114-118	5	0.51	
Walkway (3m)	119	1	0.01	
0.3m Reserve	120-122	3	0.00	
Road Widening	123	1	0.17	
11m ROW (215m)			0.24	
17m ROW (1,048m)			1.76	
19m ROW (116m)			0.24	
22m ROW (64m)			0.16	
<b>Total</b>	<b>123</b>	<b>123</b>	<b>12.57</b>	<b>210</b>

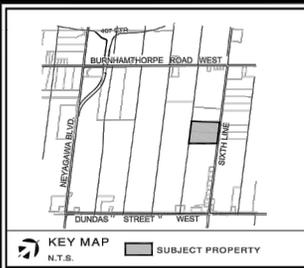
- NOTES:
- Pavement illustration is diagrammatic
  - Connector to Connector or Avenue daylight triangle = 7.5m
  - Local to Local or Collector daylight triangle = 3.5m



SCALE 1:2500 March 16, 2020  
DRAWN BY: SE CHECKED BY: KC  A



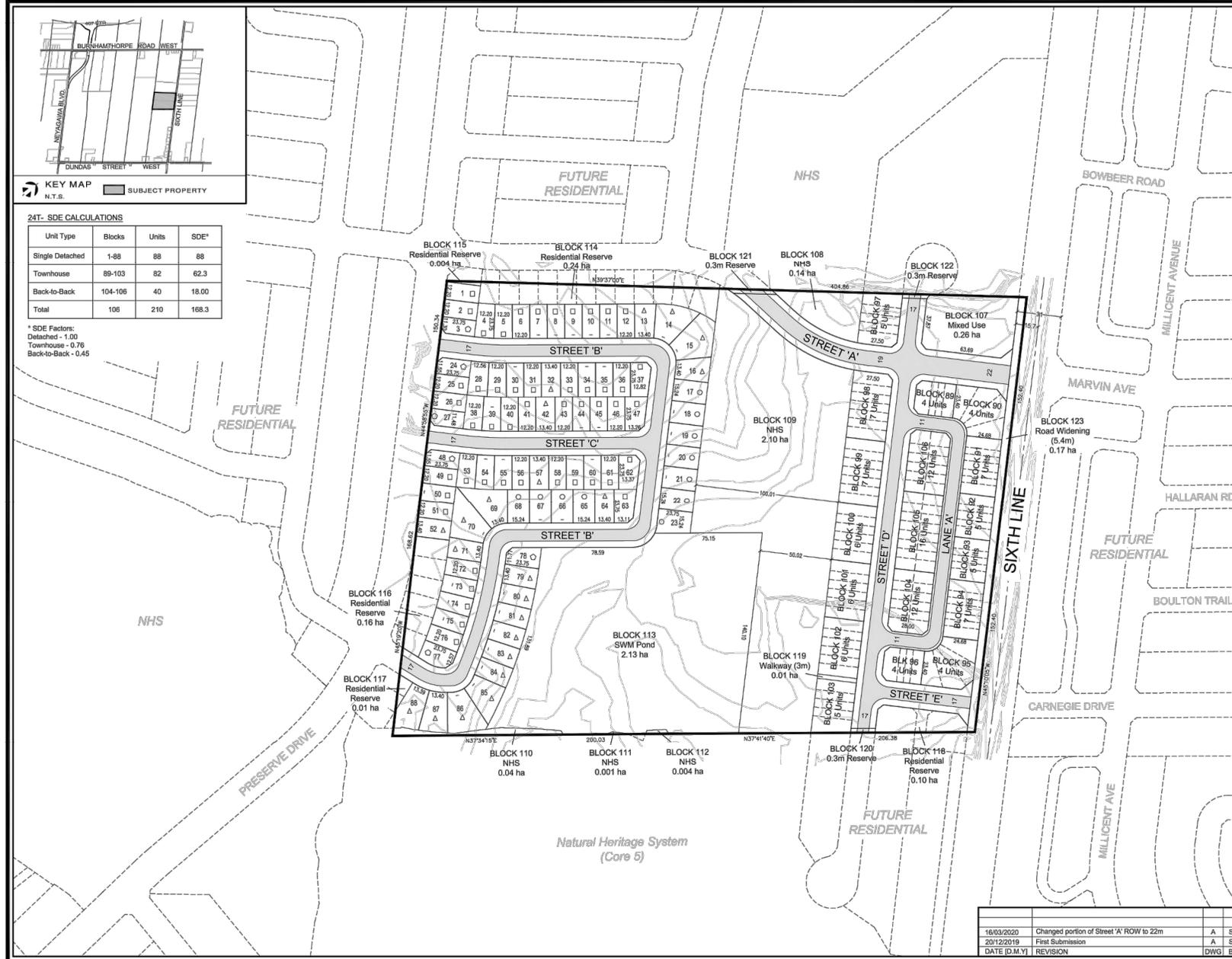
DATE (D.M.Y)	REVISION	DWG	BY
16/03/2020	Changed portion of Street 'A' ROW to 22m	A	SE
20/12/2019	First Submission	A	SE
		DWG	BY



24T- SDE CALCULATIONS

Unit Type	Blocks	Units	SDE*
Single Detached	1-88	88	88
Townhouse	89-103	82	62.3
Back-to-Back	104-106	40	18.00
<b>Total</b>	<b>106</b>	<b>210</b>	<b>168.3</b>

\* SDE Factors:  
Detached - 1.00  
Townhouse - 0.76  
Back-to-Back - 0.45



S:\Korsiak & Company\ARGO\West Morrison\Draft Plan\Mar 20\Argo West Morrison - Draft Plan - Mar 16 20\_24T\_se.dwg



# Figure 4

## NORTH OAKVILLE EAST MASTER PLAN



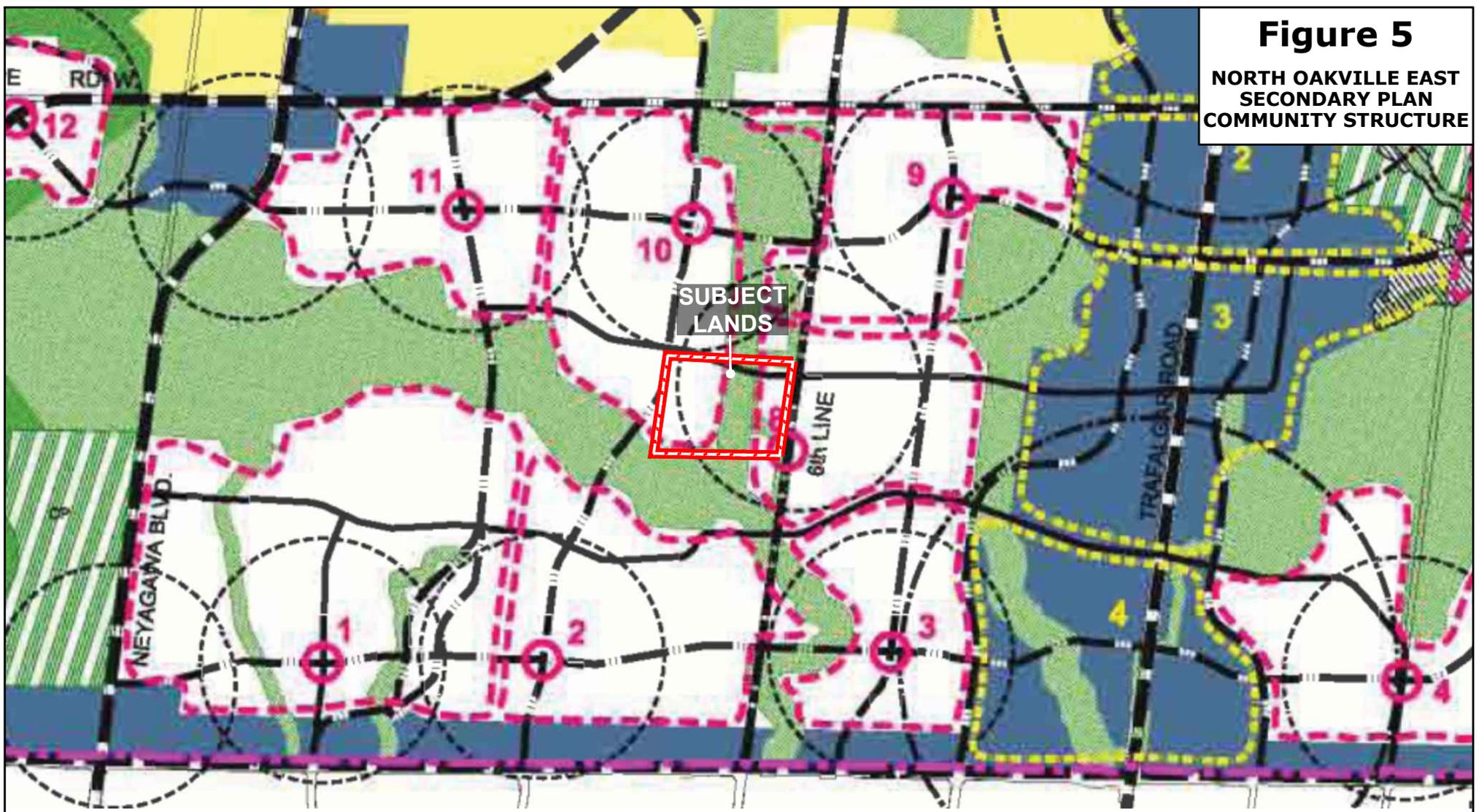
### LEGEND

	SECONDARY PLAN AREA BOUNDARY		INSTITUTIONAL AREA		UTILITY CORRIDOR
	OAKVILLE / MILTON MUNICIPAL BOUNDARY		STORMWATER MANAGEMENT FACILITY		NEIGHBOURHOOD ACTIVITY NODE
	TRANSITWAY		COMMUNITY PARK AREA		CEMETERY AREA
	DUNDAS STREET URBAN CORE AREA		NEIGHBOURHOOD PARK AREA		NEIGHBOURHOOD CENTRE AREA
	NEYAGAWA BLVD. URBAN CORE AREA		VILLAGE SQUARE/URBAN SQUARE		GENERAL URBAN AREA
	TRAFALGAR ROAD URBAN CORE AREA		ELEMENTARY SCHOOL SITE		SUB URBAN AREA
	TRANSITIONAL AREA		SECONDARY SCHOOL SITE		HIGH DENSITY RESIDENTIAL AREA
	EMPLOYMENT AREA		JOSHUA CREEK FLOODPLAIN AREA		POLICY REFERENCE - SEE POLICY SECTION 7.4.7.2
	NATURAL HERITAGE SYSTEM AREA				



# Figure 5

## NORTH OAKVILLE EAST SECONDARY PLAN COMMUNITY STRUCTURE



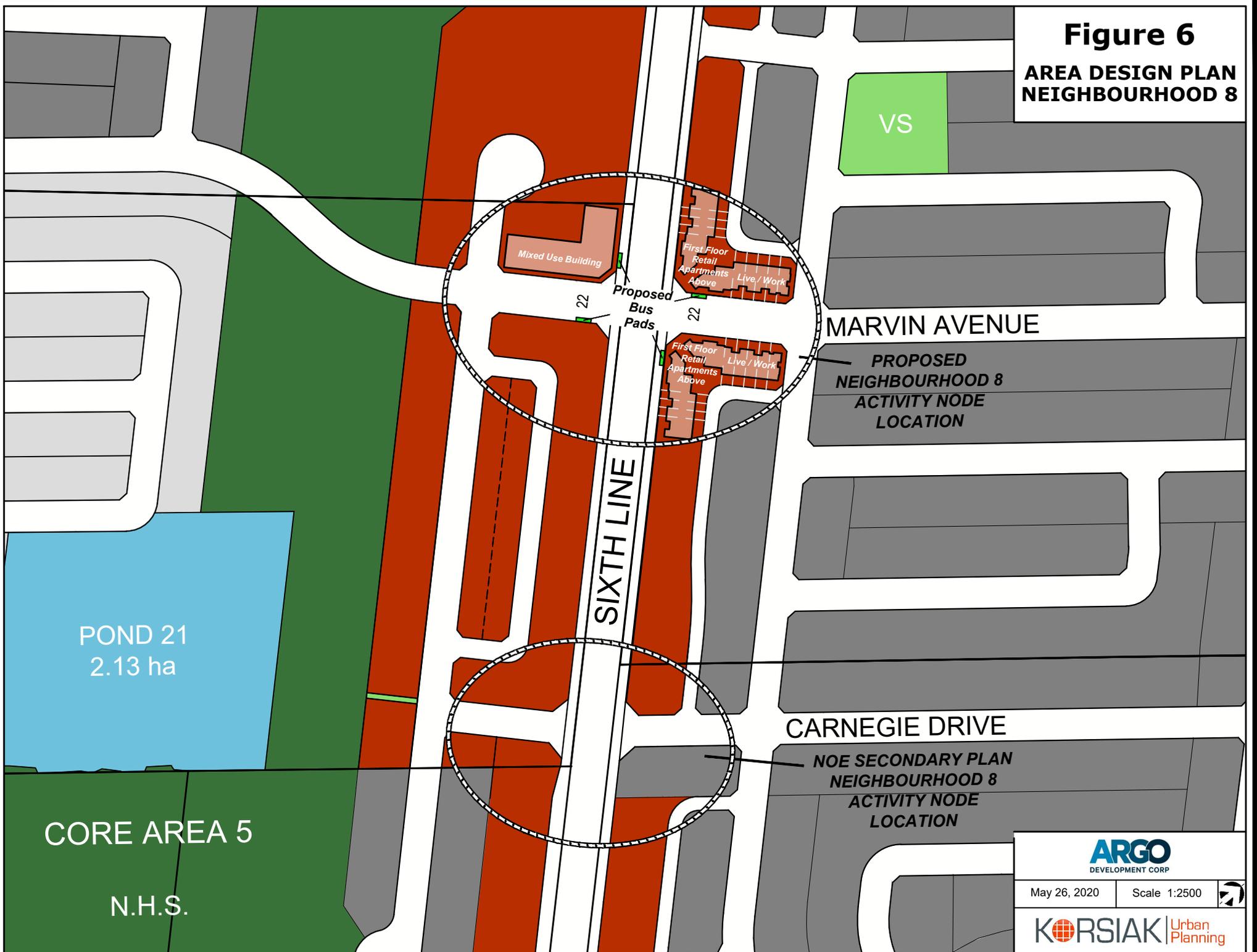
### LEGEND

- |  |   |
|--|---|
| SECONDARY PLAN AREA BOUNDARY   | FIVE MINUTE PEDESTRIAN SHED   |
| OAKVILLE / MILTON MUNICIPAL BOUNDARY                                   | TEN MINUTE PEDESTRIAN SHED  |
| PROVINCIAL FREEWAY   | NEIGHBOURHOOD CENTRAL ACTIVITY NODE                                   |
| MAJOR ARTERIAL/TRANSIT CORRIDOR  | RESIDENTIAL NEIGHBOURHOOD BOUNDARIES                                  |
| MINOR ARTERIAL/TRANSIT CORRIDOR  | TRAFALGAR URBAN CORE SUB-AREAS  |
| AVENUE/TRANSIT CORRIDOR  | URBAN CORE AREA   |
| CONNECTOR/TRANSIT CORRIDOR   | EMPLOYMENT DISTRICT   |
| TRANSITWAY   | NATURAL HERITAGE COMPONENT OF NATURAL HERITAGE AND OPEN SPACE SYSTEM  |
| UNDERLYING LAND USE NOT DETERMINED<br>subject to Section 7.4.7.1(b)(i) | OPEN SPACE COMPONENT OF NATURAL HERITAGE AND OPEN SPACE SYSTEM        |
|  | JOSHUA CREEK FLOODPLAIN AREA<br>subject to Sections 7.4.13.1 & 7.6.17 |



**Figure 6**

**AREA DESIGN PLAN  
NEIGHBOURHOOD 8**



VS

Mixed Use Building

First Floor  
Retail  
Apartments  
Above Live / Work

Proposed  
Bus  
Pads

22

22

First Floor  
Retail  
Apartments  
Above Live / Work

MARVIN AVENUE

PROPOSED  
NEIGHBOURHOOD 8  
ACTIVITY NODE  
LOCATION

SIXTH LINE

CARNEGIE DRIVE

NOE SECONDARY PLAN  
NEIGHBOURHOOD 8  
ACTIVITY NODE  
LOCATION

POND 21  
2.13 ha

CORE AREA 5

N.H.S.



May 26, 2020

Scale 1:2500



# APPENDIX I

## WEST MORRISON

### STATISTICS

HEIGHT	(2020-04-03)	
SITE AREA	8-STOREYS	
AREAS	2,658.58sm	28,616.72sf

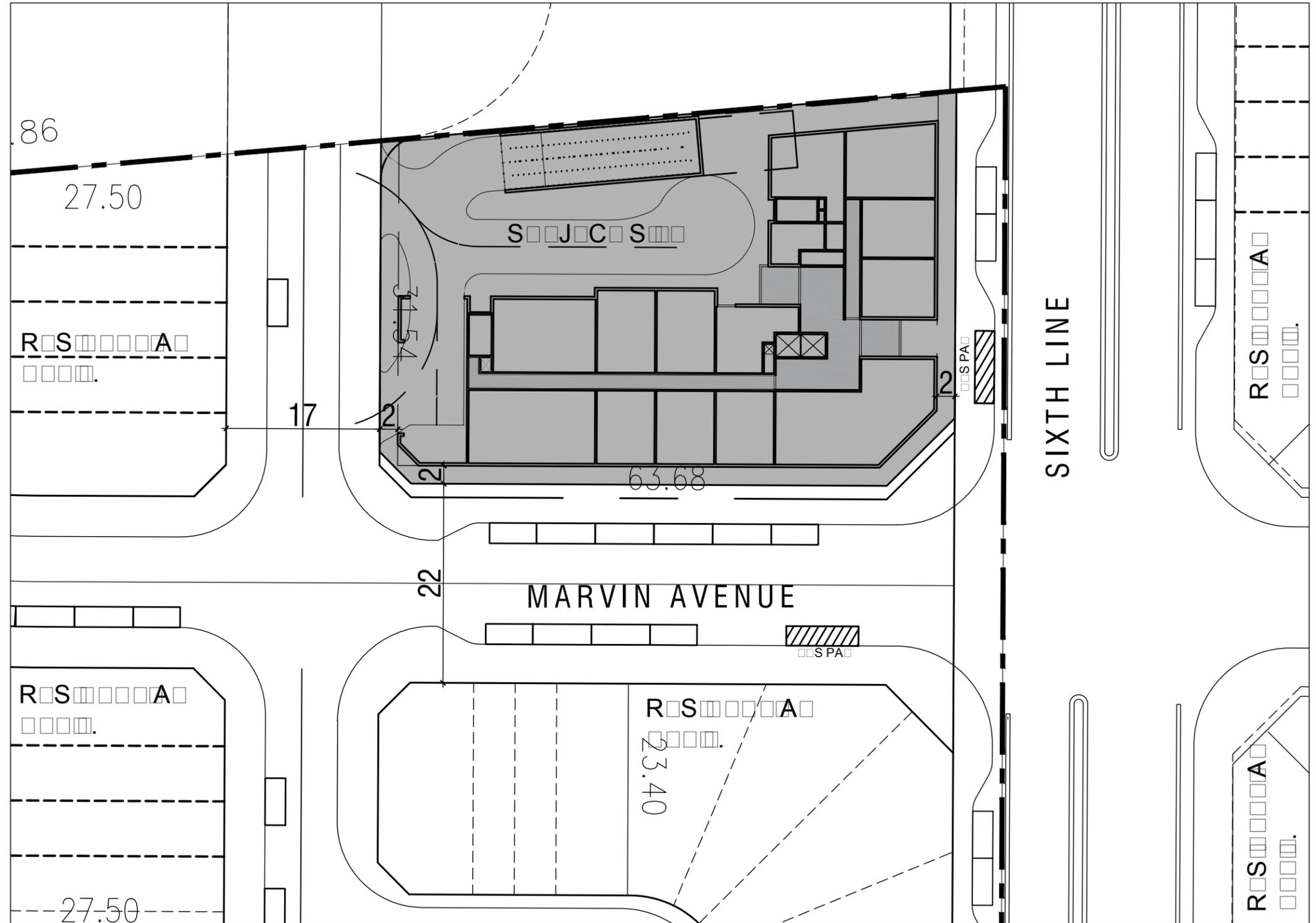
FSI  
4.18

GFA GROUND FLOOR	SQ.M.	SQ.FT.
GROUND FLOOR	1,233.50	13,277.28
GND FLR - POTENTIAL RETAIL	222.50	2,394.97
2nd FLOOR	1,450.00	15,607.67
3rd FLOOR	1,450.00	15,607.67
4th FLOOR	1,450.00	15,607.67
5th FLOOR	1,450.00	15,607.67
6th FLOOR	1,290.00	13,885.44
7th FLOOR	1,290.00	13,885.44
8th FLOOR	1,290.00	13,885.44
<b>AG</b>	<b>11,126.00sm</b>	<b>119,759.27</b>

GFA PARKING GARAGE		
P1	2,276.00	24,498.66
P2	2,276.00	24,498.66
<b>UG</b>	<b>4,552.00sm</b>	<b>48,997.32</b>
<b>TOTAL GFA</b>	<b>15,678.00sm</b>	<b>168,756.59</b>

NO. OF UNITS		
	OPTION 4	SELLABLE AREA SQ.M.
GROUND FLOOR	10	882.75
2nd FLOOR	15	1125.70
3rd FLOOR	17	1265.80
4th FLOOR	17	1265.80
5th FLOOR	17	1265.80
6th FLOOR	9	1108.70
7th FLOOR	9	1108.70
8th FLOOR	9	1108.70
<b>TOTAL</b>	<b>103</b>	<b>9,131.95sm</b>

PARKING		
<b>REQUIRED</b>		
RESIDENTIAL (x1.0)	103	
VISITORS (x0.20)	21	
<b>TOTAL</b>	<b>124</b>	
<b>PROVIDED @ U/G PARKING</b>		
P1		57
P2		67
<b>TOTAL</b>		<b>124</b>



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## Mid-Rise Building Site - SITE PLAN AND BUILDING STATS

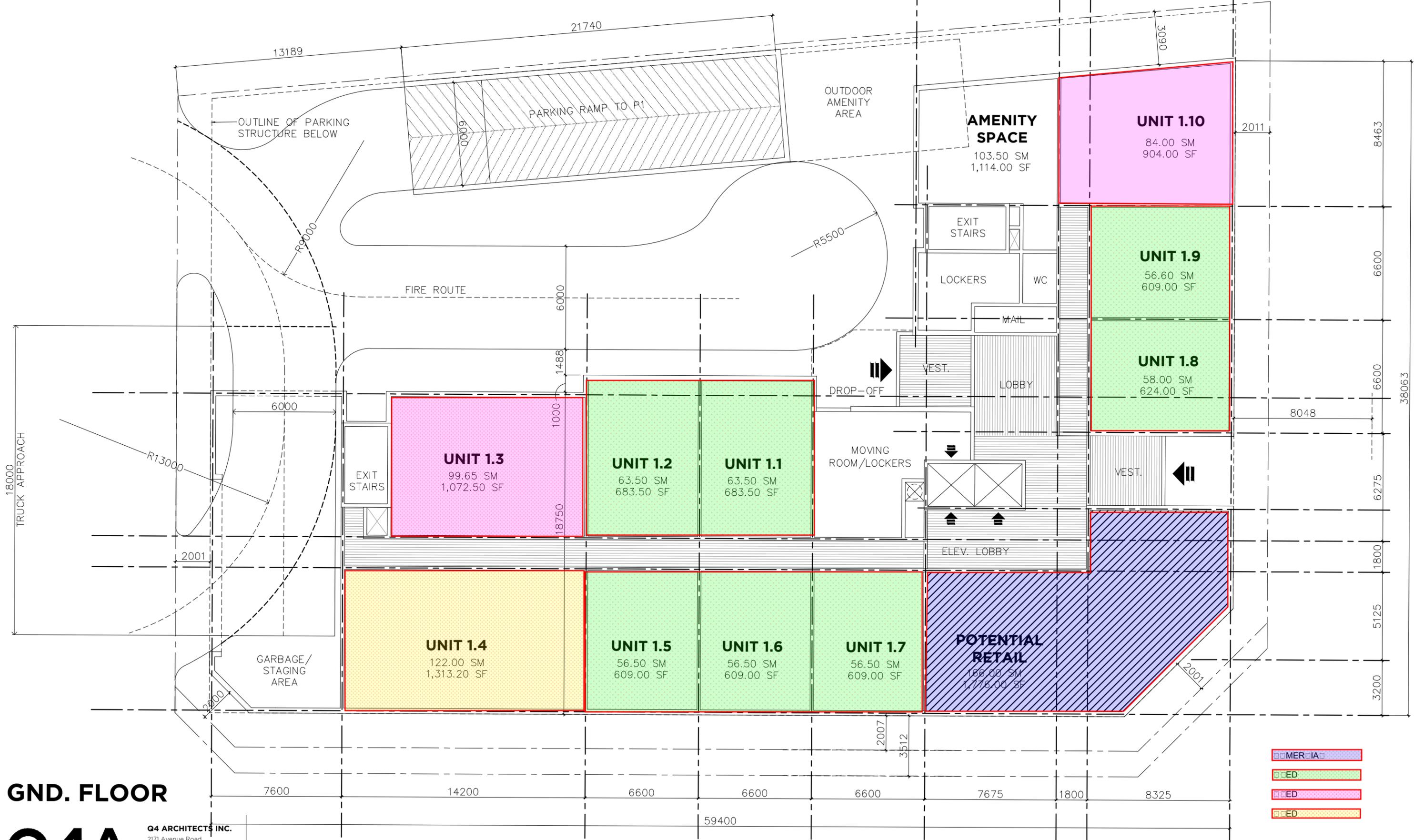
WEST MORRISON FEASIBILITY STUDY

Proj. No. 18027  
Scale 1:500

Date 2020.04.22  
Client ARGO LAND

**A-0**

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MERIDIA  
CED  
ED  
ED

**GND. FLOOR**

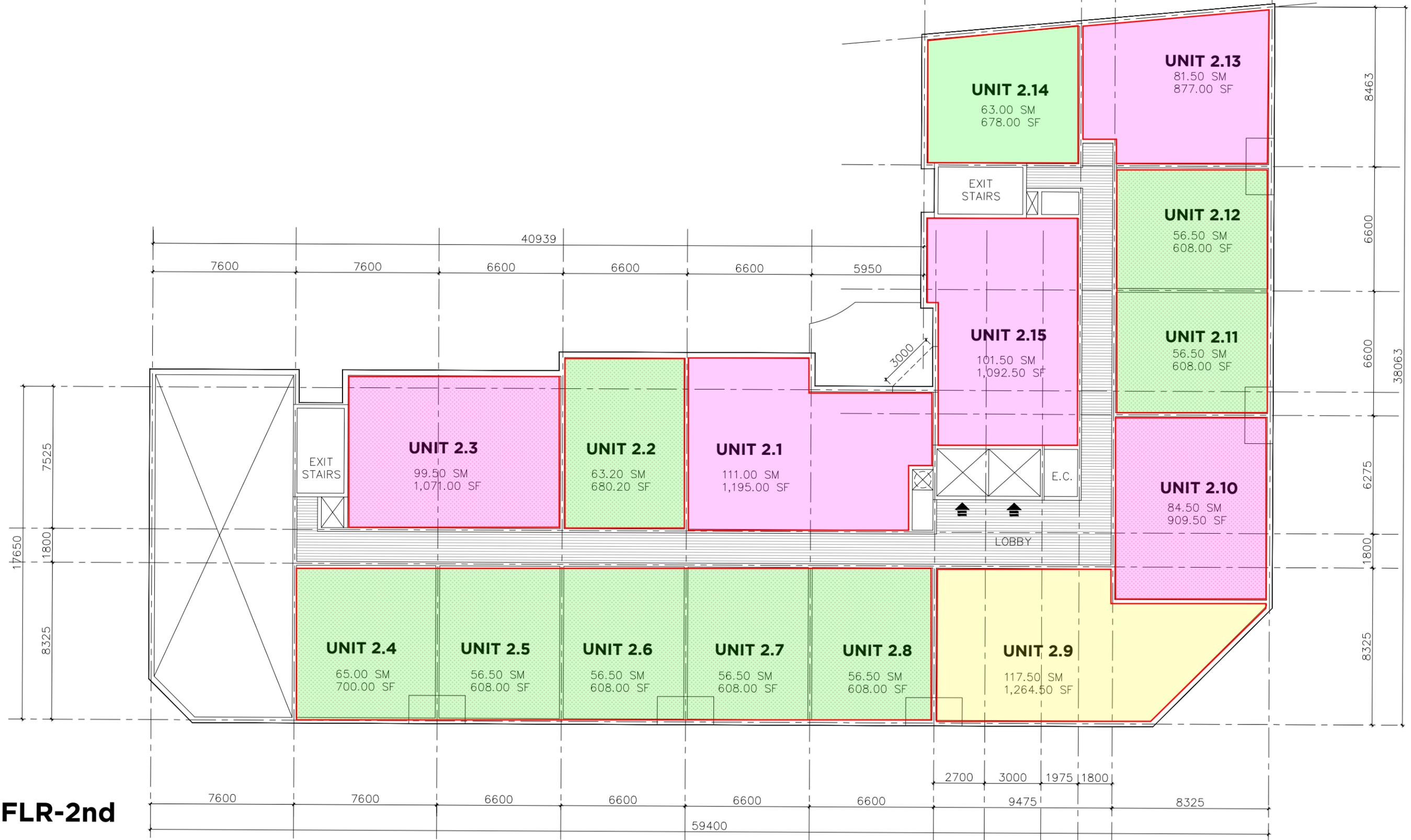


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**Mid-Rise Building Site - GROUND FLOOR PLAN**  
**WEST MORRISON FEASIBILITY STUDY**

Proj. No. 18027  
 Scale 1:500  
 Date 2020.04.03  
 Client ARGO LAND

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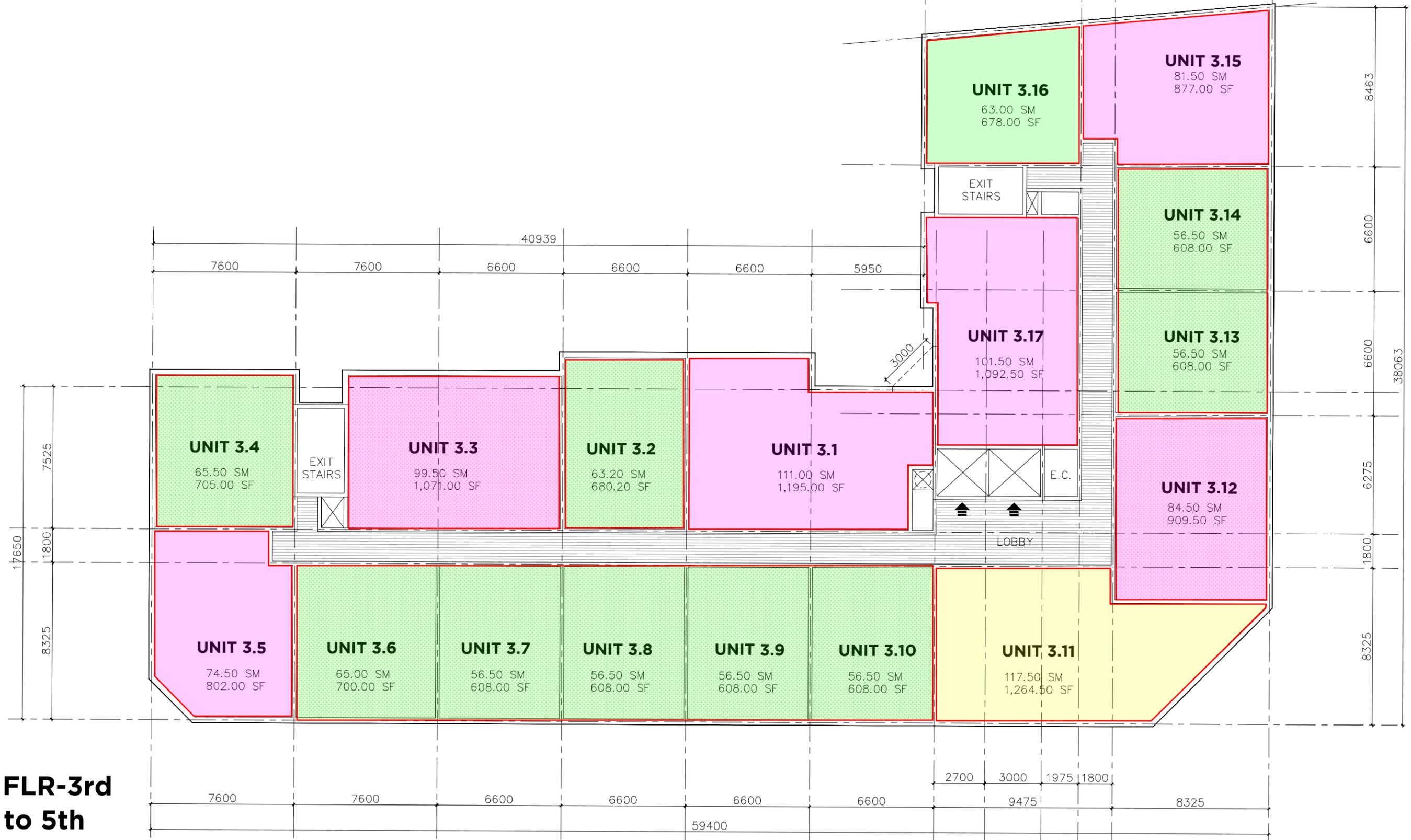
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**Mid-Rise Building Site - 2nd FLOOR**  
**WEST MORRISON FEASIBILITY STUDY**

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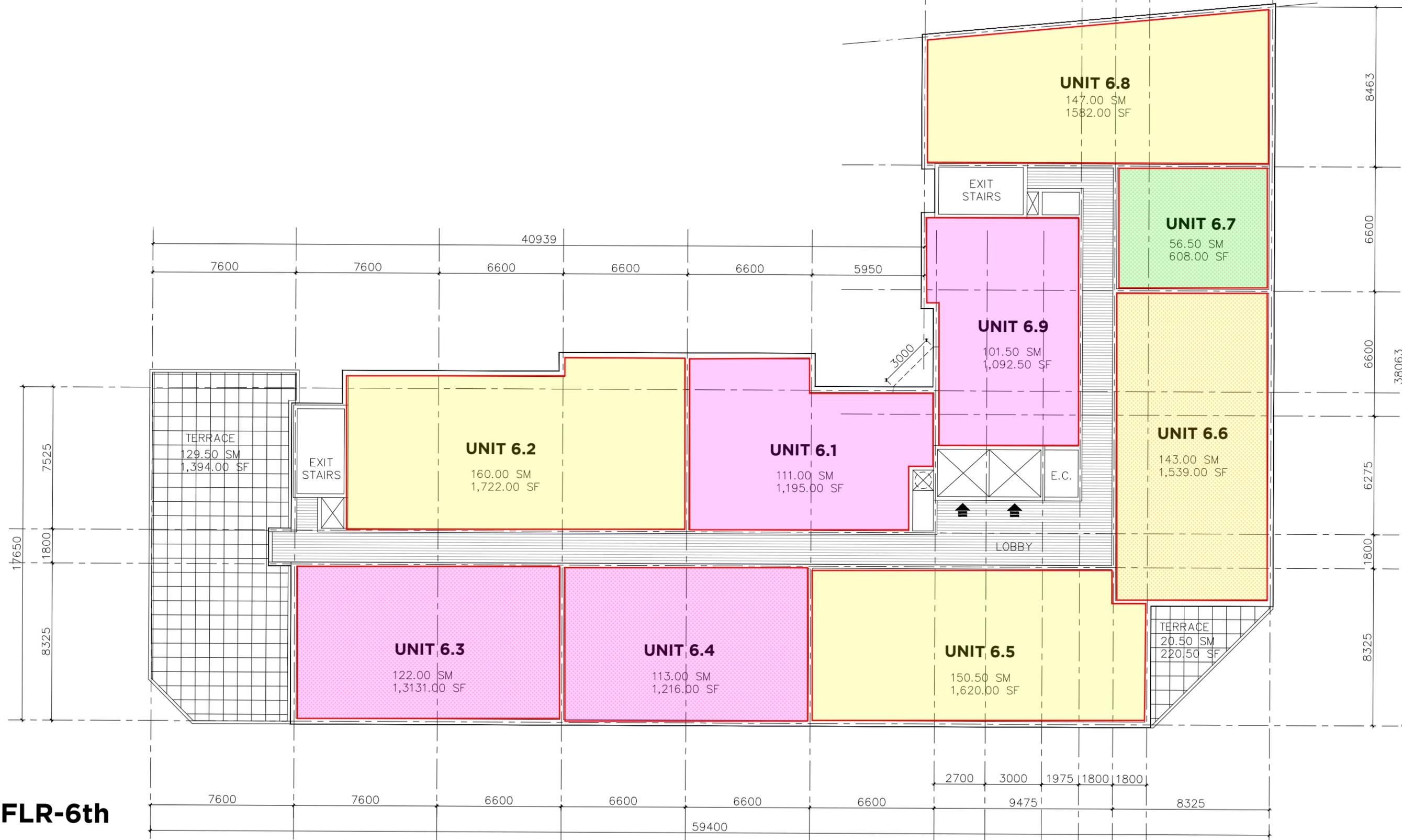
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**Mid-Rise Building Site - 3rd to 5th FLOOR**  
**WEST MORRISON FEASIBILITY STUDY**

Proj. No. 18027  
 Scale 1:500

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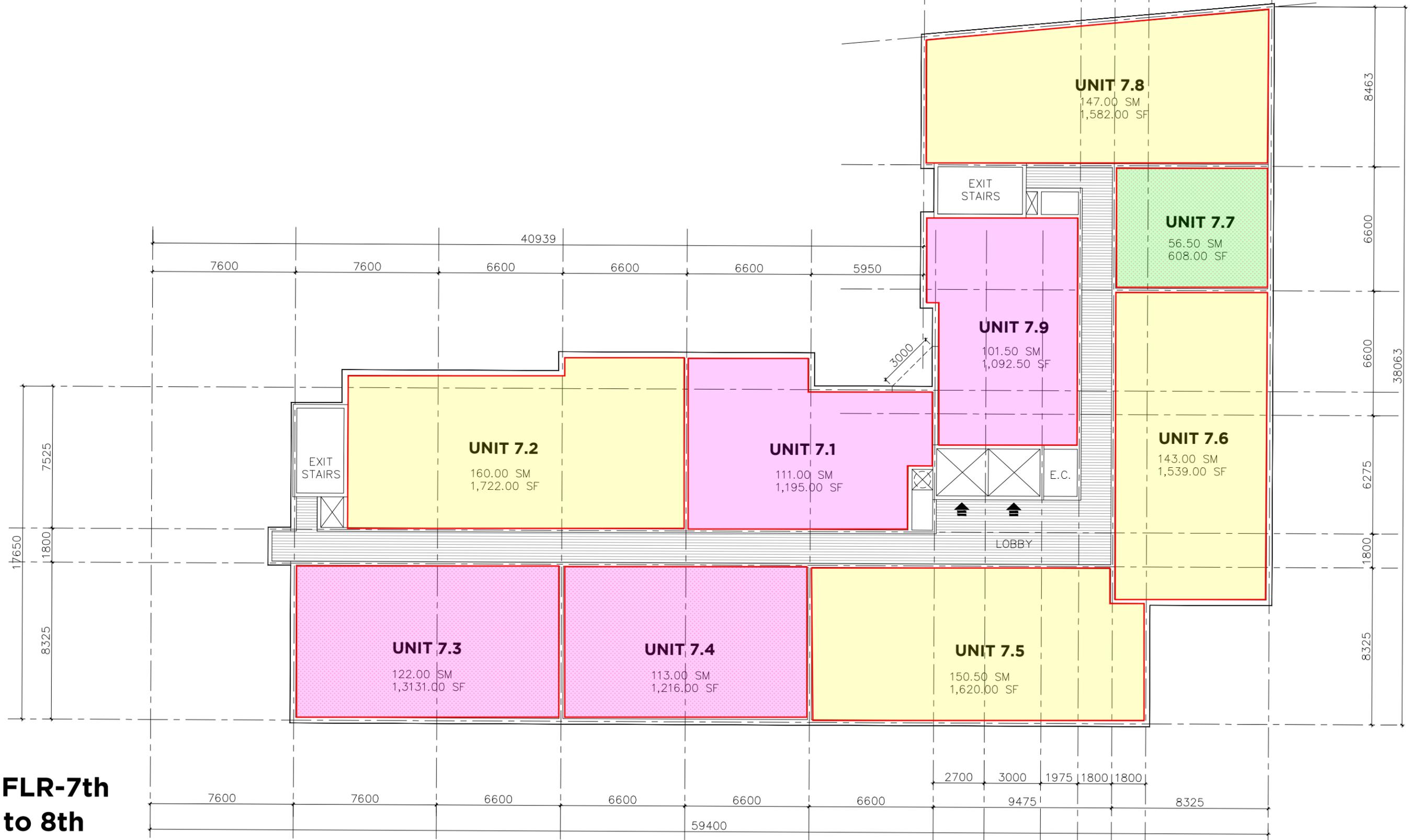
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**Mid-Rise Building Site - 6th FLOOR - Terraces**  
**WEST MORRISON FEASIBILITY STUDY**

Proj. No. 18027  
 Scale 1:500

Date 2020.04.03  
 Client ARGO LAND



**FLR-7th  
to 8th**



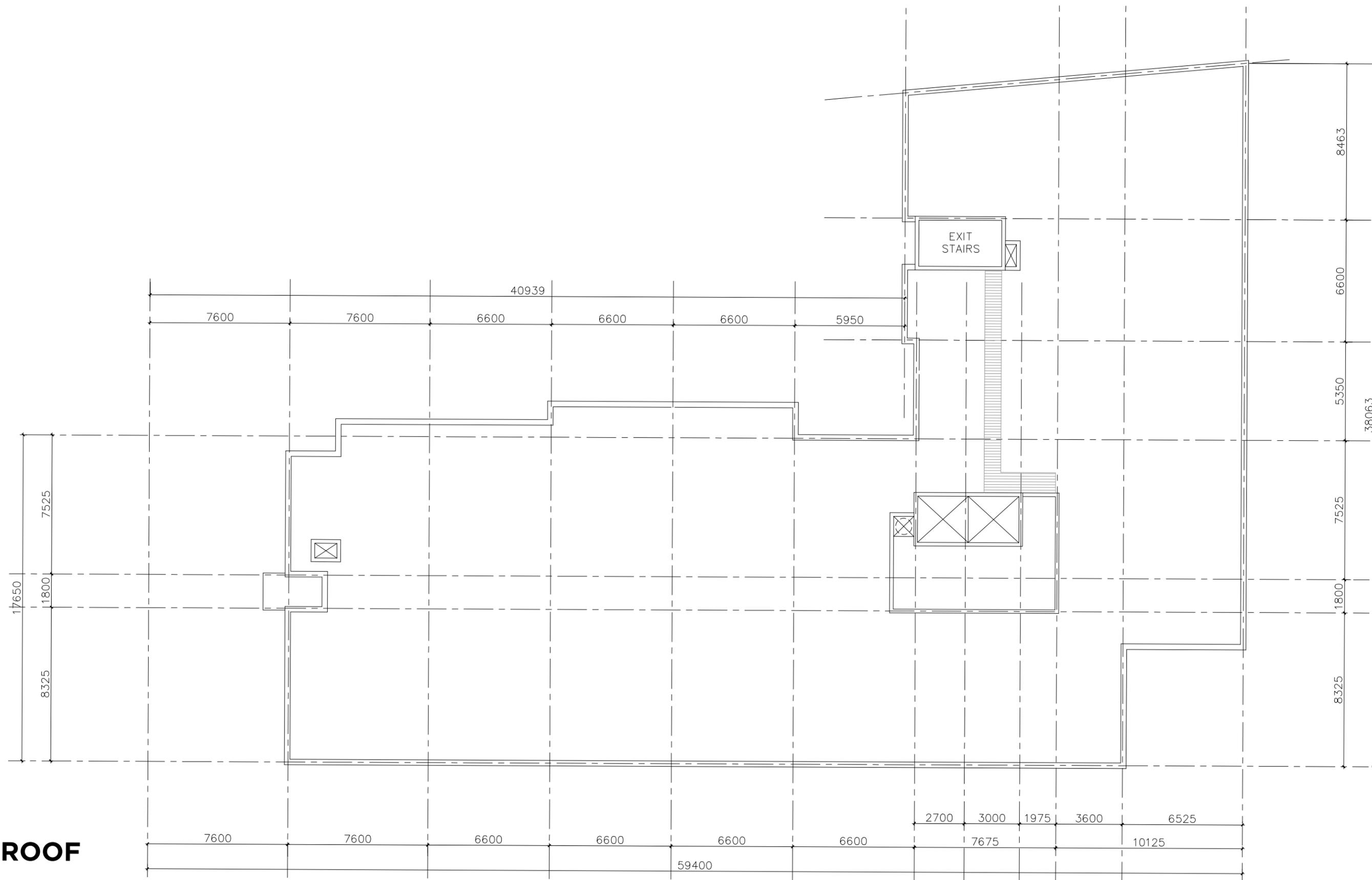
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**Mid-Rise Building Site - 7th to 8th FLOOR**  
**WEST MORRISON FEASIBILITY STUDY**

Proj. No. 18027  
Scale 1:500

Date 2020.04.03  
Client ARGO LAND



**ROOF**



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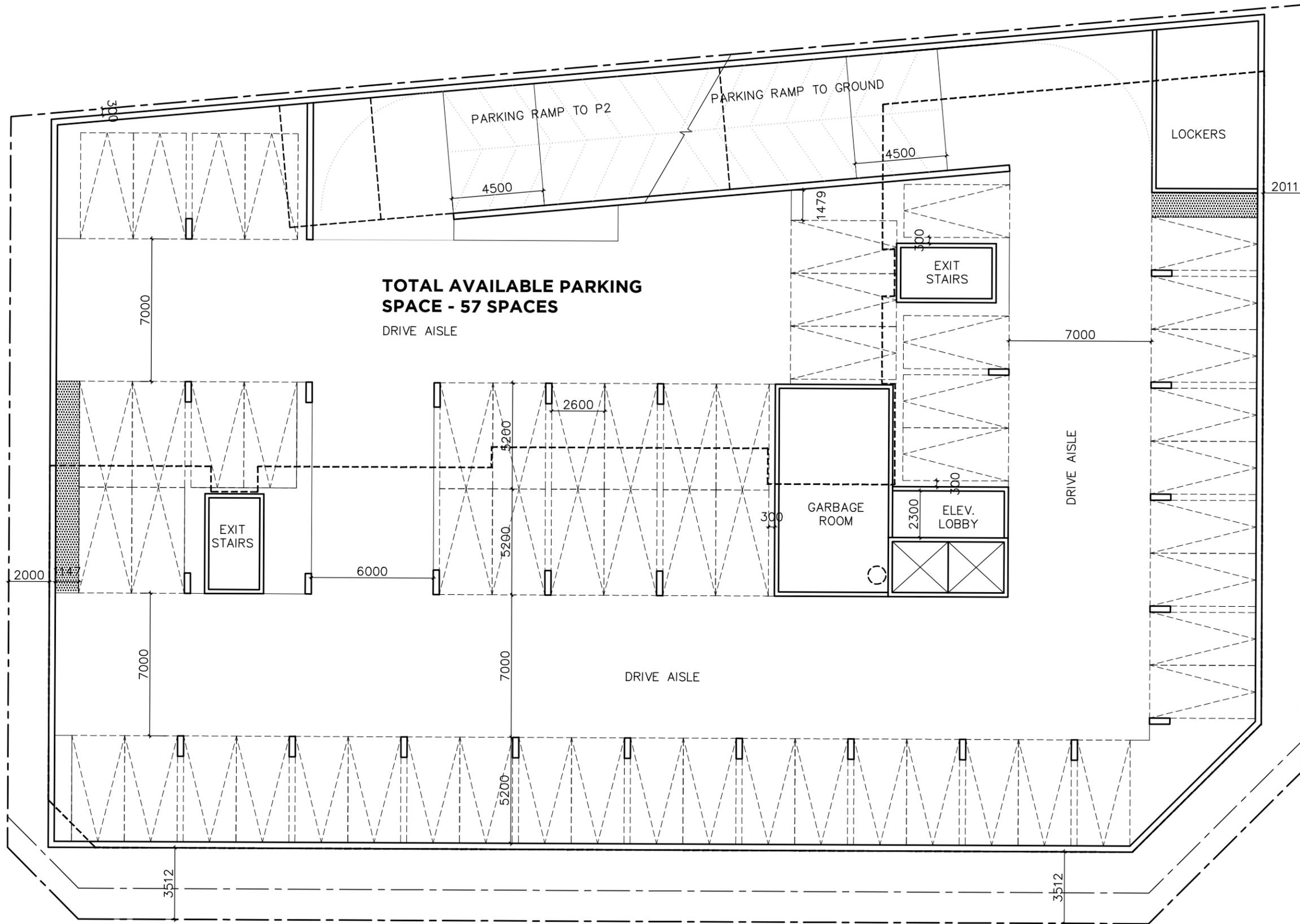
**Mid-Rise Building Site - ROOF**  
**WEST MORRISON FEASIBILITY STUDY**

Proj. No. 18027  
 Scale 1:500

Date 2020.04.03  
 Client ARGO LAND

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**AREA = 2,276 SM**  
**#SPACES = 57**



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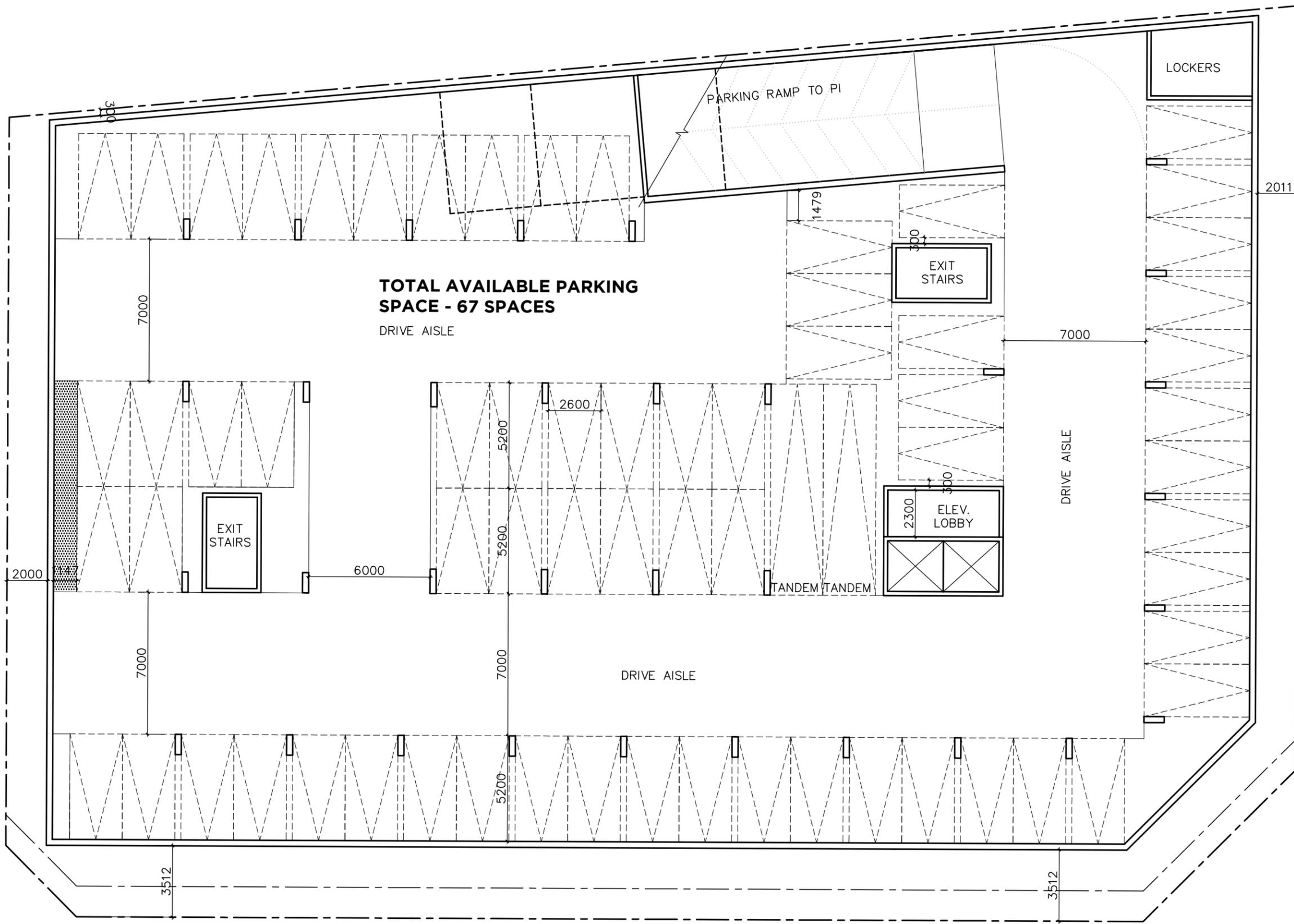
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**Mid-Rise Building Site - U/G PARKING LEVEL**  
**WEST MORRISON FEASIBILITY STUDY**

Proj. No. 18027  
 Scale 1:200

Date 2020.04.03  
 Client ARGO LAND

**AREA = 2,276 SM**  
**#SPACES = 67**



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**Mid-Rise Building Site - U/G PARKING LEVEL**  
**WEST MORRISON FEASIBILITY STUDY**

Proj. No.	18027	Date	2020.04.03
Scale	1:200	Client	ARGO LAND

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## APPENDIX II: NEW PROVINCIAL POLICIES APPLICABLE TO THE PROPOSAL

The following sections and which contain new or revised policies of the PPS are applicable to this proposal:

Policies in the ‘Settlement Areas’ section state:

*1.1.3.2 [...] Land use patterns within settlement areas shall also be based on a range of land uses and opportunities for intensification and redevelopment in accordance with the criteria in policy 1.1.3.3, where this can be accommodated.*

*1.1.3.3 Planning authorities shall identify appropriate locations and promote opportunities for transit-supportive development, accommodating a significant supply and range of housing options through intensification and redevelopment where this can be accommodated taking into account existing building stock or areas, including brownfield sites, and the availability of suitable existing or planned infrastructure and public service facilities required to accommodate projected needs.*

The proposed development conforms to the ‘Settlement Areas’ policies as the location of the development is within a defined Settlement Area and provides transit-supportive development and increased densities along an identified transit corridor, an appropriate location for intensification.

Policies in the ‘Housing’ section state:

*1.4.3 Planning authorities shall provide for an appropriate range and mix of housing options and densities to meet projected market-based and affordable housing needs of current and future residents of the regional market area by:*

*e) requiring transit-supportive development and prioritizing intensification, including potential air rights development, in proximity to transit, including corridors and stations;*

By proposing a height of 8-storeys and a density of 396 uph and an FSI of 4.2, the proposal ensures that appropriate transit supportive development is sited along an identified transit corridor (Sixth Line).

**Official Plan Amendment Number \_\_\_\_**  
**to the North Oakville East Secondary Plan**  
forming part of the Official Plan of the Oakville Planning Area  
of the Town of Oakville

## **Constitutional Statement**

The details of the Amendment, as contained in Part 2 of this text, constitutes Amendment Number \_\_\_\_ to the North Oakville East Secondary Plan forming part of the Official Plan of the Oakville Planning Area.

## **Part 1 – The Preamble**

### **1. Purpose**

The purpose of the proposed Official Plan Amendment is to modify the text of the North Oakville East Secondary Plan to permit an increase in height and density of up to 8-storeys and 4.2 FSI to facilitate the construction of one 8-storey mixed-use buildings.

### **2. Location**

The site subject to this Official Plan Amendment is legally known as Part of Lot 16, Concession 1, N.D.S. The property comprises an area of 0.26 hectares on the west side of Sixth Line, between Dundas Street West and Burnhamthorpe Road West.

### **3. Basis**

- The proposed development has regard for matters of provincial interest, does not conflict with all applicable provincial plans, the Region of Halton Official Plan and conforms to the North Oakville East Secondary Plan.
- A statutory public meeting on the proposed Official Plan Amendment was held on \_\_\_\_\_.
- Mixed-use buildings are a permitted use in the Neighbourhood Area land use designation of the North Oakville East Secondary Plan and a requirement at the intersection of a Neighbourhood Activity Node.
- The proposed design of the mixed-use building is contextually appropriate, to minimize impact and maintain compatibility with the surrounding land uses.
- An updated Traffic Impact Analysis has confirmed that the traffic generated by the proposed development can be accommodated on the existing and planned road network.

- An Urban Design Brief demonstrates compatibility with the objectives of the North Oakville Urban Design and Open Space Guidelines
- The property is located on Sixth Line, a minor arterial which is an identified Transit Corridor at local levels.
- The proposed density of the development is transit supportive and contributes to the overall objective to reduce reliance on vehicle trips in North Oakville.
- Detailed regulations to implement the proposed development have been established through the associated site-specific Zoning By-law Amendment.

**Part 2 – The Amendment**

**A. Text Changes**

The amendment includes the changes to the text of the North Oakville East Secondary Plan listed in the following table. Text that is **bolded and underlined** is new text to be inserted into the North Oakville East Secondary Plan.

Item No.	Section	Description of Change
1.	<b>7.6.18</b> EXCEPTIONS	Insert new policies as follows:  <u><b>7.6.18.XXX Part of Lot 16, Concession 1</b></u>  <u><b>Notwithstanding section 7.6.7.1.c), a mixed-use building with a maximum height of 8-storeys and a floor space index (FSI) of 4.2, is permitted on Block 107 (24T-20001/1316), Part of Lot 16, Concession 1, NDS.</b></u>



**THE CORPORATION OF THE TOWN OF OAKVILLE**

**BY-LAW NUMBER 2020-XXX**

A by-law to amend the North Oakville Zoning By-law 2009-189 to permit the use of lands described as Part of Lot 16, Concession 1, N.D.S., Town of Oakville (ARGO (West Morrison Creek) Limited, File No.Z.1316.07)

**COUNCIL ENACTS AS FOLLOWS:**

1. Map 12(4) of By-law 2009-189 is amended by rezoning the lands as depicted on Schedule 'A' to this By-law.
2. Section 8, Special Provisions, of By-law 2009-189, as amended, is further amended by adding a new Section 8.\* , 8.\*\* , 8.\*\*\* , and 8.\*\*\*\*as follows:

<b>8.*</b>	<b>Part of Lot 16, Concession 1, NDS</b> (ARGO (West Morrison Creek) Limited))		Parent Zone: NC-2
Map 12(4)			(2020-XXX)
<b>8.*.1 Zone Regulations for All Lands</b>			
The following regulations apply to all <i>buildings</i> :			
a)	The <i>lot line</i> abutting Sixth Line shall be deemed to be the <i>front lot line</i>		
b)	Any podium, stepped back, or terraced portions of a <i>building</i> are permitted below the minimum <i>height</i>		
c)	Maximum <i>Floor Space Index</i> of a <i>mixed use building</i>	4.2 FSI	
d)	Maximum <i>height</i> of a <i>mixed use building</i>	8 storeys	
e)	Designated residential visitor <i>parking spaces</i> may be counted toward non-residential <i>parking spaces</i> and may be provided in any combination.		
f)	The maximum <i>building height</i> shall not apply to the portion of the building used access the rooftop amenity area.		
g)	The maximum building height shall not apply to <i>accessory structures</i> associated with the roof top amenity area .		

h)	Section 4.14.1 does not apply to <i>accessory structures</i> associated with the rooftop amenity area so long as they comply with the setback requirements of the main building and are located within the rooftop amenity area.
----	--

8.**	<b>Part of Lot 16, Concession 1, NDS</b> (ARGO (West Morrison Creek) Limited))		Parent Zone: NC
Map 12(4)			(2020-XXX)
<b>8.**.1 Additional Permitted Building Type</b>			
a)	<i>Stacked Townhouse Dwelling</i> including each <i>dwelling unit</i> having an independent entrance.		
<b>8.**.2 Zone Regulations for All Lands</b>			
The following regulations apply to all <i>buildings</i> :			
a)	Section 4.17.1 i) shall not apply.		
b)	Minimum Lot Width	4.6 m	
c)	Notwithstanding Section 4.17.2 i) minimum amenity area for townhouse dwellings	9m <sup>2</sup>	
d)	Notwithstanding the maximum width in Table 4.21(g), the maximum width of Bay, Box Out and Bow Windows with or without foundations which may be a maximum of three <i>storeys</i> in height and which may include a door.	3.7 m	
e)	Notwithstanding Section 4.27, a <i>porch</i> shall have walls that are open and unenclosed for at least 40% of the total area of the vertical planes forming its perimeter, other than where it abuts the exterior of the <i>building</i> or insect screening.		
f)	Notwithstanding Section 4.27, for <i>corner lots</i> , a <i>porch</i> shall have a minimum depth from the exterior of the <i>building</i> to the outside edge of the <i>porch</i> of 1.5 metres. Required depths shall be provided for a minimum of 40% of the <i>porch</i> . However, steps may encroach into the required depth.		
g)	Any podium, stepped back, or terraced portions of a <i>building</i> are permitted below the minimum <i>height</i>		

<b>8.***</b>	<b>Part of Lot 16, Concession 1, NDS</b> (ARGO (West Morrison Creek) Limited))	Parent Zone: GU
Map 12(4)		(2020-XXX)
<b>8.***.1 Zone Regulations for All Lands</b>		
The following regulations apply to all lands identified as subject to this special provision:		
a)	Notwithstanding the maximum width in Table 4.21(g), the maximum width of Bay, Box Out and Bow Windows with or without foundations which may be a maximum of three <i>storeys</i> in height and which may include a door.	3.7 m
b)	Notwithstanding Section 4.27, for <i>corner lots</i> , a <i>porch</i> shall have a minimum depth from the exterior of the <i>building</i> to the outside edge of the <i>porch</i> of 1.5 metres. Required depths shall be provided for a minimum of 40% of the <i>porch</i> . However, steps may encroach into the required depth.	
c)	Notwithstanding Section 4.27, a <i>porch</i> shall have walls that are open and unenclosed for at least 40% of the total area of the vertical planes forming its perimeter, other than where it abuts the exterior of the <i>building</i> or insect screening.	
e)	Notwithstanding the minimum <i>rear setback yard</i> in Section 7.7.2, the minimum <i>rear yard setback</i> for a <i>single detached dwelling street access attached private garage</i>	6.0 m
f)	Notwithstanding Table 7.7.2, a two storey addition may project into the rear yard with a minimum setback of 4.5 metres for a maximum of 45% of the dwelling width measured at the rear of the main building.	

<b>8.****</b>	<b>Part of Lot 16, Concession 1, NDS</b> (ARGO (West Morrison Creek) Limited))	Parent Zone: S
Map 12(4)		(2020-XXX)
<b>8.****.1 Zone Regulations for All Lands</b>		
The following regulations apply to all lands identified as subject to this special provision:		

a)	Notwithstanding the maximum width in Table 4.21(g), the maximum width of Bay, Box Out and Bow Windows with or without foundations which may be a maximum of three <i>storeys</i> in height and which may include a door.	3.7 m
b)	Notwithstanding Section 4.27, for <i>corner lots</i> or lots abutting the Stormwater Management Facility (SWF), a <i>porch</i> shall have a minimum depth from the exterior of the <i>building</i> to the outside edge of the <i>porch</i> of 1.5 metres. Required depths shall be provided for a minimum of 40% of the <i>porch</i> . However, steps may encroach into the required depth.	
c)	Notwithstanding Section 4.27, a <i>porch</i> shall have walls that are open and unenclosed for at least 40% of the total area of the vertical planes forming its perimeter, other than where it abuts the exterior of the <i>building</i> or insect screening.	
e)	Notwithstanding the minimum <i>rear setback yard</i> in Section 7.7.2, the minimum <i>rear yard setback</i> for a <i>single detached dwelling street access attached private garage</i>	6.0 m
f)	Notwithstanding Table 7.7.2, a two storey addition may project into the rear yard with a minimum setback of 4.5 metres for a maximum of 45% of the dwelling width measured at the rear of the main building.	

3. This By-law comes into force in accordance with Section 34 of the *Planning Act*, R.S.O. 1990, c. P.13, as amended.

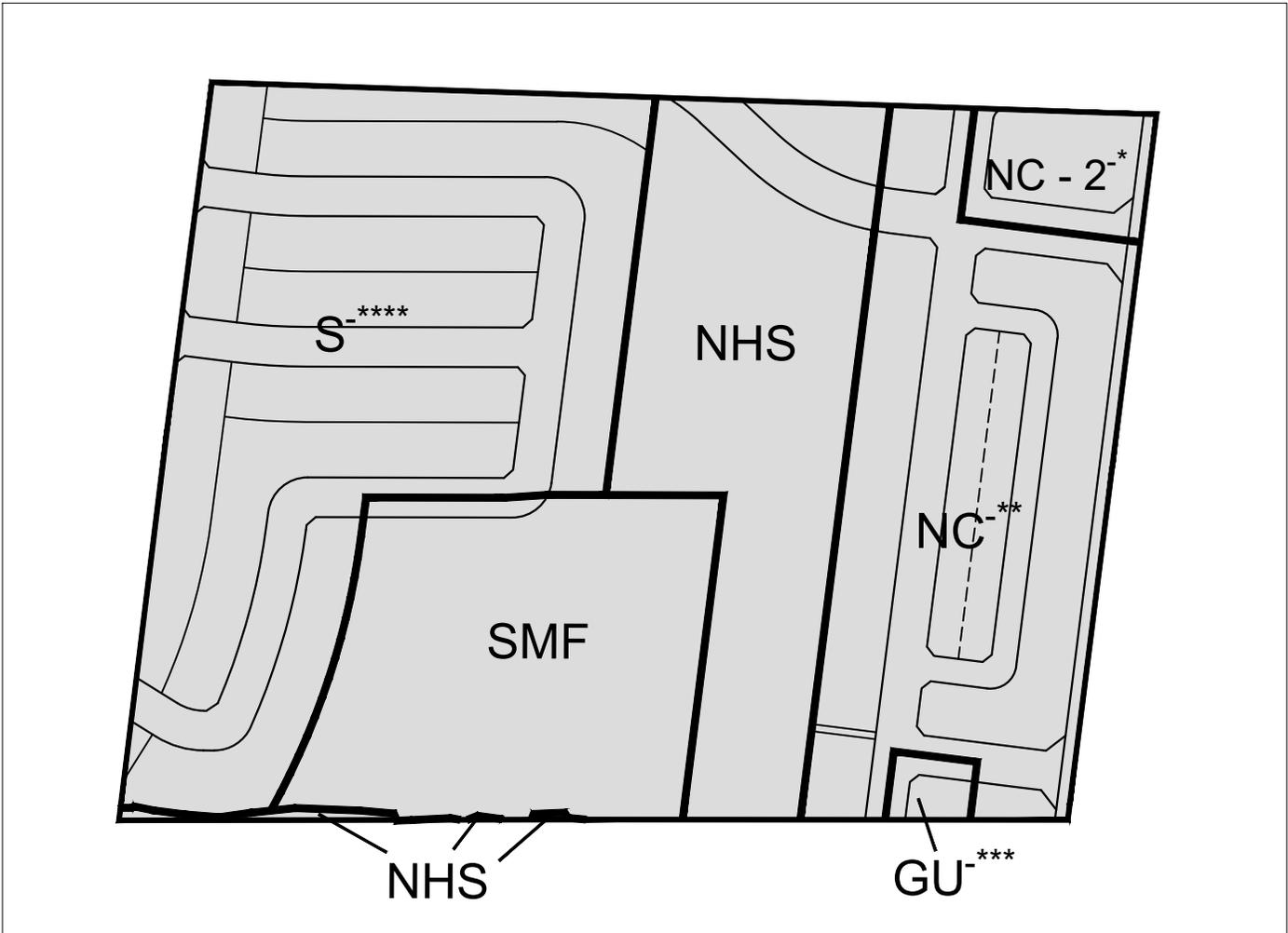
PASSED this XX<sup>th</sup> day of \_\_\_\_\_, 2020

\_\_\_\_\_  
MAYOR

\_\_\_\_\_  
CLERK



Schedule "A" To 2020 - \*\*\*

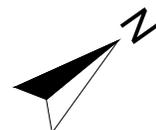


AMENDMENT TO BY-LAW 2009-189



Re-zoned From: Existing Development (ED) to  
 Neighbourhood Centre Performance Zone Z (NC-2 sp: xx);  
 Neighbourhood Centre (NC sp: xx);  
 General Urban (GU sp: xx);  
 Sub-Urban (S sp: xx);  
 Natural Heritage System (NHS); and  
 Storm Water Management Facility (SMF).

EXCERPT FROM MAP  
 12 (4)



1:3000